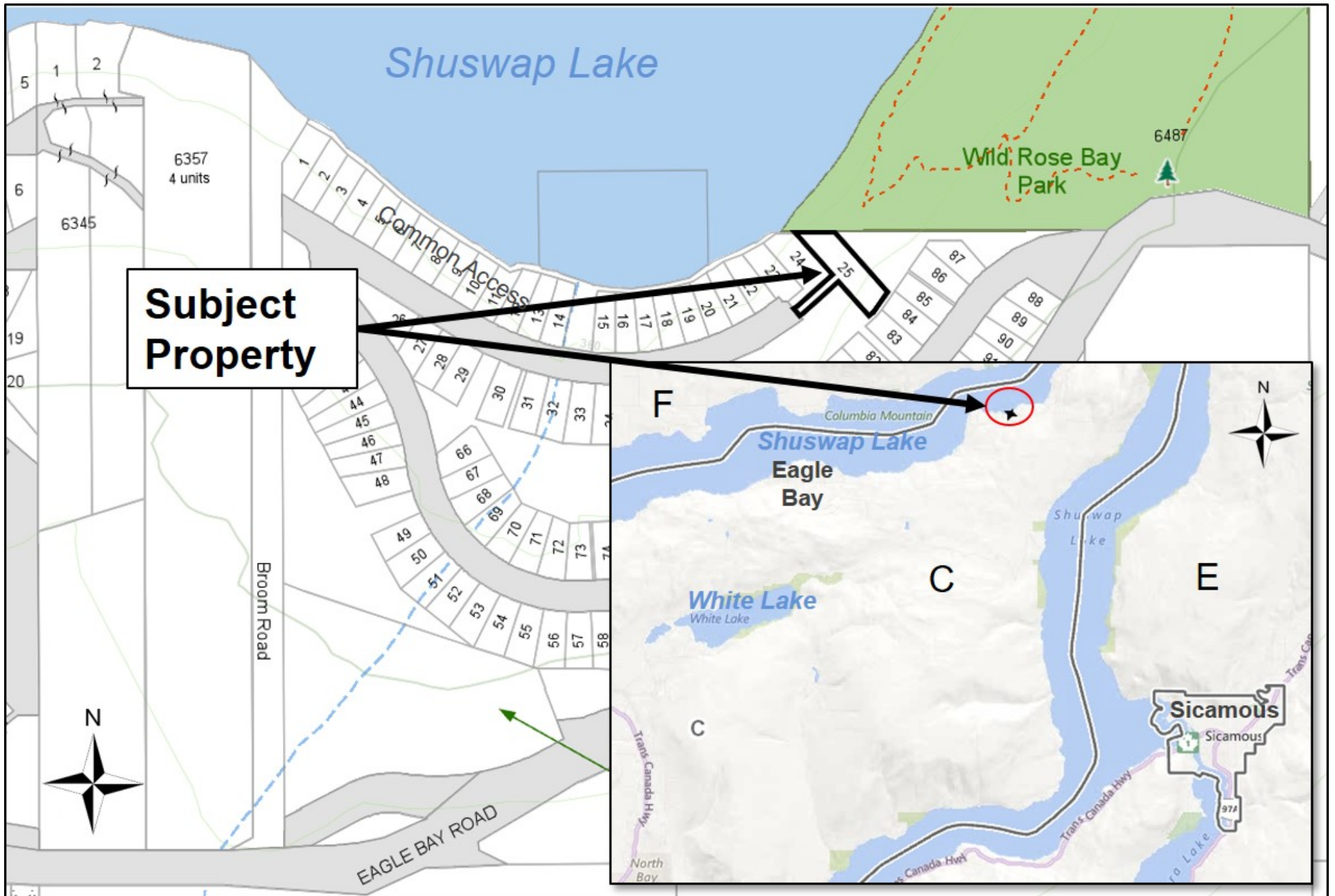
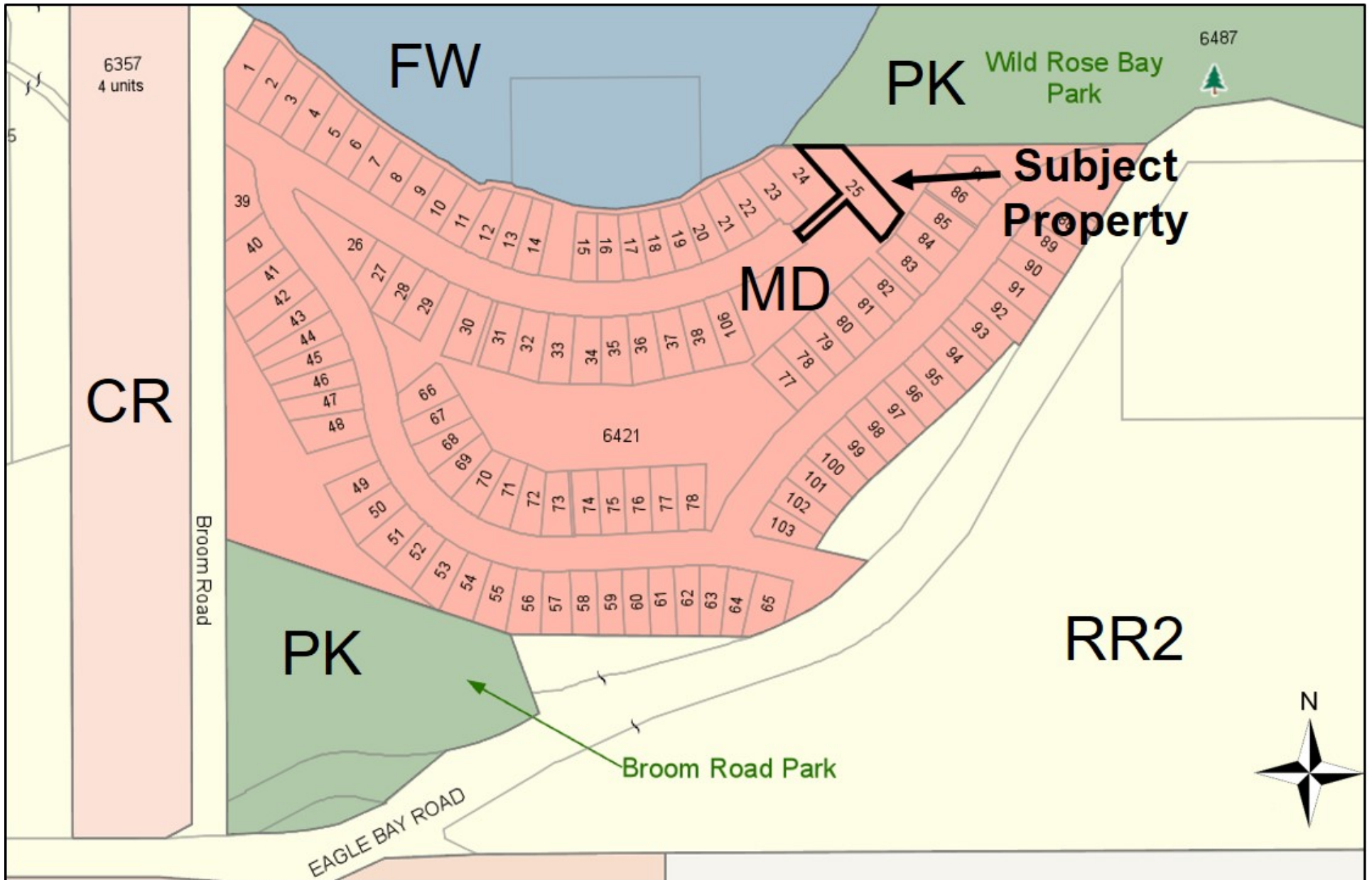


