



COLUMBIA SHUSWAP REGIONAL DISTRICT

Regular Board Meeting

AGENDA

Date: Thursday, April 18, 2019
Time: 9:30 AM
Location: CSR D Boardroom
555 Harbourfront Drive NE, Salmon Arm

Pages

1. Call to Order

2. Board Meeting Minutes

2.1 Adoption of Minutes

1

Motion

THAT: the minutes of the March 21, 2019 regular Board meeting be adopted.

2.2 Business Arising from the Minutes

Pinegrove RV Park (Scotch Creek/Lee Creek Amendment BL No. 825-38)
re: tabled 3rd reading motion to April 2019 Board Meeting (Resolution
No. 2019-0341). For Board information: report will be brought forward to a
future Board meeting.

3. Delegations

3.1 10:00 AM Presentation of the 2018 Audited Financial Statements

Auditors presentation of the 2018 Audited Financial Statements - BDO
Representative, Ms. Angie Spencer, in attendance to present the draft 2018
Financial Statements.

Refer to Item 6.2 for Draft 2018 Financial Statements, Report from Manager,
Financial Services, and recommendation to approve.

3.2 **10:15 AM District of Sicamous - Thank CSRD Board and Update on Economic Opportunity Funded Project** 25

John Price – Events Coordinator and Joe McCulloch – Operations, District of Sicamous, attending to thank Board for funding support and to summarize event progress in the last year.

PowerPoint presentation will be included on Late Agenda.

3.3 **10:30 AM Fraser Basin Council**

Colin Hansen, Chair and Mike Simpson, Senior Regional Manager – Thompson, Fraser Basin Council, presenting the Board with an overview and update on the Fraser Basin Council.

PowerPoint presentation will be included on Late Agenda.

ADMINISTRATION

4. Correspondence

Motion

THAT: the correspondence contained on the April 18, 2019 Regular Board Meeting agenda be received for information.

4.1 **Letter from Minister of Agriculture - Response to Chair Martin - Request for Changes to Class E Licensing (March 28, 2019)** 27

Response letter received from the Minister of Agriculture dated March 28, 2019

Chair Martin correspondence to Minister of Agriculture, included for reference.

Refer to Item 6.6.

4.2 **Letter from Minister of Municipal Affairs and Housing - Response to Chair Martin - CSRD Funding Request for Area C Incorporation Study (April 9, 2019)** 36

Response letter received from the Minister of Municipal Affairs and Housing, dated April 9, 2019.

Chair Martin correspondence to Minister of Municipal Affairs and Housing, included for reference.

4.3 **Letter from Interior Health - Response to Chair Martin - Armstrong Vision Center (April 5, 2019)** 40

Letter received from Richard Harding, Interior Health, dated April 5, 2019.

Chair Martin correspondence to IHA, included for reference.

4.4 Letter from the City of Maple Ridge (April 5, 2019) 42

Urgent Request to Municipalities to Pass a Resolution re Undermining of Municipal Government Authority

4.5 Thompson Watershed Risk Assessment Report

Mike Simpson, Senior Regional Manager - Thompson, Fraser Basin Council, has notified the CSRD of the final 2018-2019 report, online map, and geospatial and data files for the Thompson Watershed Risk Assessment, completed March 31, 2019 by BGC Engineering is available online at https://www.fraserbasin.bc.ca/2018-2019_TWRA_Assessment_Results.html

4.6 Letter from the City of Revelstoke (April 10, 2019) 47

Letter received from the City of Revelstoke regarding the Columbia Basin Trust Community Initiative Program recommendations.

5. Reports

Motion

THAT: the March 2019 Meeting minutes for the Shuswap Watershed Council, Shuswap Economic Development Advisory Committee, Shuswap Tourism Advisory Committee, and the Area A Local Advisory Committee, be received this 18th day of April, 2019.

5.1 Shuswap Watershed Council Meeting Summary Draft (March 13, 2019) 51

5.2 Shuswap Economic Development Advisory Committee Meeting Minutes (March 14, 2019) 58

5.3 Shuswap Tourism Advisory Committee Meeting Minutes (March 14, 2019) 67

5.4 Area A Local Advisory Committee Meeting Minutes (March 26, 2019) 76

6. Business General

6.1 2018 Annual Report 80

Report from Charles Hamilton, Chief Administrative Officer, dated April 5, 2019.

Motion

THAT: the Board receive the Columbia Shuswap Regional District's Annual Report 2018 for information, this 18th day of April, 2019.

6.2 Draft 2018 Financial Statements

Report from Jodi Pierce, Manager, Financial Services, the Final Draft 2018 Financial Statements will be on the Late Agenda.

Motion

THAT: the Board approve the 2018 Financial Statement this 18th day of April, 2019.

6.3 2018 Statement of Financial Information (SOFI) Report

84

Report from Jodi Pierce, Manager, Financial Services, dated April 5, 2019.

Motion

THAT: the Board approve the 2018 Statement of Financial Information Report as required by the Financial Information Regulation, Schedule 1, subsection 9(2) and section 376 subsection (1) of the Local Government Act.

6.4 Sharing CSRD's Waste Management Knowledge in Vietnam

Presentation by Ben Van Nostrand, Team Leader, Environmental Health.

6.5 SILGA 2019 Late Resolution - Resourcing a Collaborative System of Data Sharing in BC

96

Background information attached.

David Major, IT/GIS Coordinator, and Jan Thingsted, Planner III, in attendance to give background information and to respond to questions.

Motion

WHEREAS natural disasters pose an increasing risk to the economic, social, and environmental well-being of British Columbians;

AND WHEREAS the provincial government is taking action to improve resilience by strengthening disaster preparedness and disaster risk governance in the context of climate change;

AND WHEREAS the sharing of integrated asset data, information, and knowledge across all sectors is key to improving emergency management and resiliency planning in BC:

THEREFORE BE IT RESOLVED that the Province of British Columbia be urged to take a strong leadership role and provide long-term sufficient funding and resources to increase the coordination, assembly, and access of asset data, information, and knowledge across multiple levels and sectors of government and stakeholders (including First Nations, local governments, provincial and federal government agencies, qualified professionals, and industry sectors) be received.

6.6 Request Director Cathcart - Board support for Invitation to Minister of Agriculture

Request Director Cathcart - Board support for Invitation to Minister of Agriculture, Lana Popham, to attend meeting with farming community in Area A/Golden.

Motion

THAT: the Board direct staff to write a letter inviting Minister of Agriculture, Lana Popham, to a meeting with the farming community in Golden/Area A, to discuss Class E licensing regulations.

6.7 Request Chair Martin - Board support to serve on the Federation of Canadian Municipalities (FCM) Board

Chair Martin requests Board support to remain on the Federation of Canadian Municipalities (FCM) Board.

Motion

THAT: the Board support Chair Martin to continue to serve on the Federation of Canadian Municipalities (FCM) Board;

AND THAT: the Board authorize expenses for Chair Martin to attend FCM-related meetings, this 18th day of April, 2019.

6.8 Updated Listing: 2019 Board Appointments to Boards, External Agencies and Committees

97

Addition of representatives to:

- 1) Sicamous-to-Armstrong Rail Trail Corridor Interjurisdictional Governance Advisory Committee; and,
- 2) Shuswap Watershed Council (public/community).

For information.

7. Business By Area

7.1 11:45 AM Bastion Mountain Geomorphic Assessment

101

Kerr Wood Leidal in attendance to present an overview of the assessment, available online at <https://www.csr.bc.ca/inside-csrd/reports/bastion-mountain-geomorphic-assessment>

Report from Derek Sutherland, Team Leader, March 29, 2019. For information only.

Motion

THAT: The Bastion Mountain – Geomorphic Assessment Hydrology Overview report prepared by Kerr Wood Leidal Consulting Engineers dated April 2, 2019 and the Bastion Mountain Area Overview Landslide Assessment Report prepared by Westrek Geotechnical Services Ltd. dated April 2, 2019, be received by the Board for information this 18th day of April, 2019.

7.2 Grant-in-Aid Requests

105

Report from Jodi Pierce, Manager, Financial Services, dated March 28, 2019.

Motion

THAT: the Board approve the following allocations from the 2019 electoral grant-in-aids:

Area A

\$3,000 Wildsight Golden (Columbia Wetlands Waterbird Survey)

\$6,000 Wildsight Golden (Rocky Mountain Bighorn Sheep Project)

Area B

\$2,000 Trout Lake Volunteer Fire Department (operational funding)

Area C

\$1,000 Pink Piston Paddlers (Repair paddles and purchase team shirts)

\$1,800 Sorrento Minor Ball – Fastball Program (uniforms and equipment)

Area D

\$2,000 Falkland Historical Society (McClounie's Cash Store building completion)

\$6,700 Falkland & District Sunday Morner's Club (main floor flooring)

Area E

\$1,000 Sicamous & District Museum & Historical Society (CPR Hotel model and display case)

Area F

\$10,000 Friday Night Live Society (Summer Concert series)

\$40,000 North Shuswap Community Association (replace floor)

\$9,900 North Shuswap Chamber of Commerce (Community Revitalization Project)

\$1,950 Anglemont Fire Department Association (National Wildfire Community Preparedness Day event)

\$3,000 North Shuswap Timber Days Society (Lumberjack show).

8. Administration Bylaws

9. 12:15 PM IN CAMERA

Motion

THAT: pursuant to Sections 90(1) of the Community Charter:

- (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the regional district or another position appointed by the regional district;
- (e) the acquisition, disposition or expropriation of land or improvements, if the Board considers that disclosure could reasonably be expected to harm the interests of the regional district;
- (j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act;
- (k) negotiations and related discussions respecting the proposed provision of a service that are at their preliminary view and that, in the view of the Board could reasonably be expected to harm the interests of the Board if they were held in public;

the Board move In Camera.

DEVELOPMENT SERVICES

10. Business General

11. 12:00 PM ALR Applications

11.1 Electoral Area F: Agricultural Land Commission (ALC) Application Section 20 (2) – Non-farm Use (Dobray)

108

Report from Jan Thingsted, Planner III, dated April 3, 2019
2732 Evans Road, Celista

Motion

THAT: Application LC2563F, Section 20(2) for Non-Farm Use for the Northwest ¼, Section 21, Township 23, Range 10, W6M, KDYD, Except Plans 36922 and KAP90613, be forwarded to the Agricultural Land Commission recommending approval this 18th day of April, 2019.

12. Directors' Report on Community Events

One (1) Minute Verbal Report from Each Board Director for information.

ELECTORAL AREA DIRECTORS

13. 1:15 PM Business by Area ELECTORAL AREA DIRECTORS

13.1 Electoral Area C: Development Variance Permit No. 701-88 and Development Permit No. 725-176 (Finz Resort Inc.)

144

Report from Erica Hartling, Planner I, dated April 4, 2019.
2001 Eagle Bay Road, Blind Bay.

Motion

THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 701-88 for Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931, varying South Shuswap Zoning Bylaw No. 701 as follows:

1. Section 23.2.5: Minimum front parcel line setback from 5 m to 4.5 m for the existing retail store only;
2. Section 22.2.5: Minimum front parcel line setback from 5.0 m to 4.75 m for an existing utility shed constructed as a component of the sewage treatment system;

be issued this 18th day of April, 2019.

Motion

THAT: in accordance with Section 490 of the Local Government Act Development Permit No. 725-176 for proposed construction of tourist accommodation cabin structures on Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931, be issued this 18th day of April, 2019.

13.2 Electoral Area F: Development Permit 830-256 (K4 Ventures Ltd.)

243

Report from Christine LeFloch, Planner II, dated April 2, 2019.
1252 Jordan Way, Scotch Creek

Motion

THAT: in accordance with Section 490 of the Local Government Act, Development Permit No. 830-256 for Lot 15, Section 27, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP57704, be approved this 18th day of April, 2019;

AND THAT issuance of DP830-256 be conditional upon receipt of written confirmation from Interior Health that their requirements under the Drinking Water Protection Act and Sewerage System Regulation have been satisfied. .