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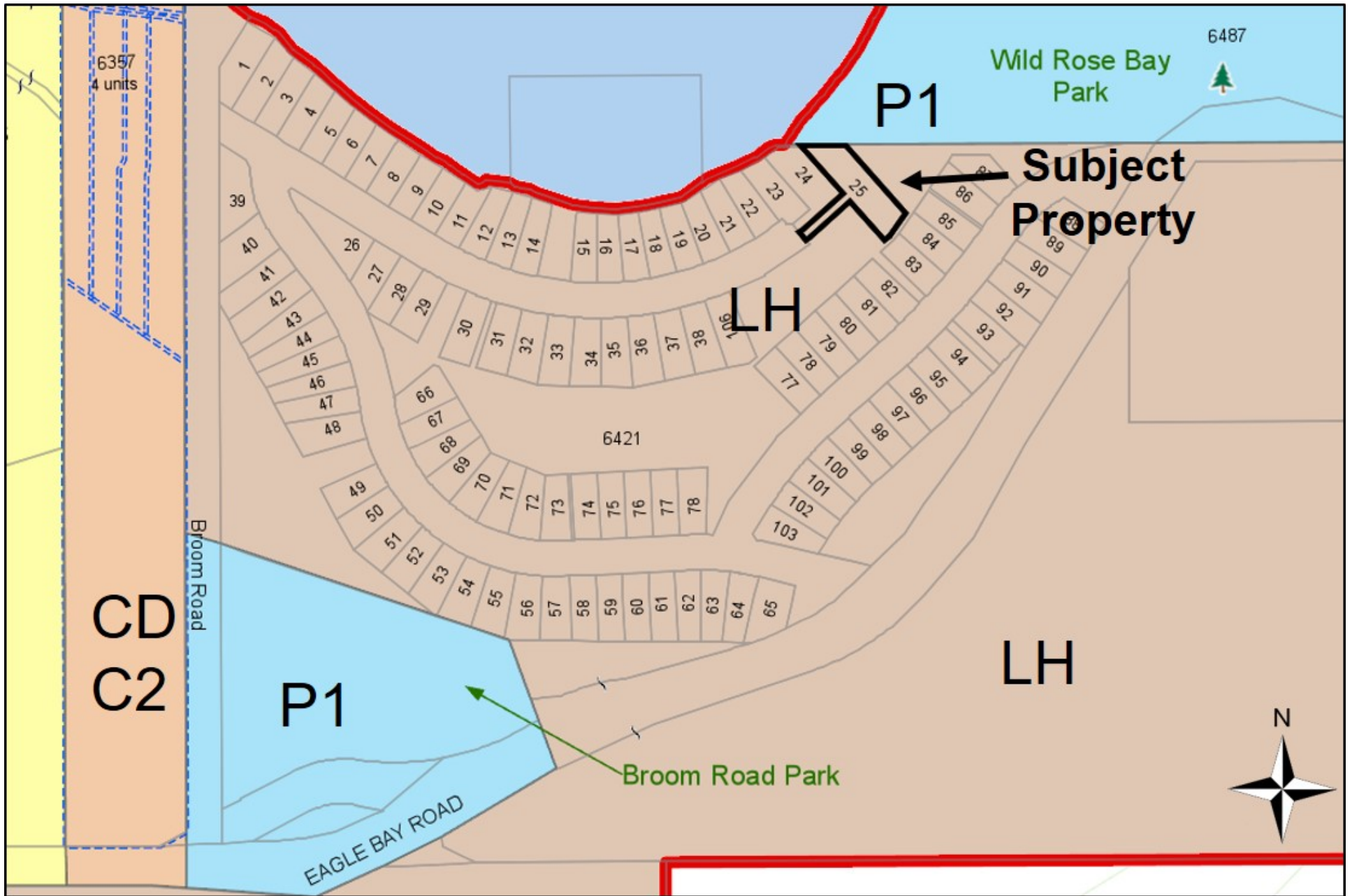