13.3 Electoral Area C: Development Variance Permit No. 701-84 (Clark)

272

Report from Laura Gibson, Planner I, dated March 26, 2019.
711 Viel Road, Cruikshank Point

Motion

THAT: in accordance with Section 498 of the Local Government Act, Development Variance Permit No. 701-84 for Lot 10, Section 19, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan 14328, varying South Shuswap Zoning Bylaw No. 701 as follows:

Section 11.2.4 Minimum setback from:

- the north interior side parcel line (adjacent to Shuswap Lake) from 2 m to 0 m only for the retaining wall and to 1.71 m only for the terrace;
- the west interior side parcel line from 2 m to 0 m only for the retaining wall and to 1.63 m only for the single family dwelling;
- the rear (east) parcel line from 5 m to 0.18 m only for the retaining wall, to 0.92 m only for the sleep out shed, and to 0.48 m only for the garage; and,
- the south interior side parcel line from 2 m to 0.26 m only for the garage with attached covered area.

be approved for issuance this 18th day of April, 2019.

13.4 Electoral Area C: Development Variance Permit No. 701-85 (Hardy)

298

Report from Erica Hartling, Planner I, dated March 29, 2019.
14 - 6421 Eagle Bay Road, Wild Rose Bay

Motion

THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 701-85 for Strata Lot 14, Section 18, Township 23, Range 8, West of the 6th Meridian, Kamloops Division Yale District, Strata Plan KAS1797, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1, varying South Shuswap Zoning Bylaw No. 701 as follows:

- Section 15.2.5 minimum setback from the front parcel line from 5 m to 0 m and from the side parcel line from 2 m to 0.03 m only for a shed with a floor area up to and no more than 8 m².

be issued this 18th day of April, 2019.

13.5 Electoral Area C: Development Variance Permit No. 701-87 (Hannaford)

317

Report from Erica Hartling, Planner I, dated March 29, 2019.
3778 Eagle Bay Road, Eagle Bay

Motion

THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 701-87 for Lot 6, Section 2, Township 23, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP62357, varying South Shuswap Zoning Bylaw No. 701 as follows:

- Section 7.2.5 minimum setback from the front parcel line from 5 m to 1.65 m only for a detached garage;

be issued this 18th day of April, 2019.

13.6 Electoral Area F: Development Variance Permit No. 800-32 (Lamb)

347

Report from Candice Benner, Planner II, dated April 2, 2019
6342 Squilax-Anglemont Road, Magna Bay

Motion

THAT: in accordance with Section 498 of the Local Government Act, Development Variance Permit No. 800-32 for Lot 8, Section 13, Township 23, Range 10, W6M, KDYD, Plan 13493, varying Magna Bay Zoning Bylaw No. 800, as follows:

Section 5.5(2)(e) Maximum height for an accessory building from 6 m to 8.77 m for a garage;

Section 5.5(2)(f) Minimum setback from a front parcel boundary from 4.5 m to 0.15 m and minimum setback from an interior side parcel boundary from 2 m to 1.55 m for a garage; and

Section 5.5(2)(g) Maximum gross floor area of an accessory building from 55 m² to 118 m² for a garage;

be approved for issuance this 18th day of April, 2019.

14. Planning Bylaws

14.1 Electoral Area C: Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15

368

Report from Christine LeFloch, Planner II, dated March 29, 2019.
3453 Ford Road, Tappen

Motion

THAT: "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" be read a second time this 18th day of April, 2019.

Motion

THAT: a public hearing to hear representations on "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" be held;

AND THAT: notice of the public hearing be given by staff of the Regional District on behalf of the Board in accordance with Section 466 of the Local Government Act;

AND FURTHER THAT: the holding of the public hearing be delegated to Director Paul Demenok, as Director for Electoral Area C being that in which the land concerned is located, or Alternate Director Jennifer Dies, if Director Demenok is absent, and the Director or Alternate Director, as the case may be, give a report of the public hearing to the Board.

14.2 Electoral Area F: Magna Bay Zoning Amendment (Coueffin) Bylaw No. 800-31 490

Report from Candice Benner, Planner II, dated April 2, 2019
6346 Squilax-Anglemont Road, Magna Bay

Motion

THAT: "Magna Bay Zoning Amendment (Coueffin) Bylaw No. 800-31" be read a first time this 18th day of April, 2019;

AND THAT: the Board utilize the simple consultation process for Bylaw No. 800-31, and it be referred to the following agencies and First Nations:

- Ministry of Forests, Lands and Natural Resource Operations
–Archaeology Branch;
- CSRD Operations Management;
- Relevant First Nations Bands and Councils.

14.3 Electoral Area F: Scotch Creek/Lee Creek Zoning Amendment (Mosher) 511
Bylaw No. 825-40

Report from Erica Hartling, Planner I, dated March 29, 2019.
3740 Ancient Creek Lane, Scotch Creek

Motion

THAT: "Scotch Creek/Lee Creek Zoning Amendment (Mosher) Bylaw No. 825-40" be read a first time this 18th day of April, 2019;

AND THAT: the Board utilize the simple consultation process for Bylaw No. 825-40 and it be referred to the following agencies and First Nations:

- Interior Health Authority;
- Ministry of Transportation and Infrastructure;
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development – Archaeology Branch;
- CSRD Operations Management; and,
- Relevant First Nations Bands and Councils.

15. Release of In Camera Resolutions

If Any.

MEETING CONCLUSION

16. Upcoming Meetings/Events

16.1 Revelstoke and Area Economic Development Commission

Wednesday, May 8, 2019 at 4:00 PM
Revelstoke Business and Visitor Information Centre
301 Victoria Road West, Revelstoke

16.2 Shuswap Economic Development Committee

Thursday, May 9, 2019, 9:30 AM - 12:00 PM
CSRD Boardroom
555 Harbourfront Drive NE, Salmon Arm

16.3 Shuswap Tourism

Thursday, May 9, 2019, 1:00 PM to 4:00 PM
CSRD Boardroom
555 Harbourfront Drive NE, Salmon Arm

17. Next Board Meeting

Thursday, May 16, 2019 at 9:30 AM

NOTE:

Meeting location: Scotch Creek/Lee Creek Fire/Community Hall, 3852 Squilax-Anglemont Road, Scotch Creek, BC

18. Adjournment

Motion

THAT: the regular Board meeting of April 18, 2019 be adjourned.

NOTATION: The publication of the Columbia Shuswap Regional District Board (CSRD) agenda on its website result in the availability of agenda content outside of Canada. In accordance with Freedom of Information and Protection of Privacy Act legislation, the reader will note that personal information (ie telephone number, email address, etc.) are redacted from this document where required, to protect the privacy of personal information belonging to an individual(s) in the case where an individual(s) has not provided direct consent to the CSRD to publish such personal information on the CSRD website.



REGULAR BOARD MEETING MINUTES

Note: The following minutes are subject to correction when endorsed by the Board at the next Regular meeting.

Date: March 21, 2019
 Time: 9:30 AM
 Location: CSRD Boardroom
 555 Harbourfront Drive NE, Salmon Arm

Directors Present	K. Cathcart	Electoral Area A
	P. Demenok	Electoral Area C
	R. Talbot	Electoral Area D
	R. Martin (Chair)	Electoral Area E
	J. Simpson	Electoral Area F
	C. Moss* (electronic participation)	Town of Golden
	G. Sulz*	City of Revelstoke
	M. Makayev*	Alternate Director, District of Sicamous
	K. Flynn*	City of Salmon Arm
	C. Eliason*	City of Salmon Arm
	A. Parkin*	Alternate Director, Area B
Directors Absent	D. Brooks-Hill	Electoral Area B
	T. Rysz	District of Sicamous
In Attendance	C. Hamilton	Chief Administrative Officer (CAO)
	L. Shykora	Deputy Manager, Corporate Administration Services
	J. Sham	Assistant Deputy Corporate Officer
	J. Pierce	Manager, Financial Services
	S. Haines*	Deputy Treasurer
	D. Mooney	Manager, Operations Management
	R. Nitchie*	Team Leader, Community Services
	D. Sutherland*	Team Leader, Protective Services
	G. Christie	Manager, Development Services
	M. Herbert*	Team Leader, Building and Bylaw Services

D. Passmore*	Senior Planner
C. Benner*	Planner II
E. Hartling*	Planner I
L. Gibson*	Planner I
B. Payne*	Manager, Information Systems

*Attended a portion of the meeting

1. Call to Order

The Chair called the meeting to order at 9:30 AM.

Introduction of guest observers: Gray Sims and Luke Rivette, Youth Councillors, City of Salmon Arm, Salmon Arm Secondary School, and residents in the Electoral Areas of CSRD.

2. Fire Department of the Year Presentation -Tappen/Sunnybrae Fire Department

Chair Martin and Director Demenok presented the Fire Department with the award. Ryan Gray, Fire Chief, Tappen/Sunnybrae Fire Department, accepted the award on behalf of the Fire Department.

3. Board Meeting Minutes

3.1 Adoption of Minutes

2019-0301

Moved By Director Talbot

Seconded By Director Demenok

THAT: the minutes of the February 21, 2019 regular Board meeting be adopted.

CARRIED

3.2 Business Arising from the Minutes

- If any.

ADMINISTRATION

5. Correspondence

5.1 Town of Golden (March 1, 2019)

Letter from Viv Thoss, Manager of Legislative Services, Town of Golden, informing the Board of the resolution passed by Council asking the CSRD

to place a moratorium on any third party applications to the Economic Opportunity Fund until May 2019.

Director Cathcart – there are many EOF applications between the Town of Golden and Electoral Area A. A more holistic approach is needed in the application review process.

Director Moss – the resolution from the Town of Golden was indicated as three months, but that is an arbitrary number and meant as a placeholder.

2019-0302

Moved By Director Eliason

Seconded By Director Cathcart

THAT: the resolution to place a moratorium on any third party application to Golden/Area A Economic Opportunity Fund (EOF) be tabled until the current EOF application on today's Board agenda has been considered.

CARRIED

5.2 Union of BC Municipalities (UBCM) (March 7, 2019)

Letter from Arjun Singh, UBCM President, enclosing the Province's response to the Board's 2018 UBCM resolutions.

5.3 Ministry of Environment and Climate Change Strategy (March 8, 2019)

Letter from George Heyman, Minister of Environment and Climate Change Strategy, in response to the Board letter regarding commercially generated recycling.

Chair Martin's letter dated January 22, 2019 was attached for reference.

5.4 Enderby Lions Club (March 12, 2019)

Letter from Peter & Betty Powell, members of the Enderby Lions Club, on behalf of all its members, outlining their concerns regarding the proposed relocation of the Armstrong Vision Center, Pleasant Valley Health Center, to the Vernon Jubilee Hospital.

2019-0303

Moved By Director Cathcart

Seconded By Director Demenok

THAT: the Board direct staff to write a letter to Interior Health opposing the proposed relocation of the Armstrong Vision Center, Pleasant Valley Health Center, to the Vernon Jubilee Hospital, this 21st day of March, 2019.

Discussion on the Motion:

Director Demenok – suggested to bring this issue to the North Okanagan Columbia Shuswap Regional Hospital District Meeting next week.

Alternate Director Makayev – the Powell's presented to the District of Sicamous Council and the District sent a letter to both Interior Health and the Minister of Health.

CARRIED

2019-0304

Moved By Director Talbot

Seconded By Director Demenok

THAT: the correspondence contained on the March 21, 2019 Regular Board Meeting agenda be received for information.

CARRIED

4. Delegations

4.1 10:00 AM: Columbia Shuswap Invasive Species Society (CSISS)

Robyn Hooper, Executive Director, CSISS, in attendance to provide the Board with an update on the Society.

A link to the 2018 CSISS Annual Report was provided.

The speaker answered questions from the Directors about compliance, public education efforts, Eurasian Milfoil, mussels, funding sources, invasive species, and lands around railways.

4.2 10:15 AM Southern Interior Local Government Association (SILGA)

Chad Eliason, Past President, SILGA in attendance to provide the Board with an update on the Association and on the upcoming SILGA Conference.

PowerPoint Presentation was attached.

4.3 10:30 AM Local Food Matters Golden (LFMG)

Natasha Overduin and Joyce de Boer from the Local Food Matters Society Golden presented to the Board to debut a new video that showcases the Society's activities and its initiatives.

6. Reports

6.1 Revelstoke and Area Economic Development Commission Meeting (February 6, 2019)

2019-0305

Moved By Director Sulz

Seconded By Director Talbot

THAT: the minutes of the February 6, 2019 Revelstoke and Area Economic Development Commission meeting be received for information.

CARRIED

6.2 Committee of the Whole (Financial Plan) Meeting (February 27, 2019)

2019-0306

Moved By Director Flynn

Seconded By Director Cathcart

THAT: the minutes of the February 27, 2019 Committee of the Whole (Financial Plan) meeting be received for information.

CARRIED

6.3 OK Sterile Insect Release (SIR) Board Meeting Summary (March 1, 2019)

2019-0307

Moved By Director Eliason

Seconded By Director Talbot

THAT: the report of the March 1, 2019 OK Sterile Insect Release Board meeting be received for information.

CARRIED

6.4 Electoral Area Directors Meeting (March 5, 2019)

2019-0308

Moved By Director Demenok

Seconded By Director Talbot

THAT: the minutes of the February 5, 2019 Electoral Area Directors Committee meeting be received for information.

CARRIED

6.4.1 Action Item:

The Electoral Area Directors' Committee adopted the following resolution in relation to clarification on a Provincial policy change - ambulance vs First Responder dispatch. For Board consideration:

THAT: staff be directed to put this topic on the next regular Board meeting agenda to get a resolution to write a letter asking the Province to give more information on the rationale to make this change.

2019-0309

Moved By Director Demenok

Seconded By Director Simpson

THAT: the CSRD write a letter asking the Province to give more information on the rationale to make this change.

Discussion on the motion:

Director Demenok – Time is life. The First Responders are routinely on site first.

CARRIED

7. Business General

7.1 Sicamous to Armstrong Rail Trail Project – Governance Committee Recommendations

Report from Ryan Nitchie, Team Leader, Community Services, dated March 18, 2019. Action items for CSRD Board to consider and approve relative to the Sicamous to Armstrong Rail Trail Initiative.

Memorandum of Understanding was attached to the agenda for reference.

2019-0310**Moved By** Director Flynn**Seconded By** Director Cathcart

THAT: the Board empower the authorized signatories to enter into a Memorandum of Understanding between the Columbia Shuswap Regional District, the Regional District of North Okanagan and Splat sin setting out the general agreement of the three lead agencies to the Sicamous to Armstrong Rail Trail.

CARRIED**2019-0311****Moved By** Director Flynn**Seconded By** Director Cathcart

THAT: the Board approve the draft Terms of Reference for the Governance Advisory Committee for the Sicamous to Armstrong Rail Trail as amended and approved by the Governance Advisory Committee on March 15, 2019.

CARRIED**2019-0312****Moved By** Director Flynn**Seconded By** Director Cathcart

THAT: the Board approve the draft Terms of Reference for the Technical Operational Committee for the Sicamous to Armstrong Rail Trail as approved by the Governance Advisory Committee on March 15, 2019.

CARRIED**2019-0313****Moved By** Alternate Director Makayev**Seconded By** Director Demenok

THAT: the Board approve the appointment of the Shuswap Trail Alliance on an interim basis to serve as Secretariat to the Governance Advisory Committee and Technical Operational Committee to support and facilitate the work of the Committees as approved by the Governance Advisory Committee on March 15, 2019.

CARRIED

2019-0314**Moved By** Alternate Director Makayev**Seconded By** Director Demenok

THAT: the Board endorse activation of the Technical Operational Committee to commence activities as described in the Terms of Reference as approved by the Governance Advisory Committee on March 15, 2019.

CARRIED**2019-0315****Moved By** Alternate Director Makayev**Seconded By** Director Demenok

THAT: the Board authorize and delegate to the Chief Administrative Officer the authority to execute land tenure agreements as approved by the Governance Advisory Committee on March 15, 2019 based on the following:

1. The Agreements are to be subject to approval of the Chief Administrative Officers of both the Columbia Shuswap Regional District and Regional District of North Okanagan;
2. The Agreements shall not exceed three years (other than statutory rights of way in favor of utilities, upland owner consents and assignments of existing agreements) and the rates payable, if applicable, shall be continued as per any existing agreements;
3. The Agreements shall be subject as well to approval of the relevant local jurisdiction where the lands that are the subject of the Agreement are located; and
4. The following Agreements may be approved under this authority:
 - a. Statutory rights of way in favour of utility companies, where there are existing works and/or existing agreements in place that are being converted to a right of way;
 - b. Upland owner consents;
 - c. Assignment of any existing crossing agreements, licenses or recreational use agreements;
 - d. Renewals of any existing crossing agreements, licenses or recreational use agreements; and
 - e. Replacement of expired crossing agreements, licenses or recreational use agreements.

CARRIED

8. Business By Area

8.1 Economic Opportunity Fund (EOF) Application – Golden/Area A – Golden Snowmobile Club

Report from Jodi Pierce, Manager, Financial Services dated March 1, 2019.

2019-0316

Moved By Director Cathcart

Seconded By Director Flynn

THAT: with the concurrence of the Town of Golden and the Electoral Area A Director, the Board approve funding from the Golden and Area A Economic Opportunity Fund to the Golden Snowmobile Club in the amount of \$30,000 towards the construction of an emergency shelter near Gorman Lake.

CARRIED

Item 5.1 – Brought back to the Table.

2019-0317

Moved By Director Eliason

Seconded By Director Cathcart

THAT: a moratorium be placed for all Economic Opportunity Fund applications in Town of Golden and Electoral Area A until further notice from the Town of Golden, this 21st day of March, 2019.

CARRIED

8.2 Kicking Horse Mountain Resort – Crown Grant Application Referral

Report from Darcy Mooney, Manager, Operations Management dated March 14, 2019. Kicking Horse Mountain Resort – Crown Grant Application Referral

2019-0318

Moved By Director Cathcart

Seconded By Director Flynn

THAT: due to significant concerns regarding public safety associated with the fire risk of timber frame buildings, proximity of buildings to the crown forest interface and the frequency and intensity of recent large scale

structure fires that have occurred in the Kicking Horse Mountain Resort community;

the CSRD Board confirm that until such time that a fire service is established at Kicking Horse Mountain Resort that is compliant with Fire Underwriters Survey requirements, the CSRD Board does not support the Province approving any Crown Grant Application within the specified Controlled Recreation Area held by Kicking Horse Mountain Resort.

Discussion on the motion:

CAO – there are no land use planning tools in this area. CSRD is confined to the referral process from the province. Should the province elect not to heed the recommendations of the Board and release more land, staff will look at other options.

Director Flynn – could Municipal Insurance Authority comment on this?

CAO – we could approach and ask about risk management strategies to insulate the CSRD.

Director Flynn – is there any desire for land use planning in the area?

Director Cathcart – Perhaps. We will see.

Alternate Director Makayev asked about building permits.

CAO – no building inspection in that area.

CARRIED

2019-0319

Moved By Director Cathcart

Seconded By Director Flynn

THAT: in the absence of a specific policy in relation to crown land referrals within the Kicking Horse Mountain Resort, the CSRD Board endorse the staff recommendation as a policy directive to confirm the current and future position of the CSRD Board with respect to Kicking Horse Mountain Resort applications for Crown Grants due to the concerns outlined within the report from Darcy Mooney, Manager, Operations Management dated March 14, 2019 titled Kicking Horse Mountain Resort – Crown Grant Application Referral.

CARRIED

8.3 Area D Community Works Funds – Salmon Valley Senior Citizens Branch #107

Report from Jodi Pierce, Manager, Financial Services, dated March 7, 2019.

2019-0320

Moved By Director Talbot

Seconded By Director Demenok

THAT: in accordance with Policy F-3 "Electoral Area Community Works Fund – Expenditure of Monies", access to the Community Works Fund be approved up to \$24,141 plus applicable taxes from the Area D Community Works Fund for floor replacement at the Salmon Valley Senior Citizen's Hall.

CARRIED

8.4 Electoral Area F Community Works Fund – Scotch Creek Community Hall Upgrades

Report from Darcy Mooney, Manager, Operations Management, dated March 11, 2019. Authorization to access the Community Works Fund monies from the Electoral Area F allocation for upgrades to the Scotch Creek Community Hall.

2019-0321

Moved By Director Simpson

Seconded By Director Sulz

THAT: in accordance with Policy No. F-3 "Community Works Fund - Expenditure of Monies" access to the Community Works Fund be approved for up to \$65,000 plus applicable taxes from the Electoral Area F Community Works Fund allocation for upgrades to the Scotch Creek Community Hall;

AND THAT: the Board empower the authorized signatories to enter into an agreement with High Impact Signs and Designs to provide an electronic sign and related components at the Scotch Creek Community Hall for a total cost not to exceed \$55,000 plus applicable taxes.

CARRIED

9. Administration Bylaws

9.1 CSRD 2019 Five Year Financial Plan Bylaw No. 5794

Report from Jodi Pierce, Manager, Financial Services, dated March 8, 2019.

For Three Readings and Adoption.

2019-0322

Moved By Director Sulz

Seconded By Director Talbot

THAT: "2019 Five Year Financial Plan Bylaw No. 5794" be read a first, second and third time this 21st day of March, 2019.

CARRIED

2019-0323

Moved By Director Sulz

Seconded By Director Talbot

THAT: "2019 Five Year Financial Plan Bylaw No. 5794" be adopted this 21st day of March, 2019.

CARRIED

10. Business by Area Continued

10.1 Grant in Aid Requests

Report from Jodi Pierce, Manager, Financial Services dated March 7, 2019.

2019-0324

Moved By Director Cathcart

Seconded By Director Flynn

THAT: the Board approve the following allocations from the 2019 electoral grant-in-aids:

Area A

\$500 Wildsight Golden (plastic waste reduction)

\$2,500 Golden Swim Club (diving platforms)

\$1,805 Golden Kicking Horse Alpine Team (support for special needs athletes and low income families)

\$1,975 St. Andrew's Bargain Basement Thrift Store (refuse disposal)

\$1,000 Columbia Basin Environmental Education Network (Wild Voices program)

\$2,000 Golden Minor Hockey – Midget Division (attendance at Provincial tournament)

Area C

\$1,999 Notch Hill Cemetery Society (riding lawn mower)

\$10,000 Tappen Sunnybrae Firefighters Association (fitness equipment)

\$17,700 Carlin Hall Community Association (renovations)

\$32,500 Arts Council for the South Shuswap (program support)

Area E

\$500 Al Boucher Memorial Fund (playground netting)

Discussion on the motion:

Director Flynn described the City of Salmon Arm's Grant-in-Aid process and thanked Chair Martin for recognizing the request in Salmon Arm.

Chair Martin clarified the CSRD's process.

Directors discussed the current process and acknowledged that staff do behind-the-scenes work to ensure the applicants are eligible for the funding before the application appears on the Board agenda.

Director Flynn asked why there was not more support for the ball field netting.

Director Demenok – they did not apply to him.

Manager, Financial Services – yes, they did and you turned it down.

Director Demenok – I thought we could only fund things in our area.

Manager, Financial Services – no.

CARRIED

DEVELOPMENT SERVICES**11. Business General****12. 11:30 AM ALR Applications****12.1 Electoral Area D: Agricultural Land Commission (ALC) Application
Section 21 (2) – Subdivision (Hemsworth)**

Report from Laura Gibson, Development Services Assistant, dated
February 26, 2019.

1105 Salmon River Road, Silver Creek

A representative for the owners was in attendance.