Electoral Area C Official Community Plan Bylaw No. 725

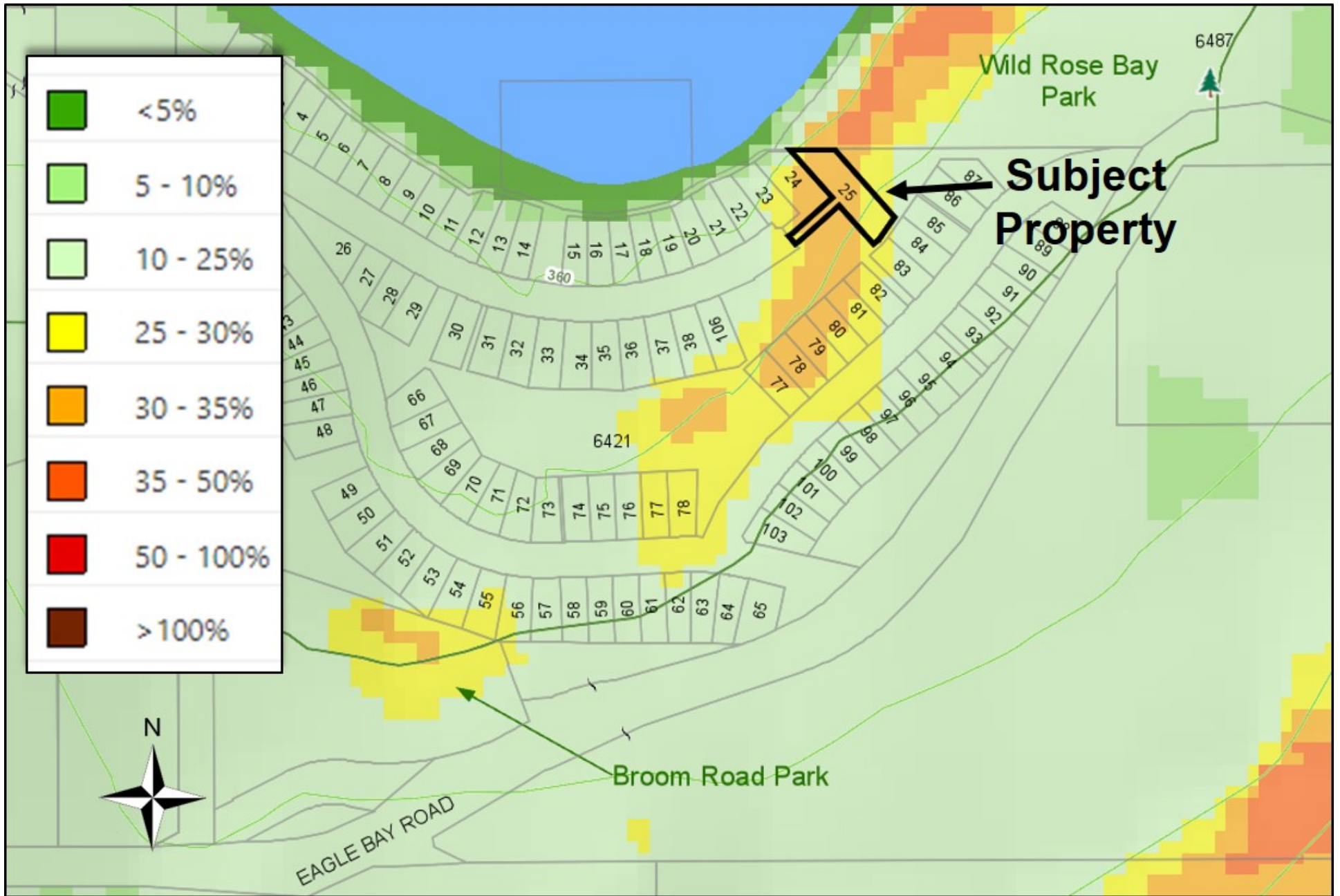




South Shuswap Zoning Bylaw No. 701



# Slopes - 20 m Contours





2018 Orthophoto

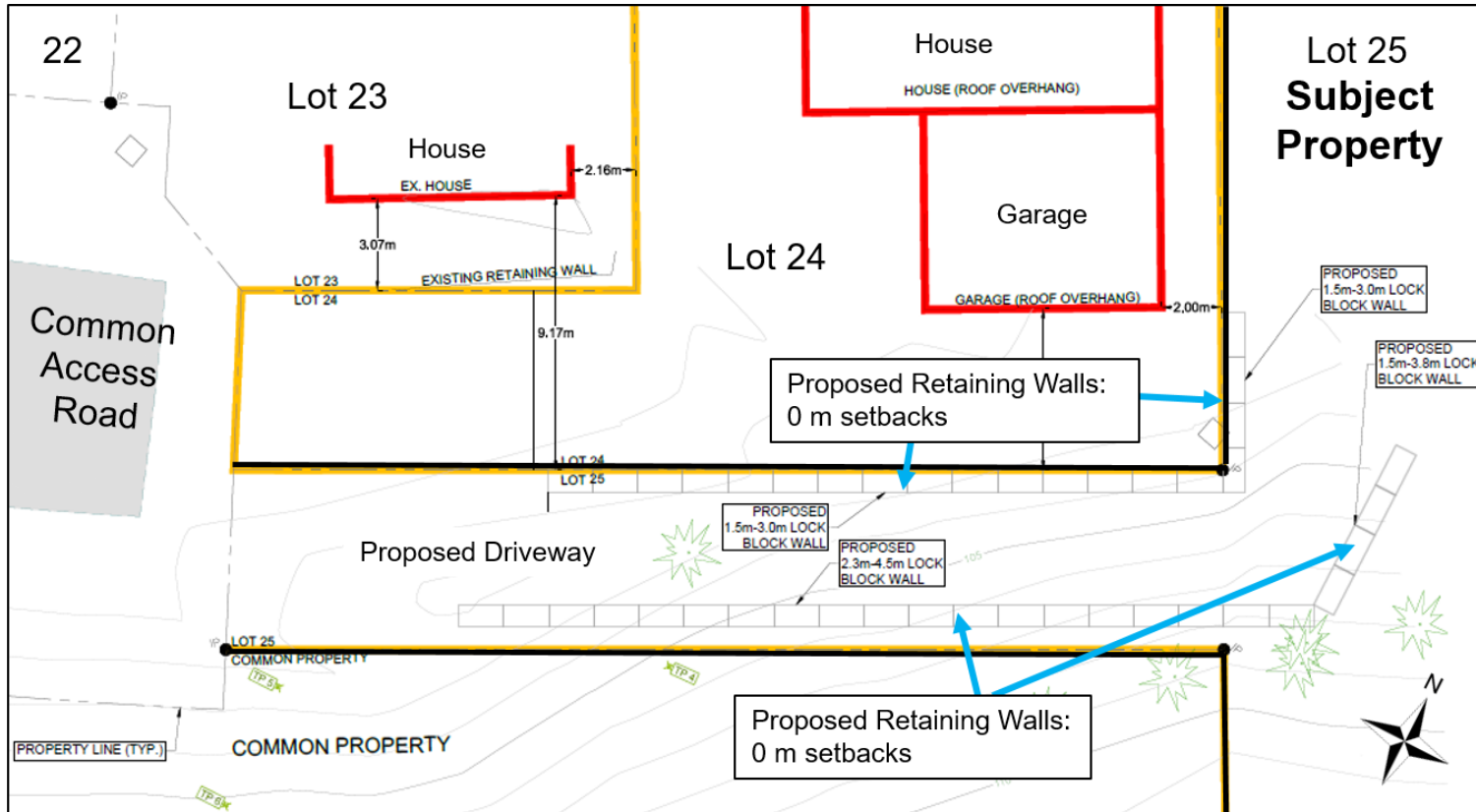


**Subject  
Property**

**Driveway  
Access  
and  
Proposed  
Retaining  
Walls**

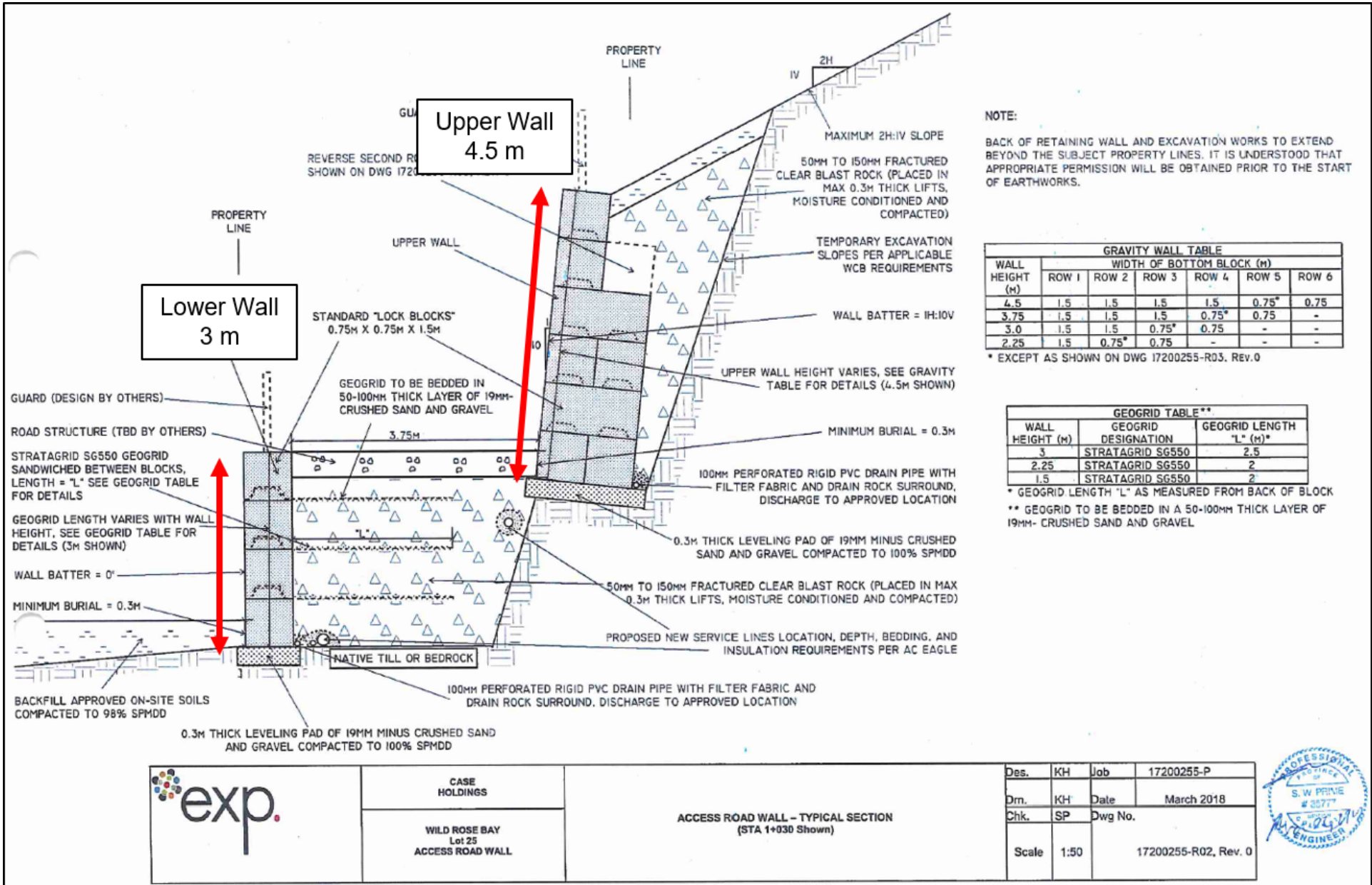