2019-0325

Moved By Director Talbot

Seconded By Director Demenok

THAT: Application LC2562D, Section 21 (2) for Subdivision of the South ½ of Legal Subdivision 12, Section 5, Township 19, Range 10, West of the 6th Meridian, Kamloops Division Yale District, be forwarded to the Agricultural Land Commission recommending approval this 21st day of March, 2019.

CARRIED

13. Directors' Report on Community Events

One (1) Minute Verbal Report from Each Board Director for information.

14. IN CAMERA

2019-0326

Moved By Alternate Director Makayev

Seconded By Director Demenok

THAT: pursuant to Sections 90(1) of the Community Charter,

(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the regional district or another position appointed by the regional district;

(e) the acquisition, disposition or expropriation of land or improvements, if the board considers that disclosure could reasonably be expected to harm the interests of the regional district;

- (g) litigation or potential litigation affecting the regional district;
- (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;
- (j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act;
- (k) negotiations and related discussions respecting the proposed provision of a service that are at their preliminary view and that, in the view of the Board could reasonably be expected to harm the interests of the Board if they were held in public;

the Board move In Camera.

CARRIED

15. 1:00 PM Planning Bylaw - ELECTORAL AREA DIRECTORS

Chair acknowledged Dan Passmore, Senior Planner, leaving to commence employment at the City of Armstrong. The Chair thanked Dan for everything he has done for the CSRD and extended good wishes to him in Armstrong.

15.1 Electoral Area B: Electoral Area B Zoning Amendment (Boulder Mountain Resort) Bylaw No. 851-13

Report from Erica Hartling, Development Services Assistant, dated March 1, 2019.

3069 Trans Canada Hwy, West Revelstoke

Applicant was not in attendance.

2019-0327

Moved By Alternate Director Parkin

Seconded By Director Demenok

THAT: "Electoral Area B Zoning Amendment (Boulder Mountain Resort) Bylaw No. 851-13" be adopted this 21st day of March, 2019.

CARRIED

ELECTORAL AREA DIRECTORS

16. Business by Area

16.1 Electoral Area B: Development Permit No. 850-28 (Boulder Mountain Resort)

Report from Erica Hartling, Development Services Assistant, dated March 4, 2019

3069 Trans Canada Hwy, West Revelstoke

Applicant was not in attendance.

One public submission received.

Letter dated March 20, 2019 from Stella Jones (public submission) handed out at the meeting. No objections to the proposal but asked for reassurance that there will be no negative effect on their operations.

CAO advised the Board that the CSRD cannot provide any assurances.

Alternate Director Parkin comment there is a large buffer so there shouldn't be any concerns.

2019-0328

Moved By Alternate Director Parkin

Seconded By Director Demenok

THAT: in accordance with Section 490 of the Local Government Act, Development Permit No. 850-28 on Parcel B (See 1593481), Legal Subdivision 9, Section 30, Township 23, Range 2, West of the 6th Meridian, Kootenay District, be issued this 21st day of March, 2019.

CARRIED

16.2 Electoral Area F: Development Variance Permit 641-34 (Karl and Neil Bischoff)

Report from Christine LeFloch, Development Services Assistant, dated March 7, 2019.

2703 Bischoff Road, Magna Bay

Applicants were not in attendance.

No public submissions received.

2019-0329

Moved By Director Simpson

Seconded By Director Talbot

THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 641-34 for The SW ¼ of Section 23,

Township 23, Range 10, West of the 6th Meridian, Kamloops Division Yale District, varying Section 8.3(a) Subdivision Servicing Bylaw No. 641 to allow the use of surface water from Jack Creek which is not on the List of Eligible Sources of the Ministry of Natural Resource Operations and Rural Development, as the source of domestic water for the Proposed Remainder lot, for a proposed subdivision under application No. 2017-00161F;

be approved this 21st day of March, 2019.

CARRIED

16.3 Electoral Area F: Development Variance Permit No. 800-31 (Keene)

Report from Candice Benner, Development Services Assistant, dated March 6, 2019.

2411 Hillen Crescent, Magna Bay

Owner was in attendance.

No public submissions received.

2019-0330

Moved By Director Simpson

Seconded By Director Talbot

THAT: in accordance with Section 498 of the Local Government Act, Development Variance Permit No. 800-31 for Lot 12, Section 17, Township 23, Range 9, W6M, KDYD, Plan 26110, varying Magna Bay Zoning Bylaw No. 800, as follows:

Section 5.5(2)(f) Minimum setback from a rear parcel boundary from 4.5 m to 2.0 m for a single family dwelling,

be approved for issuance this 21st day of March, 2019.

CARRIED

16.4 Electoral Area F: Temporary Use Permit No. 830-5 (Kotterkey Enterprises Ltd.) and Development Permit No. 830-261 (Kotterkey Enterprises Ltd.)

Report from Dan Passmore, Senior Planner, dated March 4, 2019.
3797 Kenwood Gate, Scotch Creek.

Applicant not in attendance.

No public submissions received.

2019-0331

Moved By Director Simpson

Seconded By Director Talbot

THAT: in accordance with Section 493 of the Local Government Act, Temporary Use Permit No. 830-5 for Lot F, Section 33, Township 22, Range 11, West of the 6th Meridian, Kamloops Division, Yale District, Plan KAP72803, be authorised for issuance this 21st day of March, 2019, for the temporary industrial use of the property for a Road/Highways Maintenance yard subject to the following conditions being fulfilled:

- a) proof of installation of an adequate sewer system in compliance with the Section 219 covenant registered against the title of the subject property for the proposed use of the property;
- b) water servicing (quantity and quality) documentation from a qualified professional indicating that the existing well has capacity for proposed use of the property;
- c) that the TUP stipulate that:
 - All maintenance work on road maintenance equipment be conducted within buildings on the site during nighttime hours;
 - Appropriate drainage control measures are observed to ensure that any anti-icing material does not enter the groundwater; and,
 - Appropriate dust control measures are to be observed for stockpiled traction material.

Discussion on the motion:

Director Demenok asked why the zoning is different from the designation in the Official Community Plan (OCP).

Senior Planner explained that the OCP was adopted after the zoning bylaw.

Manager, Development Services - would be best practice to complete the zoning bylaw shortly after the OCP to provide consistency. The area wide zoning bylaw was put on hold by request from the Director at that time.

Director Demenok and Director Simpson asked if the CSRD staff had the ability to allow the zoning change where they do not match the OCP designation.

Manager, Development Services replied that it is bigger than it sounds and a bylaw change requires a public process. Property owners have the option to apply together and staff would work with them. CSRD could undertake it as a project, but it is a large one.

CARRIED

2019-0332

Moved By Director Simpson

Seconded By Director Talbot

THAT: in accordance with Section 490 of the Local Government Act, Development Permit No. 830-261 for the development of Road/Highways maintenance facilities on Lot F, Section 33, Township 22, Range 11, West of the 6th Meridian, Kamloops Division, Yale District, Plan KAP72803, be issued this 21st day of March, 2019.

CARRIED

17. Planning Bylaws

17.1 Electoral Area B: Electoral Area B Official Community Plan Amendment (Illecillewaet Development Inc.) Bylaw No. 850-12 and Electoral Area B Zoning Amendment (Illecillewaet Development Inc.) Bylaw No. 851-15

Report from Dan Passmore, Senior Planner, dated March 5, 2019.
354 Leoffler Road/Greely Road - Greely.

Applicants were in attendance.

2019-0333

Moved By Alternate Director Parkin

Seconded By Director Demenok

THAT: "Electoral Area B Official Community Plan Amendment (Illecillewaet Development Inc.) Bylaw No. 850-12", be given first reading this 21st day of March, 2019;

AND THAT: pursuant to Section 477 of the Local Government Act, the Board has considered this "Electoral Area 'B' Official Community Plan Amendment (Illecillewaet Development Inc.) Bylaw No. 850-12" in

conjunction with the Columbia Shuswap Regional District's Financial Plan and its Waste Management Plan.

CARRIED

2019-0334

Moved By Alternate Director Parkin

Seconded By Director Cathcart

THAT: "Electoral Area B Zoning Amendment (Illecillewaet Development Inc.) Bylaw No. 851-15", be given first reading this 21st day of March, 2019.

CARRIED

2019-0335

Moved By Alternate Director Parkin

Seconded By Director Cathcart

THAT: the Board utilize a simple consultation process for Bylaw No. 850-12 and Bylaw No. 851-15, and the bylaws be referred to the following agencies and First Nations:

- Area B Advisory Planning Commission;
- Interior Health Authority;
- Ministry of Transportation and Infrastructure;
- Ministry of Environment;
- Ministry of Forests, Lands and Natural Resource Operations;
- Ministry of Forests, Lands and Natural Resource Operations – Mountain Resorts Branch;
- Ministry of Forests, Lands and Natural Resource Operations, Archaeology Branch;
- Ministry of Agriculture;
- Agricultural Land Commission;
- City of Revelstoke;
- CSRD Operations Management;
- CSRD Financial Services;
- School District #19; and
- All relevant First Nations Bands and Councils.

CARRIED

**17.2 Electoral Areas C: Lakes Zoning Amendment (Totem Pole Resort)
Bylaw No. 900-20**

Report from Erica Hartling, Development Services Assistant, dated March 1, 2019.

7429 Sunnybrae-Canoe Point Road, Canoe Point

Applicants were not in attendance.

2019-0336

Moved By Director Demenok

Seconded By Director Talbot

THAT: “Lakes Zoning Amendment (Totem Pole Resort) Bylaw No. 900-20” be read a first time this 21st day of March, 2019;

AND THAT: the Board utilize the simple consultation process for Bylaw No. 900-20 and it be referred to the following agencies, First Nations, and stakeholders:

- Area C Advisory Planning Commission;
- Ministry of Forests, Lands, Natural Resource Operations, and Rural Development – FrontCounterBC;
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development – Archaeology Branch;
- Department of Fisheries and Oceans;
- Transport Canada;
- CSRD Operations Management; and,
- All relevant First Nation Bands and Councils.

CARRIED

17.3 Electoral Area D: Salmon Valley Land Use Amendment (674816 BC LTD.) Bylaw No. 2558

Report from Candice Benner, Development Services Assistant, dated February 28, 2019.

Highway 97, Falkland

Applicant was in attendance.

2019-0337

Moved By Director Talbot

Seconded By Director Demenok

THAT: "Salmon Valley Land Use Amendment (674816 BC LTD.) Bylaw No. 2558" be read a second time, as amended, this 21st day of March, 2019.

Director Talbot asked how many sea cans were planned for the site.

Applicant replied that it would depend on the demand, but will start off with 10 sea cans.

Planner II clarified that this bylaw amendment is for land use and it would be hard to regulate the number of sea cans.

Manager, Development Services stated it would be a special regulation.

Director Talbot said sea cans are not nice looking units and wants to hear what the public says about this.

Director Demenok said that sea cans are not generally nice in a settlement area and asked if there was any intent on stacking the sea cans.

Applicant replied that he has no intention to stack sea cans.

CARRIED

2019-0338

Moved By Director Talbot

Seconded By Director Demenok

THAT: a public hearing to hear representations on "Salmon Valley Land Use Amendment (674816 BC LTD.) Bylaw No. 2558" be held;

AND THAT: notice of the public hearing be given by the staff of the Regional District on behalf of the Board in accordance with Section 466 of the Local Government Act;

AND FURTHER THAT: the holding of the public hearing be delegated to Director Rene Talbot, as Director of Electoral Area D being that in which the land concerned is located, or Alternate Director Joy de Vos, if Director Talbot is absent, and the Director or Alternate Director, as the case may be, give a report of the public hearing to the Board.

CARRIED

17.4 Electoral Area D: Salmon Valley Land Use Amendment (Walters) Bylaw No. 2560

Report from Erica Hartling, Development Services Assistant, dated March 1, 2019.

2972 & 3020 Yankee Flats Road, Yankee Flats

Applicants were not in attendance.

2019-0339

Moved By Director Talbot

Seconded By Director Demenok

THAT: "Salmon Valley Land Use Amendment (Walters) Bylaw No. 2560" be given third reading this 21st day of March, 2019.

CARRIED

2019-0340

Moved By Director Talbot

Seconded By Director Demenok

THAT: "Salmon Valley Land Use Amendment (Walters) Bylaw No. 2560" be adopted this 21st day of March, 2019.

CARRIED

17.5 Electoral Area F: Scotch Creek/Lee Creek Amendment (Pinegrove RV Park) Bylaw No. 825-38

Report from Dan Passmore, Senior Planner, dated March 4, 2019.

1131 Pine Grove Road, Scotch Creek.

Applicant not in attendance.

New information was received and staff are no longer recommending adoption at this time.

2019-0341

Moved By Director Simpson

Seconded By Director Demenok

THAT: "Scotch Creek/Lee Creek Amendment (Pinegrove RV Park) Bylaw No. 825-38" be given third reading, this 21st day of March, 2019.

Discussion on the motion:

Director Simpson stated he was not against the proposal but does not see a difference between an RV and a park model. He also stated he was not sure if the septic issue impacts this proposal.

Chair asked if RVs have washers.

Senior Planner replied that park models come with washers and dryers and bigger fifth wheels and RVs also have laundry facilities. There is concern with the capacity but they do not contribute to the solids. The sewage treatment has had capacity issues in the past and the strata has mitigative measures. This is a shared service and the condo development have some concerns.

2019-0342

Moved By Director Simpson

Seconded By Director Demenok

THAT: the Board table consideration of third reading for "Scotch Creek/Lee Creek Amendment (Pinegrove RV Park) Bylaw No. 825-38" to a future Board meeting, this 21st day of March, 2019.

CARRIED

20. Next Board Meeting

Thursday, April 18, 2019 at 9:30 AM.

CSRD Boardroom, 555 Harbourfront Drive NE, Salmon Arm, BC

21. Adjournment

2019-0343

Moved By Alternate Director Parkin

Seconded By Director Simpson

THAT: the regular Board meeting of March 21, 2019 be adjourned.

CARRIED

2:30 PM

CHAIR

CHIEF ADMINISTRATIVE OFFICER

Delegation Request Form



Appearing Before the Board as a Delegation

Instructions and Information

Board meetings are generally held on the third Thursday of each month. Please refer to the calendar on the [CSRD's website](#) for the actual dates, or contact the CSRD offices at 250-832-8194 for the upcoming Board Meeting dates.

Delegations are limited to three (3) per meeting; slots often book up quickly.

Delegations are permitted up to fifteen (15) minutes for their presentation. Board members may ask questions after the presentation for clarification.

In order to schedule a date to appear before the Board, delegations must provide the information on the attached form. This information will be included in the agenda. By providing this detail it clarifies the purpose of the delegation for the Board and allows Board members and staff to become familiar with your topic and to obtain any necessary background information.

Your contact information will be included with your delegation information and circulated to the Board. If you do not wish your address to be included in the public agenda, please advise Corporate Administration Services at the time your Delegation request is submitted.

Contact Information

Name of Person or Organization *

District of Sicamous

Contact Information Provided * (?)

☒ Phone Number ☐ Email Address ☐ Mailing Address

Phone Number *

250 836 5262

If your application is approved, it will be included on the Board meeting agenda. Do you consent to your personal information being included on the Board Agenda? *

☒ Yes ☐ No

Presentation Information

Topic of discussion *

To thank them for the EOF funding and to summarize event progress in the last year.

Purpose of Presentation *

Note: A letter outlining the Request or the Information must accompany the Delegation Request form.

- ☒ Information Only
☐ Requesting Support
☐ Requesting Funding
☐ Other

Meeting Date Requested * (?)

18-Apr-19

Alternate Date Requested (?)

Comments

Presentation Materials- Delegation Request forms and Supporting documentation **are due** to Corporate Administration Services for the agenda package by **9am on the Tuesday one full week before the meeting**. If you wish to include a PowerPoint presentation within the Board Agenda package, in order to provide an opportunity for the Board members to review the information prior to the Board meeting date, please submit it by 9am Tuesday, prior to the meeting. Alternately, a PowerPoint presentation may be made at the Board meeting, provided you have supplied it to the CSRD offices at least three days prior to the actual meeting (the Monday prior to the meeting).

To provide your presentation, please send it to:

Columbia Shuswap Regional District
Attention: Deputy Manager of Corporate Administration
via email: inquiries@csrd.bc.ca
or to: PO Box 978, Salmon Arm BC V1E 4P1
or via Fax: 250-832-3375

If you already have your presentation or supporting materials ready, please upload them here. (?)

For Office Use Only

Approval

☐ Approved ☐ Declined ☐ Other

Appearance Date

Applicant informed of appearance date on

By

Date



COLUMBIA SHUSWAP REGIONAL DISTRICT

PO Box 978, 555 Harbourfront Drive NE, Salmon Arm, BC V1E 4P1
T: 250.832.8194 | F: 250.832.3375 | TF: 1.888.248.2773 | www.csr-d.bc.ca

File: 0410-20-06

AGR.Minister@gov.bc.ca

April 13, 2018

The Honourable Lana Popham
Minister of Agriculture
PO Box 9056 Stn Prov Govt
Victoria, BC V8W 9E2

Dear Minister Popham:

At the Regular meeting of the Columbia Shuswap Regional District (CSRD) Board held on March 29, 2018, the Board received correspondence from G & K Persson Farms, Golden, BC. A copy of the correspondence, including the letter that was sent directly to your office by G & K Persson Farms, is attached for your reference. As you know, currently rural farmers that live within 2 hours of an abattoir must take their livestock to a facility to be slaughtered. The enclosed letters express that the costs associated with this is unattainable, the facilities do not have the required capacity, can only slaughter 4 pigs a day, and the stress put on the animals is impacting the quality of the meat. These letters also outline the issues associated with these actions:

1. Animals suffered undue stress as indicated in the articles cited in the letters – stress can lead to a reduction in quality of meat;
2. Abattoirs do not have the capacity, (human resources), to meet the demand. Some farmers only option is to look after their own and of course this is illegal. Farmers don't want to do this;
3. The pricing structure is 150% higher than on small farms.

The Electoral Area Director for Area A (Rural Golden), Karen Cathcart, asked for Board support to address the need for changes to the regulations for Class E Licences. Of note, the Director mentioned that she has spoken to many farmers regarding this issue which is not isolated to the area of the Columbia Shuswap Regional District, this is a provincial issue.

Upon discussing this matter, the Board adopted a resolution to ask that the Ministry of Agriculture make a change to the licensing requirements for Class E licences to support rural farmers so that they can slaughter their livestock on their farm premises. If the Ministry changed the regulations to allow small rural farmers to have a Class E License for slaughtering their animals, this would make a huge difference for local farmers to operate their farms as they had done for years before. This change would also promote gate sales, enhance food security, and promote consumers to buy local.

/...2

ELECTORAL AREAS

A GOLDEN-COLUMBIA
B REVELSTOKE-COLUMBIA

C SOUTH SHUSWAP
D FALKLAND-SALMON VALLEY

E SICAMOUS-MALAKWA
F NORTH SHUSWAP-SEYMOUR ARM

MUNICIPALITIES

GOLDEN
REVELSTOKE

SALMON ARM
SICAMOUS

Letter to Minister of Agriculture

April 13, 2018

Page Two

We hope that the Ministry of Agriculture is open to considering changes to the Class E licensing requirements, for the benefit of producers and consumers, and in the promotion of a prosperous agricultural industry.

For your reference and information, we have also included a letter of support from the newly formed Golden Agricultural Society in regards to the request of the Columbia Shuswap Regional District.

Yours truly,

COLUMBIA SHUSWAP REGIONAL DISTRICT

Per:

A handwritten signature in black ink, appearing to read "Rhona Martin". The signature is fluid and cursive, with the first name "Rhona" being more prominent than the last name "Martin".

Rhona Martin
Chair

cc Director K. Cathcart, Electoral Area A
 G & K Persson Farms, Golden, BC
 Golden Agricultural Society
 BC Regional Districts

Enclosures

Gary & Karen Persson
G & K Persson Farms
Box 1990
Golden BC V0A 1H0
250-348-2094
native@uniserve.com

Feb 16, 2018

Honourable Lana Popham
Minister of Agriculture
Parliament Buildings
Victoria, BC V8V 1X4

Dear Minister Popham,

Gary and I live on a small acreage just south of Golden BC. We raise 10 or so pigs each year to sell to our local friends and families via Farm Gate Sales. The current Class "E" Regulations are limiting our ability to raise our pigs on our property and slaughter them on our property.

In discussion with David Charchuk, a meat industry specialist based out of Kamloops BC, he advised us to contact you in order to discuss and explore the possibilities of making some minor changes to the regulatory requirements regarding the Class "E" meat processing facilities in the Province. David was instrumental in the design and licensing approval process for our Class "E" Slaughter and Licensed Cut & Wrap facility, at that time he headed up the meat inspection team for the Interior Health Authority.

The Class "E" License gives a farmer the ability to slaughter their animals on their property, take their product to a cut and wrap facility of their choice and then sell the product via farm gate sales.

The steps in attaining a Class "E" License are as follows:

1st) farmers have to find out if they are in designated or nondesignated areas within BC

----designated areas within BC mean that a farmer can apply for a Class “E” License and will be approved.

----nondesignated areas within BC mean that a farmer must complete a Feasibility Study first to see if they even qualify for a Class “E” License.

This is where the issue lays.

2nd) If a farmer falls within the nondesignated area, they then have to do the Feasibility Study. The opening sentence within this study says,

“This Class E Feasibility Study has been designed to help you to assess the slaughter services that are available at provincially licensed Class A, B and C facilities in your area, and to determine whether they meet your needs. If the slaughter services that you need are already available through an existing provincially licensed facility in your area (i.e., within a 2 hour travel time from your farm/property), you are unlikely to be issued a Class E licence. If a facility is not available, you will be Considered for a Class E licence”.

This opening paragraph is enough to scare most people from even reading on.

Most of the profit in raising a few animals is the way of life; knowing that we are eating animals that are healthy, breathing fresh air, eating good food (no antibiotics or hormones), and not STRESSED before slaughter.

3rd) If a farmer falls within the 2 hour restriction (from an abattoir), then, NO CLASS “E” LICENSE.

If the farmer is outside the 2 hour restriction, then the can apply for the Class “E” License and will be considered for approval.

We the people of British Columbia are asking to change the wording in this document and exclude the 2 hour distance within an abattoir. We agree that a Class “E” License is necessary, but should not have the time restriction.

These are our supporting reasons:

1) The stress of loading, hauling, unloading, and not to mention being in a strange environment until slaughtered. What affect does this have on our meat? The

adrenalin in our meat prior to slaughter would be huge. Not to mention the cost of transportation, once to deliver the carcass to the facility and once to go pick it up.

2) Many of the abattoirs within the province are overloaded and cannot accommodate the number of animals that need to be slaughtered in their areas. If Class "E" Licenses were given to local farmers, allowing a farmer to slaughter his own animals, this would take some of the pressure off of the larger scale, licensed abattoirs.

3) The expense that incurs by having pork inspected, (by a gov'n't inspector, at a licensed abattoir for farm gate sales is a complete waste of gov'n't (tax payers) money as farm gate sales is much different then gov'n't inspected meats at an abattoir.

4) Carbon Footprint: localized foods, better quality, more nutritious, higher animal survival rates. By allowing farmers to have farm gate sales we are preserving a way of life, keeping small agricultural lands productive; therefore, protected and having a healthier, vigorous enthusiastic rural community that will grow more produce and build economic development in the Agricultural Sector.

5) Because of todays impersonal high-volume meat producers and exports we need inspected product; but our society also deserves the right to raise and buy meat not subjected to the industrial short falls of nutrition and quality.