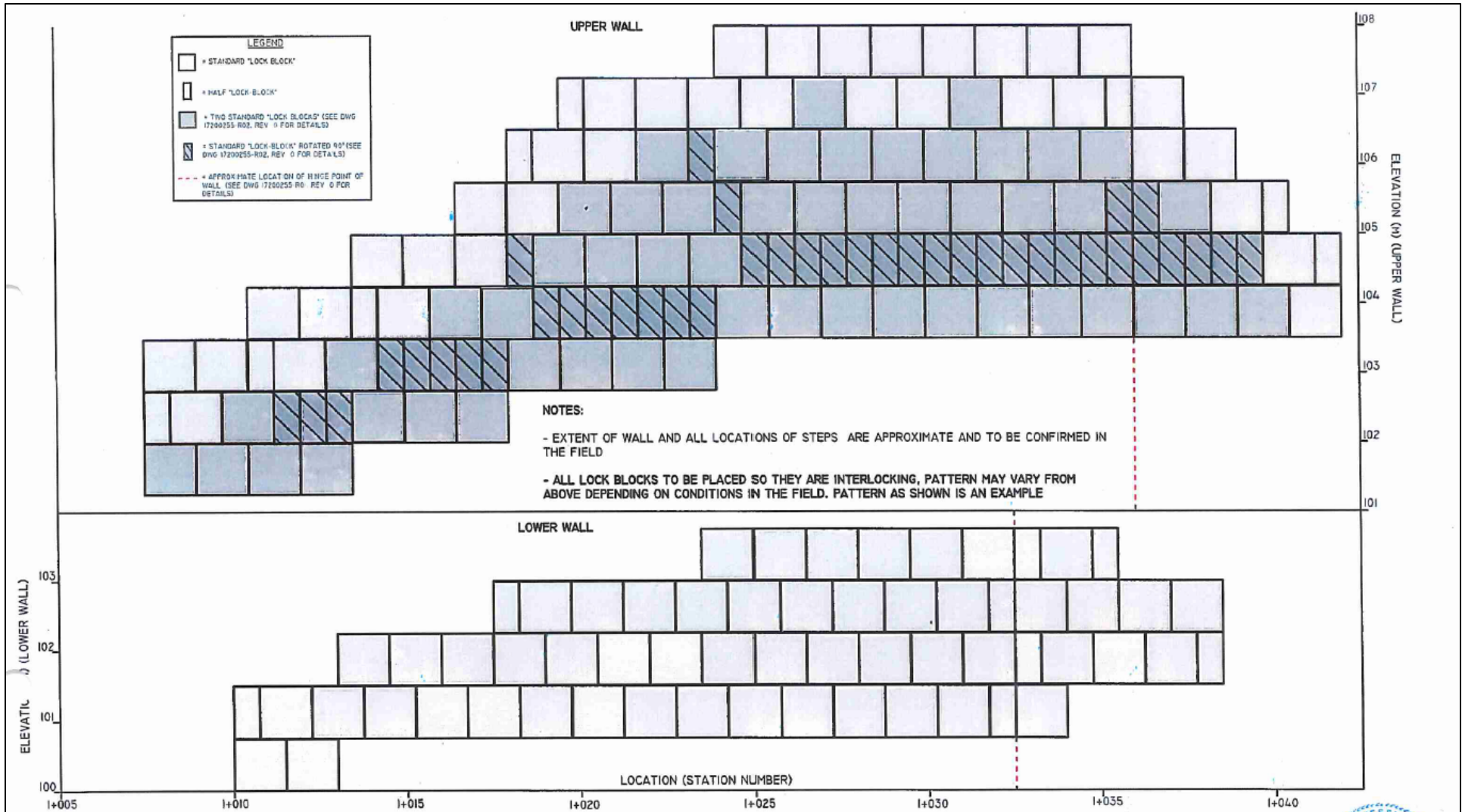
# Variance Proposal Site Plan





# Engineered Drawings





**CASE HOLDINGS**

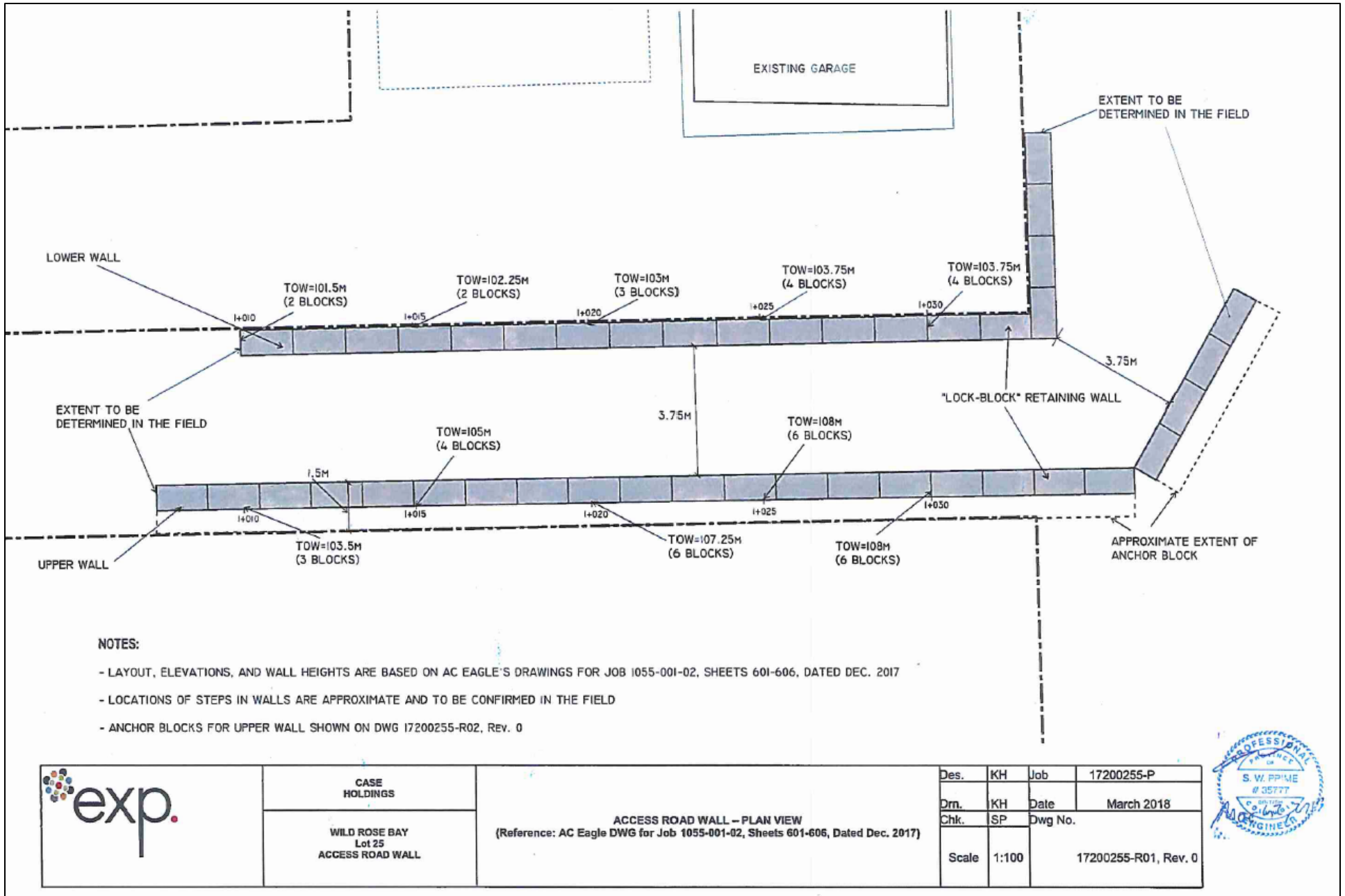
**WILD ROSE BAY**  
Lot 25  
**ACCESS ROAD WALL**

**ACCESS ROAD WALL – PROFILE VIEW**  
(Reference: AC Eagle DWG for Job 1055-001-02, Sheets 601-606, Dated Dec. 2017)

Des.	KH	Job	17200255-P
Des.	KH	Date	March 2018
Chk.	SP	Dwg No.	
Scale	H: 1:100 V: 1:50		17200255-R03, Rev. 0







**NOTES:**

- LAYOUT, ELEVATIONS, AND WALL HEIGHTS ARE BASED ON AC EAGLE'S DRAWINGS FOR JOB 1055-001-02, SHEETS 601-606, DATED DEC. 2017
- LOCATIONS OF STEPS IN WALLS ARE APPROXIMATE AND TO BE CONFIRMED IN THE FIELD
- ANCHOR BLOCKS FOR UPPER WALL SHOWN ON DWG 17200255-R02, REV. 0