6) The small farmer would have to build a facility for easy loading and hauling, with stress of the animal the main concern. The effort of his animal husbandry to raise a highly nutritious, tasty product will not only be degraded, but may be lost altogether. In our case, G & K Persson Farms; we raise 10 pigs per year, we can only cut 2 pigs per day in our licensed cut and wrap facility. It would take us 8 trips to Invermere to deliver and then to pick up our carcasses.

The differences between farm gate and inspected meats.

Farm gate sales: a farmer raises his animal on his own property, slaughters the animal (stress free) and takes it to a legal cut and wrap, he then brings the product

home to sell from his farm. Usually this is to family and friends, and within their own regional district.

Inspected meats: these animals are raised on a farmer's property, then shipped to a Licensed Abattoir. The animals are then slaughtered (a gov'n't paid inspector inspects all animals) and are ready for cut and wrap. These meat products are now ready to sell retail (health food stores, grocery, restaurants).

There is a need for both types of facilities and Licensing programs within our province.

In closing, please find attached links for supporting documents.

<https://www.atlasobscura.com/articles/why-scared-animals-taste-worse>

<http://www.fao.org/docrep/003/x6909e/x6909e04.htm>

<http://www.sapork.biz/stress-can-affect-meat-quality/>

http://animalstudiesrepository.org/cgi/viewcontent.cgi?article=1019&context=acw_p_faafp (pages 324,5,6 are of most concern)

<https://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/agriculture-and-seafood/food-safety/meat-inspection/classefeasibilitystudy.pdf>

<https://www2.gov.bc.ca/gov/content/industry/agriculture-seafood/food-safety/meat-inspection-licensing/designated-areas>

<http://vancouver.sun.com/news/local-news/federal-documents-reveal-repeated-cases-of-pigs-dying-en-route-to-langley-slaughterhouse>

<http://vancouver.sun.com/news/local-news/b-c-slaughterhouse-documents-reveal-inhumane-treatment-risk-of-contamination>

We have added a brief summary of the attached supporting documents for a quick reference for yourself.

*stress through transportation, rough handling, fear, fighting and/or botched stunning reduces the amount of Glycogen in the animal which turns into Lactic Acid after the animal has bled out. Low levels of Lactic Acid in pigs "Pale Soft Exudative" (PSE) meat is usually unsellable, and the pork industry loses \$275 million/year on meat that has to be discarded. In cattle and sheep "Dark Firm Dry" (DFD) meat is tough, dry, acidic and dark, and like PSE meat, it has a shorter shelf life. Enough of the PSE meat is disguised as ground, thus reducing the losses enough that it is still not a financial benefit for the use of more humane slaughter arrangements.

Thank you very much for reviewing our letter and documentation. We are looking forward to a timely response regarding the Class "E" Licensing.

Gary and Karen Persson



Letter of Support

January 30 2018

To: Whom it may concern.

Regarding: Letter of support request.

From: Golden Agricultural Society.

The Golden Agricultural Society is a new society that operates in the Golden area and within Columbia Shuswap Regional District Area A. We are a group of farmers that are working together to try and increase local food production in our region, as well as economic opportunities for local agriculturalists by, engaging in activities that are helping promote agriculture.

Please be advised that; the Golden Agricultural Society supports our local Columbia Shuswap Regional District area A agricultural community, In their effort to make the class E licensing more easily accessible to our local producers.

The Golden Agricultural Society believes, that local producers big or small should be able to obtain a class E license regardless of their property's relative distance to a class A abattoir. The Golden Agricultural Society would support these above mentioned efforts in regards to class E licensing if; our local producers are willing to invest and operate their facility within all legislative obligations to class E licensing.

The Golden Agricultural Society believes in, preserving our producers right in order to produce their own products on their own farms, regardless of their properties relative distance to a class A abattoir. This may be a more feasible option for certain producers management skills and styles that may not work in conjunction with their local class A abattoir.

The Golden Agricultural Society is in strong support of class A abattoirs as there is a need for these facilities. The Golden Agricultural Society respects the financial commitment made by the operators but also; believes that a producer should have a fair chance at the option of being a successful applicant for class E licensing if they so wish to do so, in order to have a better chance at their economic well being for them and their families.

Jesse Courteau
President
Golden Agricultural Society.



MAR 28 2019

File: 0280-30

Ref: 189955

Rhona Martin
Chair
Columbia Shuswap Regional District
Email: rmartin@csrd.bc.ca

Dear Chairperson Martin:

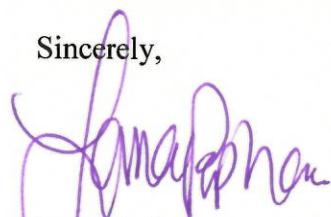
Thank you for your email dated February 7th 2019, regarding Class E licence requirements. I apologize for the delay in responding.

As you may know, the Select Standing Committee on Agriculture, Fish and Food (Committee) was established on April 24, 2018 and tasked with examining, inquiring into, and making recommendations concerning local meat production in B.C. After launching a public consultation, the Committee released their report with 21 recommendations for government related to licensing and oversight, skilled labour and workforce, and industry growth and development.

Since the Committee report came out, Ministry staff have been working to address many of the recommendations and take the time to get the government response right. We want to ensure we give appropriate consideration to the work of the Committee and address the recommendations appropriately. With regards to Class E licences, the current licensing requirements are being considered to ensure they reflect the needs of operators while maintaining competitiveness among enterprises of different scale, and continue to uphold B.C.'s high standards of food safety and animal welfare.

I appreciate your comments and your feedback in regards to the challenges facing smaller producers. I want to assure you that we are considering your letter as we respond to the Committee's recommendations.

Sincerely,



Lana Popham
Minister



April 9, 2019

Ref: 244801

Rhona Martin, Chair
Columbia Shuswap Regional District
555 Harbourfront Dr NE
PO Box 978
Salmon Arm BC V1E 4P1

Dear Chair Martin:

Thank you for your letter of February 27, 2019, requesting funding for a study to examine the potential creation of a new municipality that would include the communities of Sorrento and Blind Bay.

I am pleased that the recently completed Boundary Analysis Study provided useful information that helped the Columbia Shuswap Regional District (CSRD) Board come to this unanimous decision. It is encouraging to hear that a boundary analysis study was a useful first step towards a possible incorporation study and helped narrow the scope of the request. I expect that Ministry of Municipal Affairs and Housing staff will consider encouraging other regions exploring governance options to make similar use of boundary analysis studies. I also appreciate the Board providing direction as to their preferred alternative (splitting of the electoral area) if incorporation is not the path chosen following a study, as the outcome of a study process is not always certain.

Undertaking an incorporation study is a major endeavor and requires a significant commitment of local and provincial staff time and resources. Given the information presented in the Boundary Analysis Study and the steps the CSRD has already taken to set the groundwork for an incorporation study, the Province of British Columbia is supportive, in principle, of assisting in the next steps. These next steps will need to include a better understanding of the timelines and details of a proposed study (i.e., work towards a terms of reference for an incorporation study). Therefore, I will ask Ministry staff to follow up with CSRD staff to outline the further information that is required. After a terms of reference has been developed, the Province can consider a request for staff time and financial resources to support an incorporation study.

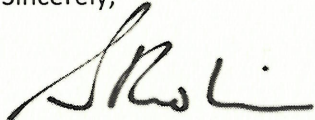
.../2

Rhona Martin, Chair
Page 2

I look forward to providing a response about funding once Ministry staff have had an opportunity to discuss details with CSRD staff and are able to provide me with full information about the proposed study.

Thank you again for writing, and congratulations on the work done to date.

Sincerely,

A handwritten signature in black ink, appearing to read 'S. Robinson', with a stylized flourish at the end.

Selina Robinson
Minister

pc: Paul Demenok, Director, Electoral Area C
Columbia Shuswap Regional District

Lynda Shykora, Deputy Manager
Columbia Shuswap Regional District



COLUMBIA SHUSWAP REGIONAL DISTRICT

PO Box 978, 555 Harbourfront Drive NE, Salmon Arm, BC V1E 4P1
T: 250.832.8194 | F: 250.832.3375 | TF: 1.888.248.2773 | www.csrld.bc.ca

File: 0410 20 10

February 27, 2019

Via email: MAH.Minister@gov.bc.ca

The Honourable Selina Robinson
Minister of Municipal Affairs and Housing
PO Box 9056, Stn Prov Govt
Victoria, BC V8W 9E2

Dear Minister Robinson:

RE: Application for Funding: Restructure Study for Incorporation – Sorrento/Blind Bay
Electoral Area C, Columbia Shuswap Regional District (CSRD)

We wish to advise that the Columbia Shuswap Regional District (CSRD) Board has unanimously supported making a request to the Province to fund a study examining the potential creation of a new municipality that would include the communities of Sorrento and Blind Bay (Option 3 contained in the attached Boundary Analysis Final Report).

Support for the Option 3 scenario was given after Directors considered the ramification of a number of different scenarios presented in the Area C Boundary Analysis Report prepared by Neilson Strategies. This report looked at options including the creation of a stand-alone Sorrento municipality, a separate Blind Bay municipality, the Sorrento/Blind Bay municipality or the creation of two Electoral Areas, as well as potential boundaries for each. The option which best met the technical criteria for consideration for further study by the Ministry of Municipal Affairs was the formation of one municipality comprised of both Sorrento and Blind Bay.

With the Board approval of the motion, the CSRD is seeking approval from the Minister's office to fund an in-depth study to determine the feasibility of this incorporation option and its potential costs to the taxpayer.

In considering this matter at the February 21, 2019 Regular Meeting, the Board asked that it be conveyed to the Minister's office that if the Sorrento/Blind Bay incorporation process is not deemed feasible through an Incorporation Committee process or through an Incorporation Referendum, the Board's default position is that two electoral areas are needed to represent Area C constituents and the Board supports the division of Electoral Area C into two separate Electoral Areas. This latter position points to the inequities in the elected representation by population in Electoral Area C and a need for greater representation at the CSRD Board.

ELECTORAL AREAS

A GOLDEN-COLUMBIA
B REVELSTOKE-COLUMBIA

C SOUTH SHUSWAP
D FALKLAND-SALMON VALLEY

E SICAMOUS-MALAKWA
F NORTH SHUSWAP-SEYMOUR ARM

MUNICIPALITIES

GOLDEN
REVELSTOKE

SALMON ARM
SICAMOUS

Letter to Minister Robinson
Minister of Municipal Affairs and Housing
Page Two

February 27, 2019

We look forward to your favourable consideration of the CSRD's request for the Ministry of Municipal Affairs to fund a comprehensive study to determine the feasibility of the incorporation for Sorrento/Blind Bay and its potential costs. The results of this study would provide South Shuswap residents with the information needed to make a fully informed decision about the future governance structure in Area C.

For your information, a copy of the Certified Resolution adopted at the February 21, 2019 CSRD Regular Board meeting and a copy of the Final Report, Area C Boundary Analysis, is attached.

Yours truly,
COLUMBIA SHUSWAP REGIONAL DISTRICT
Per:



Rhona Martin
Chair

cc P. Demenok, Director, Electoral Area C, CSRD
M. Edmondson, Director, Director, Governance and Structure Branch

Enclosures



Interior Health
Every person matters

<input type="checkbox"/> CAO <input type="checkbox"/> Works <input type="checkbox"/> DS <input checked="" type="checkbox"/> Fin/Adm	<input checked="" type="checkbox"/> Agenda <input checked="" type="checkbox"/> Reg Board <input type="checkbox"/> In Camera <input type="checkbox"/> Other Mtg	Ownership File# 0410-2022
251 Jan APR - 8 2019 2022		
<input type="checkbox"/> Ec Dev <input type="checkbox"/> IT <input type="checkbox"/> Parks <input type="checkbox"/> SEP <input type="checkbox"/> HR <input type="checkbox"/> Other	RECEIVED <input type="checkbox"/> Staff to Report <input type="checkbox"/> Staff to Respond <input type="checkbox"/> Staff Info Only <input type="checkbox"/> Dir Mailbox <input type="checkbox"/> Dir Circulate	Ack Sent: <input type="checkbox"/> Fax <input type="checkbox"/> Mail <input type="checkbox"/> Email

CSR Board

April 5, 2019

Ms. Rhona Martin, Chair
Columbia Shuswap Regional District
555 Harbourfront Drive NE, PO Box 978
Salmon Arm BC V1E 4P1

Dear Ms. Martin:

Thank you for your recent letter regarding the Lions Vision Centre, located at the Pleasant Valley Health Centre. Interior Health and Vernon Jubilee Hospital Senior Leadership truly recognize the dedication and incredible work undertaken by those involved in making the Lions Vision Centre a reality, and their continued support for ongoing equipment needs at the Centre.