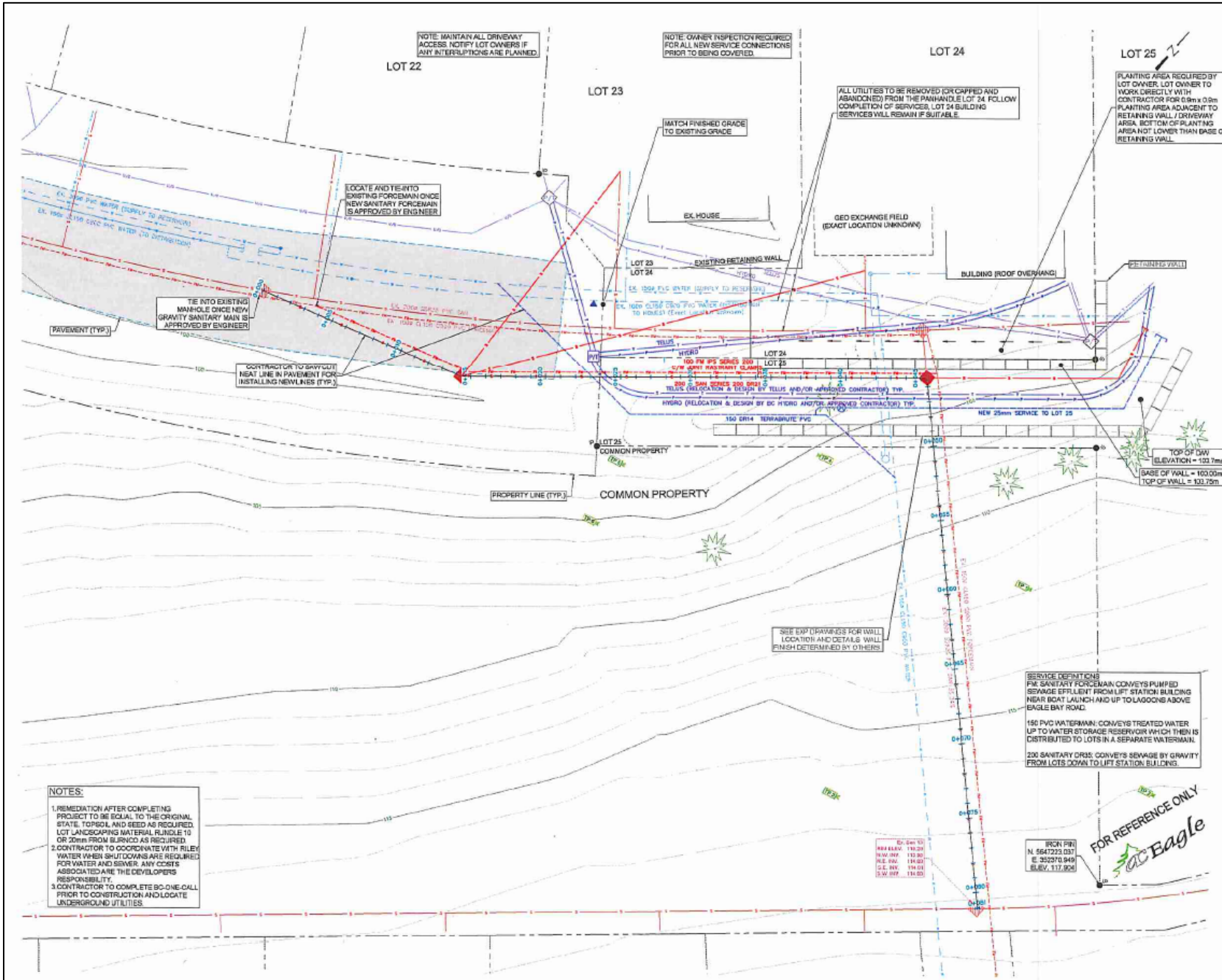
CASE HOLDINGS
WILD ROSE BAY Lot 25 ACCESS ROAD WALL

**ACCESS ROAD WALL – PLAN VIEW**  
 (Reference: AC Eagle DWG for Job 1055-001-02, Sheets 601-606, Dated Dec. 2017)

Des.	KH	Job	17200255-P
Drn.	KH	Date	March 2018
Chk.	SP	Dwg No.	
Scale	1:100		17200255-R01, Rev. 0



# Relocation of Services



NOTE: MAINTAIN ALL DRIVEWAY ACCESS. NOTIFY LOT OWNERS IF ANY INTERRUPTIONS ARE PLANNED.

NOTE: OWNER INSPECTION REQUIRED FOR ALL NEW SERVICE CONNECTIONS PRIOR TO BEING COVERED.

ALL UTILITIES TO BE REMOVED OR CAPPED AND ABANDONED FROM THE PANHANDLE LOT 24 FOLLOW COMPLETION OF SERVICES, LOT 24 BUILDING SERVICES WILL REMAIN IF SUITABLE.

PLANTING AREA REQUIRED BY LOT OWNER. LOT OWNER TO WORK DIRECTLY WITH CONTRACTOR FOR 0.6m x 0.6m PLANTING AREA ADJACENT TO RETAINING WALL / DRIVEWAY AREA. BOTTOM OF PLANTING AREA NOT LOWER THAN BASE OF RETAINING WALL.

LOCATE AND TIE INTO EXISTING FORCE MAIN ONCE NEW SANITARY FORCE MAIN IS APPROVED BY ENGINEER.

TIE INTO EXISTING MANHOLE ONCE NEW GRANTY SANITARY MAIN IS APPROVED BY ENGINEER.

CONTRACTOR TO GRAY/LOT NEAT LINE IN PAVEMENT FOR INSTALLING NEW LINES (TYP.)

EX. HOUSE

GEO EXCHANGE FIELD (EXACT LOCATION UNKNOWN)

BUILDING (ROOF OVERHANG)

RETAINING WALL

LOT 23

LOT 24

LOT 25

COMMON PROPERTY

PROPERTY LINE (TYP.)

COMMON PROPERTY

**NOTES:**  
 1. REMEDIATION AFTER COMPLETING PROJECT TO BE EQUAL TO THE ORIGINAL STATE. TOPSOIL AND SEED AS REQUIRED. LOT LANDSCAPING MATERIAL BLINDS TO OR 20mm FROM BLINDS AS REQUIRED.  
 2. CONTRACTOR TO COORDINATE WITH FILED WATER WHEN SHUTDOWNS ARE REQUIRED FOR WATER AND SEWER. ANY COSTS ASSOCIATED ARE THE DEVELOPERS RESPONSIBILITY.  
 3. CONTRACTOR TO COMPLETE BC ONE-CALL PRIOR TO CONSTRUCTION AND LOCATE UNDERGROUND UTILITIES.

SEE EXP. DRAWINGS FOR WALL LOCATION AND DETAILS. WALL FINISH DETERMINED BY OTHERS.

**SERVICE DEFINITIONS**  
 FM SANITARY FORCE MAIN: CONVEYS PUMPED SEWAGE EFFLUENT FROM LIFT STATION BUILDING NEAR BOAT LAUNCH AND UP TO LAGOONS ABOVE EAGLE BAY ROAD.  
 150 PVC WATERMAIN: CONVEYS TREATED WATER UP TO WATER STORAGE RESERVOIR WHICH THEN IS DISTRIBUTED TO LOTS IN A SEPARATE WATERMAIN.  
 200 SANITARY CR3S: CONVEYS SEWAGE BY GRAVITY FROM LOTS DOWN TO LIFT STATION BUILDING.

Dr. Elev. 10	10.25
100.00	10.25
100.00	10.25
100.00	10.25
100.00	10.25
100.00	10.25

IRON PIN  
 N. 5647233 037  
 E. 352370 849  
 IRON. 1.17 926

FOR REFERENCE ONLY

**General Notes**

**LEGEND**

- Existing Edge of Asphalt
- Existing Edge of Tread
- Existing Fence
- Existing Top of Slope
- Existing Top of Slope
- Existing Hedge/Tribute
- Existing Deckings/Concrete/Brick

- Prop./Existing Watermark
- Prop./Existing Water Service
- /○ Prop./Adjusted/Existing Water Valve
- /○ Prop./Existing Fire Hydrant
- /○ Prop./Existing Meter Manhole
- /○ Prop./Existing Gash Stop
- /○ Prop./Existing End Cap
- Prop./Existing Sanitary Sewer
- Prop./Existing Sanitary Force Main
- Prop./Adjusted/Existing Sanitary Sewer
- Prop./Adjusted/Existing Sanitary Manhole
- Prop./Existing Storm Sewer
- Prop./Existing Storm Force Main
- Prop./Existing Storm Service
- Prop./Adjusted/Existing Storm Manhole
- Prop./Existing Gash Stop
- Prop./Existing Slope Inlet Catch Basin