The Vision Centre is currently experiencing a shortage of anaesthesiology resources. This shortage is being experienced across Interior Health, and throughout B.C. and Canada. In response to the shortage we have managed to find interim coverage. However, this is not a sustainable option and gaps in coverage have the potential to cause postponement of surgical cases. I want to assure you that we are working diligently with our physicians to reduce the impact to patients and to develop the best possible solution to continue to provide sustainable safe patient care.

I am acutely aware of the potential impact that this information may have on the valued relationship with the Lions Club as a key stakeholder in the Lion's Vision Centre, and I would not wish to cause any undue stress to the Lions Club or wider community.

While it is possible that relocation to Vernon may be required to sustain service for local patients, I want to stress that no decision has been made and our preference is certainly to find a way to keep the service in its current location.

Interior Health has a formal policy of consultation with third party donors and we will make certain the necessary collaboration with the Lions Club takes place if a need to relocate appears unavoidable.

Sincerely,

Richard Harding
Acute Health Service Administrator
Hospitals and Communities, North Okanagan

RICHARD HARDING, BSC (HONS) NURSING, PG DIP ADV HCP
Acute Health Service Administrator
Hospitals and Communities, North Okanagan
Vernon Jubilee Hospital

2101 32 Street Vernon, BC V1T 5L2

DIRECT: 250.558.1258

Email: Richard.Harding@interiorhealth.ca

www.interiorhealth.ca



COLUMBIA SHUSWAP REGIONAL DISTRICT

555 Harbourfront Drive NE, PO Box 978, Salmon Arm, BC V1E 4P1
T: 250.832.8194 | F: 250.832.3375 | TF: 1.888.248.2773 | www.csrld.bc.ca

March 28, 2019

File No: 0410 20 22

Richard Harding, Health Services Administrator
Interior Health Authority
Vernon Jubilee Hospital
2101 32 Street
Vernon, BC V1T 5L2

Dear Mr. Harding:

Re: Proposed Relocation of the Armstrong Vision Center, Pleasant Valley Health Center

At the March 21st Regular Board meeting, the Board of the CSRD passed the following motion:

"THAT: the Board direct staff to write a letter to Interior Health opposing the proposed relocation of the Armstrong Vision Center, Pleasant Valley Health Center, to the Vernon Jubilee Hospital, this 21st day of March, 2019."

The Board received a letter from Peter and Betty Powell, residents of Sicamous and very active members of the Enderby Lions Club dated March 12, 2019. They expressed the concerns of not only their club's membership but those of the region regarding the potential movement of the Armstrong Vision Centre. We are grateful for the support of the Regional Lions Clubs in raising funds over the past decade to establish this extremely successful centre and respect their commitment to this project. We share their concerns for the difficulty this move could cause users of the facility such as ease of access and limited close proximity parking as well as their concern of the removal of assets to which they have financially contributed to.

We, as a Board, respectfully request that every effort is made to keep this facility in its current location.

Yours truly,

COLUMBIA SHUSWAP REGIONAL DISTRICT

Per:

Rhona Martin
Chair

ELECTORAL AREAS

A GOLDEN-COLUMBIA
B REVELSTOKE-COLUMBIA

C SOUTH SHUSWAP
D FALKLAND-SALMON VALLEY

E SICAMOUS-MALAKWA
F NORTH SHUSWAP-SEYMOUR ARM

MUNICIPALITIES

GOLDEN
REVELSTOKE

SALMON ARM
SICAMOUS



Office of the Mayor

April 5, 2019

Member Municipalities
c/o Union of BC Municipalities
Suite 60 - 10551 Shellbridge Way
Richmond, BC V6X 2W9

Dear UBCM Member Municipalities:

I am writing on behalf of Maple Ridge City Council to inform you of recent action taken by the Province of British Columbia that undermines the authority granted to municipal governments, and request that you pass a resolution to be forwarded to Premier Horgan and the Union of BC Municipalities (UBCM) expressing concern for the impact this action has on the roles defined for local government within the Community Charter (CC) and the Local Government Act (LGA).

By way of background, I share with you the recent experience of the City of Maple Ridge, where on two separate occasions, we have been subjected to the Province's unilateral action to bypass local government autonomy and public process, inconsistent with our local zoning.

In May 2018, the Province of BC made application to the City of Maple Ridge to rezone provincially-owned properties on 11749 & 11761 Burnett Street (as referenced in Item 1108 of the May 22, 2019 Council Meeting Report) to build purpose built supportive housing. Citizens attended a public meeting hosted by local MLAs and presented a 10,000 name petition against this application citing several considerations that made the site unsuitable including its proximity to a daycare, two schools, a seniors centre, and that the proposed model itself was inadequate to meet the complex mental health and addiction support services required, particularly persons coming from a camp environment. Following the public process, the City rejected the application. The Provincial Government responded to this decision by taking unilateral action to install housing through the Rapid Response to Homelessness (RRH) program on a nearby provincially-owned site on Royal Crescent, next to senior and low income housing, without any local consultation citing emergency measures were needed to ensure camp closure, which did not happen.

Since this Council took office in November 2018, we have taken swift and deliberate steps to address mental health and housing problems in our community, especially with regard to the ongoing presence of the St. Anne Camp that was first established in May 2017. We have endeavored to open positive channels of communication with the Province of BC to deliver a workable plan that addresses immediate and long term housing needs in our community, while respecting the views that have been clearly stated by local citizens. This began with post-election meetings in October 2018 with our local MP, MLAs, Fraser Health Authority, BC Housing and related non-profit service providers followed by Council's development of a Strategic Plan which includes direction to establish a Community Safety Plan as a major tenet of this work. These steps have been followed up most recently with a meeting in Victoria on February 25, 2019 with Ministers we felt needed to be present to assist us in our plan, that being Ministers of Health, Mental Health and Addictions, Poverty and Housing to discuss a broad range of problems including housing affordability, delivery of addiction and mental health services, community safety, and how we can move forward on these matters in Maple Ridge.

/2

City of Maple Ridge

11995 Haney Place, Maple Ridge, British Columbia V2X 6A9 CANADA

Telephone: 604-463-5221 • Fax: 604-467-7329 • Email: enquiries@mapleridge.ca • www.mapleridge.ca

UBCM Member Municipalities

April 5, 2019

Page 2

On Monday, March 4, just one week after that meeting, I received a phone call from the Housing Minister demanding that the City deliver a "Social Housing Plan" within five days to address short and long term needs, including providing immediate housing to facilitate the closure of the St. Anne Camp. Council immediately passed a resolution and then delivered on this request in seven days, with all related resolutions from Council to demonstrate our willingness and commitment to collaborate for a mutually beneficial outcome. The Plan was immediately rejected by the Province. The Province cited the unsuitability of the City's chosen property, despite City staff's assessment that the site could accommodate immediate housing needs to achieve camp closure. One week later, Minister Robinson announced publicly that RRH housing would be installed on Burnett Street, at the same location local residents and the previous Council had already rejected through the usual local application process.

Maple Ridge Council is gravely concerned by this second instance of the Provincial Government overriding local autonomy. The initial 53 housing units installed on Royal Crescent did not end the St. Anne Camp as promised by the Province, with units populated by both camp residents and other homeless individuals identified by BC Housing as a regional housing provider. In five months' time, the facility has experienced two deaths, and seen few moving forward as evidenced by statistics provided by the operator. Increasing crime at this location, the St. Anne Camp, and all other low barrier facilities in Maple Ridge indicates that the chosen model is not suitable to help people in a very serious state of poor mental health often coupled with significant substance misuse problems. Moreover, we have seen that other communities working to address closure of camps experienced similar results (e.g. Nanaimo, Victoria, Surrey and now Maple Ridge).

The emphasis that has been placed on low barrier housing in Maple Ridge, which includes approximately 950 rental supplements for untreated persons mostly suffering from substance misuse and mental health problems, has eliminated most of our affordable housing stock that is critical for people on low income, veterans, seniors, single parents and persons with disabilities. Furthermore, ongoing criminal activity has overtaxed all front line resources. These are real and significant local concerns that have been swept aside by the Province's action.

What our community needs is a comprehensive health care facility focusing on mental and physical health, addictions recovery, and services to move people forward to a better place in their lives. We asked for this as part of our Social Housing Plan to the Province, a Plan which recognizes that local governments' role is to make decisions in the best interest of local residents. By acting unilaterally, the Province has imposed regional priorities at the expense of Maple Ridge citizens, and taken away our Council's ability to represent the best interests of our community.

We therefore ask you, our fellow local governments, to consider the ramifications of this unilateral action by the Province of BC to overrule municipal land use regulations and dispense with public consultation and collaboration with local government. In our view, it sets a dangerous precedent that jeopardizes the autonomy of all local governments in British Columbia, and could have repercussions for a wide range of sensitive matters that municipalities might consider, such as a waste incineration plant, a prison, a communication tower, etc. For projects such as these, it is particularly important that senior government initiatives go through proper process including site assessment and suitability evaluation, and for the Province of BC to respect the authority that has been granted to local governments to carry out due public process and represent the best interests of their communities in order to ensure approval.

UBCM Member Municipalities

April 5, 2019

Page 3

We appreciate that initiatives such as the RRH program may or may not be suitable in your community. Local government holds the authority and responsibility of making the right decisions based on a balance of all interests and weighing local and regional needs, while working with our senior government partners.

Enclosed you will find a proposed resolution that is strictly about the importance of local government autonomy. We ask that you consider passing this resolution and forward a copy to Premier Horgan and the UBCM to let them know that local governments require the Province of BC to respect local democracy and work collaboratively with us to move forward on projects and programs of mutual concern that balance the interests of all BC residents.

Thank you for your consideration of this important matter.

Yours sincerely,



Michael Morden
Mayor

Attach: Sample Resolution
Sample Letter to Premier Horgan

cc: Maple Ridge Council

Sample Resolution

WHEREAS the *Community Charter*¹ acknowledges that municipalities and their Councils are “democratically elected, autonomous, responsible and accountable”; require the authority to determine the public interest of their communities; and the *Local Government Act*² grants local governments the powers and flexibility required to fulfill their purpose and respond to the needs of their communities;

AND WHEREAS the Ministry of Municipal Affairs & Housing has taken unilateral action in Maple Ridge that undermines the jurisdiction of the Council of the City of Maple Ridge to determine and represent the public interest of this community, setting a dangerous precedent that jeopardizes the autonomy of all local governments in British Columbia in representing the interests of their communities through fair and accountable public process;

THEREFORE BE IT RESOLVED that [Enter Municipality] urges the Province of British Columbia to commit to work in collaboration with local governments within the bounds of their respective jurisdictions on all current and future projects of mutual concern to local governments and the Provincial Government.