- Gully
- Telephone
- Cable
- Junction Box
- Valve
- Access Man/Structure
- Hydro/Telephone Manhole
- Hydro/Telephone/Hydro-1st Pole
- Hydro/Hydro-1st Pole with Transformer
- Light on Hydro/Underground or Pole
- Deceleration/Block Light
- Paving Manhole
- Man Box
- Prop./Existing Traffic Sign
- Prop./Existing Stop Sign
- Monument/Iron Pin/Survey Control

1	FOR REFERENCE ONLY	25/0114
No.	Revised/Issue	Date

DESIGNED BY: C.B/DKA  
 DRAWN BY: C.B/MCS  
 CHECKED BY: DKA  
 APPROVED BY: DKA

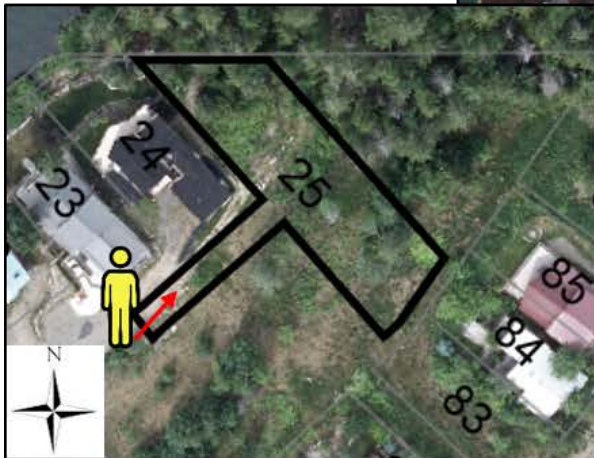
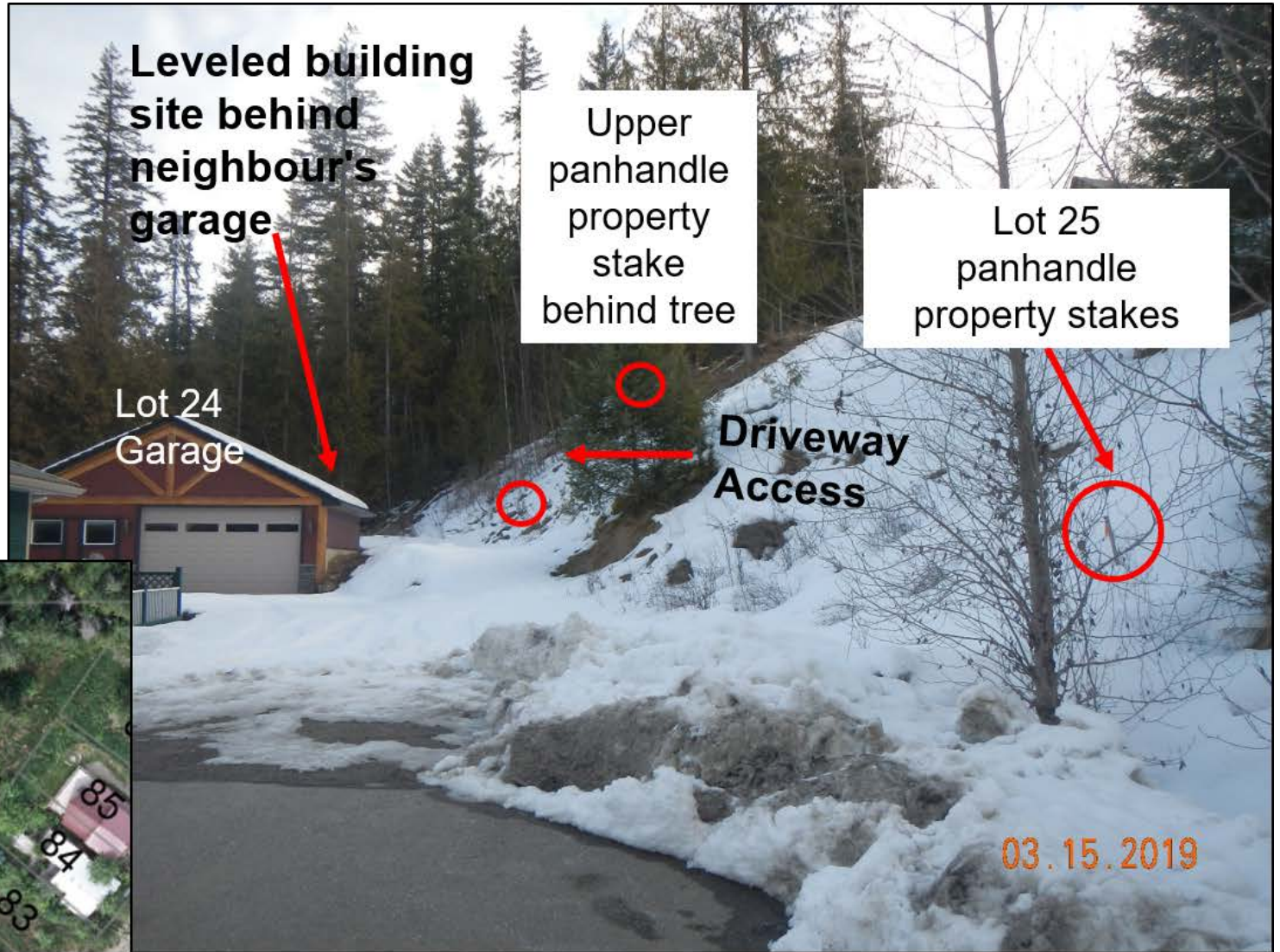
AC EAGLE ENTERPRISES LTD.  
 1425 Parkson Place  
 Raleigh, NC 27615-1131  
 Tel: (919) 370-2148  
 Fax: (919) 374-2128  
 www.aceagle.ca

WILD ROSE BAY PROPERTIES  
 WILD ROSE BAY SERVICE RELOCATION  
 SITE PLAN

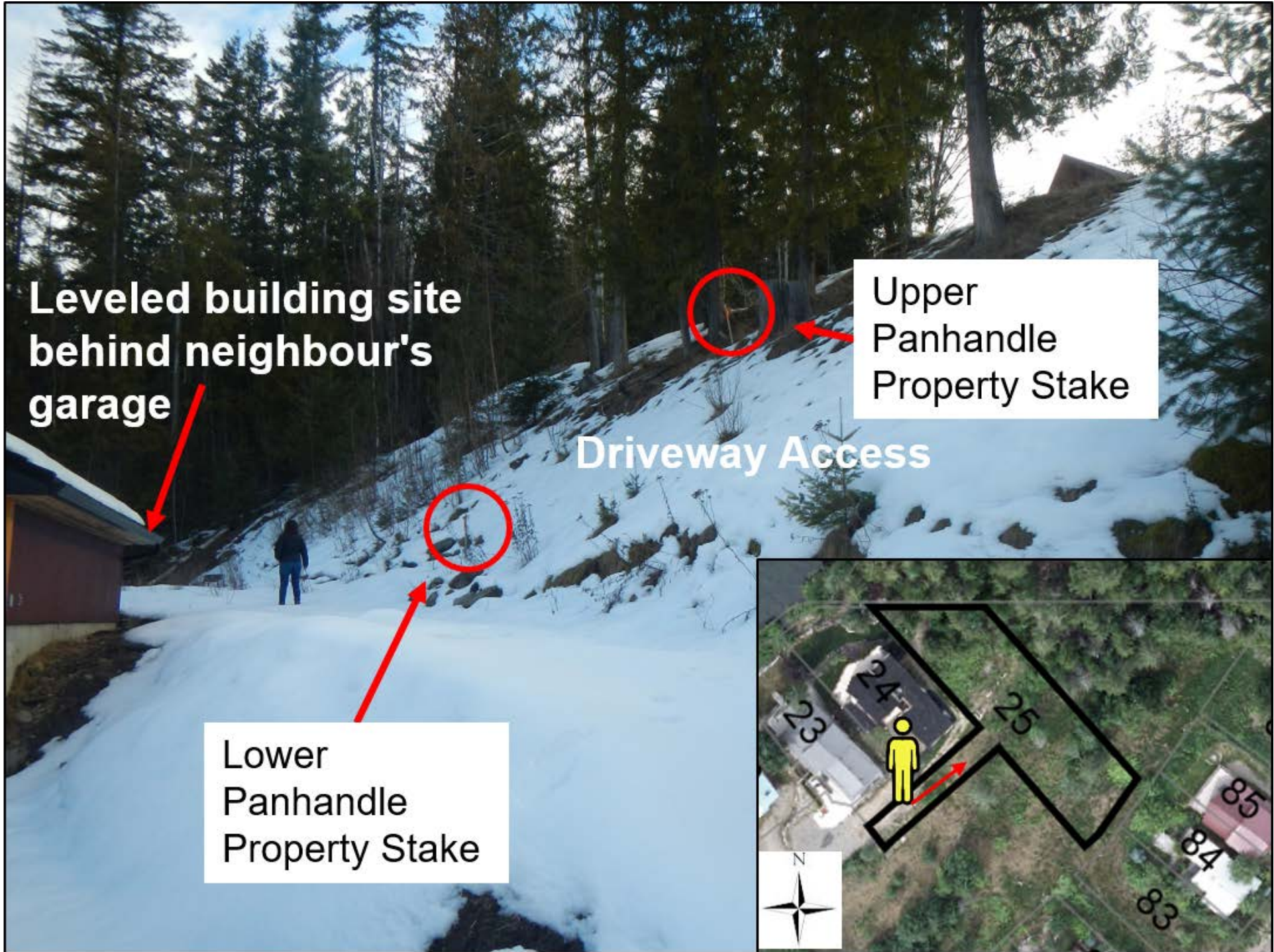
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Site Photos





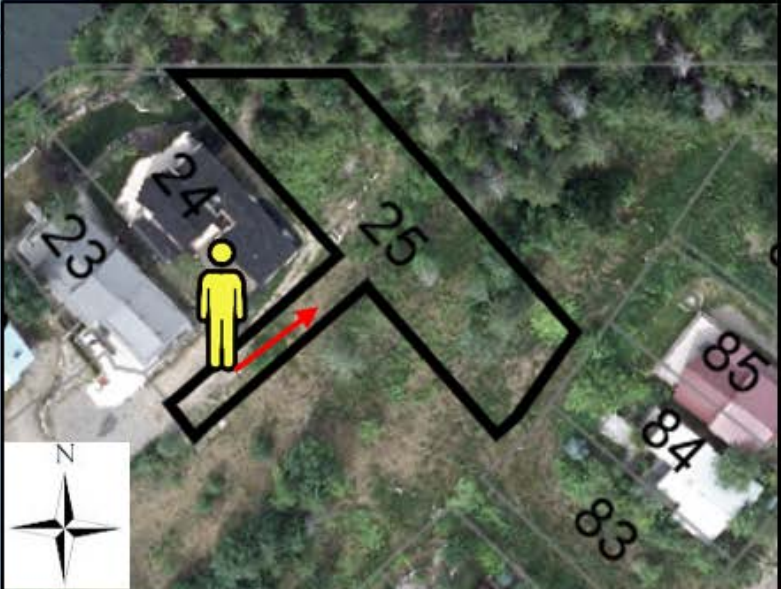


Leveled building site behind neighbour's garage

Upper Panhandle Property Stake

Driveway Access

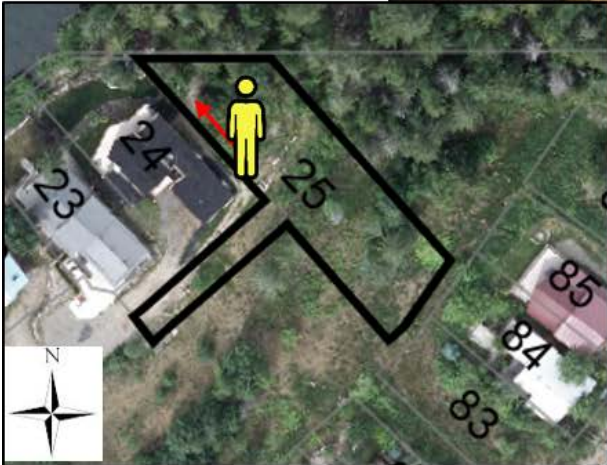
Lower Panhandle Property Stake







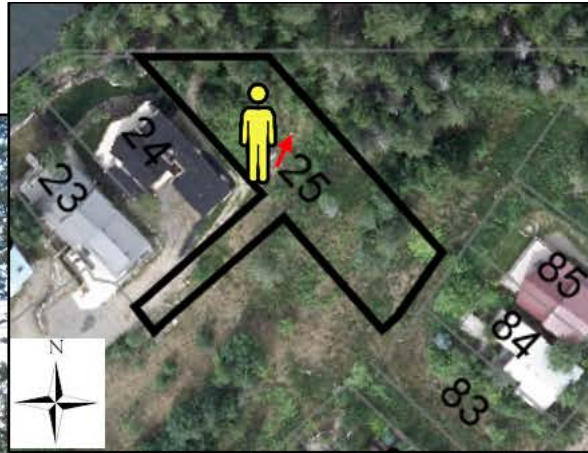
Lot 24



Lot 25  
Subject property

03.15.2019





**Lot 25**  
**Subject property**

03.15.2019



03.15.2019