¹*Community Charter*, SBC 2003, c.26, part 1

²*Local Government Act*, RSBC 2015, c.1, part 1

[Enter Date]

Premier Horgan
West Annex Parliament Buildings
Victoria, BC V8V 1X4

Dear Premier Horgan:

Due to our concern over recent action taken by the Ministry of Municipal Affairs & Housing to undermine jurisdiction granted to municipal governments, the Council of [Enter Municipality] endorsed the following resolution on [Enter Date]:

WHEREAS the *Community Charter* acknowledges that municipalities and their Councils are “democratically elected, autonomous, responsible and accountable”; require the authority to determine the public interest of their communities; and the *Local Government Act* grants local governments the powers and flexibility required to fulfill their purpose and respond to the needs of their communities;

AND WHEREAS the Ministry of Municipal Affairs & Housing has taken unilateral action in Maple Ridge that undermines the jurisdiction of the Council of the City of Maple Ridge to determine and represent the public interest of this community, setting a dangerous precedent that jeopardizes the autonomy of all local governments in British Columbia in representing the interests of their communities through fair and accountable public process;

THEREFORE BE IT RESOLVED that [Enter Municipality] urges the Province of British Columbia to commit to work in collaboration with local governments within the bounds of their respective jurisdictions on all current and future projects of mutual concern to local governments and the Provincial Government.

We therefore urge the Government of BC to respect local government autonomy and engage in collaborative consultation with municipalities and constituents on any land use or other matters of concern to the Provincial Government.

Yours sincerely,

[Signatory]



City of Revelstoke

P.O. Box 170, Revelstoke, British Columbia V0E 2S0
revelstoke.ca

April 10, 2019

Charles Hamilton
Chief Administrative Officer
Columbia Shuswap Regional District
Box 978
SALMON ARM, BC V1E 4P1

Email: chamilton@csrd.bc.ca

Dear Mr. Hamilton:

Re: City of Revelstoke – Columbia Basin Trust Community Initiatives and Affected Areas Program Recommendations

During the Regular Council Meeting held April 9, 2019 Revelstoke City Council passed the following resolution to support the CBT Evaluation Committee recommendations (attached) to the Columbia Shuswap Regional District as follows:

“THAT the funding allocations in the amount of \$389,056 from the Columbia Basin Trust Community Initiatives and Affected Areas Program for 2019 as recommended by the Program Evaluation Committee be approved by Council and sent to the Columbia Shuswap Regional District Board for approval.”

Should you have any questions please contact Dawn Low, Director of Corporate Administration, at 250-837-2911.

Sincerely,

Cindy Floyd
Executive Assistant

:cf
Enc.

cc: D. Brooks-Hill, CSRD Area B Director
Jodi Pierce, CSRD
Lynda Shykora, CSRD

DEVELOPMENT
SERVICES

(250) 837-3637
development@revelstoke.ca

PUBLIC WORKS

(250) 837-2001
works@revelstoke.ca

FINANCE

(250) 837-2161
finance@revelstoke.ca

FIRE RESCUE
SERVICES

(250) 837-2884
fire@revelstoke.ca

PARKS, RECREATION
& CULTURE

(250) 837-9351
prc@revelstoke.ca

CORPORATE
ADMINISTRATION

(250) 837-2911
admin@revelstoke.ca

COMMUNITY
ECONOMIC DEVELOPMENT

(250) 837-5345
ced@revelstoke.ca



City of Revelstoke

Council Report

File No.: 4200

To: His Worship Gary Sulz and Members of City Council
From: Dawn Low, Director of Corporate Administration
Date: April 2, 2019
Subject: Columbia Basin Trust (CBT) – Community Initiatives & Affected Areas Program

RECOMMENDATION:

THAT the funding allocations in the amount of \$389,056 from the Columbia Basin Trust Community Initiatives and Affected Areas Program for 2019 as recommended by the Program Evaluation Committee be approved by Council and sent to the Columbia Shuswap Regional District Board for approval.

CAO Comments:

Approved for Council consideration. DL

Background:

The intent of the Community Initiatives and the Affected Areas Programs (CIP/AAP) is to provide additional value to support Basin communities and benefit the broad community and public good. In determining the eligibility of projects the spirit of program is applied as an evaluation measure.

CIP/AAP Program Funding is for meeting community and public needs rather than private needs and the Columbia Basin Trust Act requires Trust funding not relieve any level of government of its normal obligations. Program funds are not to be used to fund basic infrastructure activities such as roads, sewers, water systems, fire services and core services normally provided through government taxation.

Council with the support of the CSRD Area B Director appointed five members of the community to the CBT Evaluators Committee. The Evaluation team consists of 5 community members who volunteer their time to the program: David Raven, Cindy Maloney, Linda Chell, Bill MacFarlane and Melissa Hemphill. The Committee members are tasked with evaluating the applications from the community and allocating the funding from the CBT Community Initiatives and Affected Areas Program to the qualifying applicants.

Discussion:

45 applications were received by the February 25, 2019 deadline. The presentation evening was held on April 2, 2018 chaired by Dawn Low and Cindy Floyd.



City of Revelstoke

Council Report

The Evaluation Committee met on April 3, 2019 in Council Chambers and completed the difficult task of reviewing the various proposals. There were \$ 686,245 in funding requests by applicants and \$389,056 was distributed by the CBT Evaluation Committee which was equal to the amount received this year in CBT funding including \$5,000.00 that was returned from the Revelstoke Multi-Cultural Society for the Carousel of Nations program because the society folded and did not use the money allocated in the previous year.

Community engagement during the presentation evening was very high with over 145 participants attending the 2 hour public meeting. The public presentation is valued at 15% of the overall grading for the grant applications. General comments about the meeting were very positive and reflected an appreciation for a streamlined, more efficient process.

All applications are available for Council's review in the Corporate Administration Department. Applicants and funding allocations are attached for Council consideration and review.

Financial / Risk Implications:

The funding for this program is received from CBT and administered by the City of Revelstoke on behalf of the City and the CSRD. This is the second year the program was brought in house and administered by Corporate Administration which resulted in a cost savings for the City of approximately \$18,000.00 in administration fees.

Strategic Plan Reference:

This initiative is consistent with the Council Goals and Objectives:

1. Quality of Life
2. Planning for the Future

Attachments:

Applicants/Projects and Funding Allocations Form

Others Consulted:

Cindy Floyd, Executive Assistant
David Brooks-Hill, Director Electoral Area B - Rural Revelstoke-Columbia/Trout Lake
Gary Sulz, Mayor City of Revelstoke

Respectfully submitted,

Dawn Low
Director of Corporate Administration

		2019 Total Budget	Amount Requested	Funding Recommended
1	Revelstoke & District Humane Society - <i>Spay and Neuter Program</i>	8,060	7,000	\$3,500.00
2	Flying Arrow Productions - <i>Inter-generational Community Musical</i>	82,950	20,000	\$10,000.00
3	City of Revelstoke - <i>Youth Access Fund</i>	6,000	2,000	\$2,000.00
4	Avalanche Canada - <i>Revelstoke Public Outreach Safety Events</i>	13,275	3,500	\$3,500.00
5	Revelstoke Fab Lab Society - <i>Youth Programming</i>	29,225	13,000	\$9,100.00
6	Open Mountains Project Society - <i>Mountain Youth Summer Programs</i>	39,550	34,550	\$13,000.00
7	Stoke FM Radio Society - <i>Radio Signal Reliability Project</i>	3,300	1,500	\$956.00
8	Revelstoke Seniors Association - <i>Volunteer Program Coordinator</i>	27,000	16,300	\$10,000.00
9	Revelstoke Local Food Initiative - <i>Growing in Revelstoke</i>	23,400	15,100	\$10,000.00
10	Community Connections - <i>Social Justice Advocate</i>	17,000	10,000	\$6,000.00
11	School District 19 - <i>Screen Smart</i>	13,400	8,700	\$5,000.00
12	Revelstoke Climbers Access Society - <i>Big Eddy Boulders Recreation Site Development</i>	13,460	8,300	\$5,500.00
13	Community Connections - <i>Food Secure Revelstoke</i>	91,350	30,000	\$15,000.00
14	SD 19 Parent Advisory Council - <i>School Breakfast Program</i>	62,360	20,500	\$15,000.00
15	Rotary Club - <i>Kovach Park Playground Shade Structure</i>	18,700	10,000	\$5,000.00
16	Revelstoke Raquet Den Society - <i>Activity Centre</i>	130,200	75,000	\$15,000.00
17	North Columbia Environmental Society - <i>Access to Nature & Sustainable Living</i>	70,950	25,650	\$17,500.00
18	Revelstoke Community Housing Society - <i>Administrative Support</i>	26,000	16,500	\$10,000.00
19	Revelstoke Arts Council - <i>LUNA Art and Wonder</i>	76,000	20,000	\$14,000.00
20	Revelstoke Arts Council - <i>LUNA Sound</i>	52,800	15,000	\$8,000.00
21	Revelstoke Heritage Railway Society - <i>Selkirk Spreader Project</i>	31,700	13,000	\$9,000.00
22	Community Connections - <i>Food Bank</i>	198,200	40,000	\$25,000.00
23	Bee Awareness Society - <i>School Education Program</i>	3,000	3,000	\$1,000.00
24	Revelstoke Bear Aware Society - <i>Bear Aware Program</i>	37,701	15,000	\$10,000.00
25	Revelstoke Arts Council - <i>Art Alleries</i>	84,000	20,000	\$10,000.00
26	Community Connections - <i>Summer Day Camp</i>	50,031	10,000	\$7,000.00
27	Revelstoke Hospice Society - <i>PALS Training</i>	29,040	12,500	\$11,000.00
28	Revelstoke Cycling Association - <i>Trail Infrastructure Revitalization</i>	11,900	7,050	\$5,000.00
29	Revelstoke Women's Shelter - <i>Moving Forward</i>	55,890	7,500	\$6,000.00
30	Okanagan College - <i>Community Training Subsidies</i>	18,500	10,000	\$7,000.00
31	Community Connections - <i>Youth Services Enhancement Project</i>	43,400	20,000	\$14,000.00
32	Revelstoke Arts Council - <i>Creative Communities on Stage</i>	76,000	18,000	\$10,000.00
33	Revelstoke Museum & Archives - <i>Stories Beneath the Surface Project</i>	38,250	20,000	\$15,000.00
34	Revelstoke Childcare Society - <i>Leapland</i>	29,820	17,400	\$13,000.00
35	Revelstoke Childcare Society - <i>Healthy Child Development</i>	9,925	3,045	\$3,000.00
36	Revelstoke Visual Arts Society - <i>Art Exhibition Revolution</i>	34,000	16,000	\$10,000.00
37	BC Interior Forestry Museum - <i>Visitor Experiences</i>	15,650	12,300	\$8,000.00
38	Revelstoke Women's Shelter - <i>Moving Mountains</i>	38,640	8,300	\$4,000.00
39	Revelstoke Forest Workers Society - <i>Timber Days Climbing Pole Replacement</i>	9,500	3,000	\$3,000.00
40	Community Connections - <i>Neighbourhood House</i>	452,285	20,000	\$10,000.00
41	Revelstoke Golf Club - <i>Jr. Program Enhancements</i>	5,000	4,000	\$4,000.00
42	Revelstoke Arts Council - <i>Professional Arts Presentation</i>	188,000	30,000	\$15,000.00
43	Freshwater Fisheries Society of BC - <i>Outreach Programs</i>	22,000	7,000	\$0.00
44	Parent Association of Ecole Des Glaciers - <i>Francophone Cultural Experiences Project</i>	11,300	6,300	\$4,000.00
45	Revelstoke Ski Club - <i>Youth Racing Program</i>	14,200	10,250	\$7,000.00
				<u>\$389,056.00</u>

Council Meeting
March 13th 2019 | 10:00 AM – 2:30 PM
Columbia Shuswap Regional District Boardroom
555 Harbourfront Drive NE, Salmon Arm

Draft Record of Decisions and Action Items

This record is subject to correction when adopted at the next SWC meeting

Meeting objectives

1. Elect Chair and Vice Chair for 2019
2. Receive report from Program Managers
3. Approve 2019-20 budget and work plan
4. Receive guest presentation on provincial Agricultural Environmental Management Code of Practice

Present

Paul Demenok, Chair – Columbia Shuswap Regional District, Area C
 Rene Talbot – Columbia Shuswap Regional District, Area D
 Rhona Martin – Columbia Shuswap Regional District, Area E – *by phone, 11:25 am – 12 pm*
 Jay Simpson – Columbia Shuswap Regional District, Area F
 Ken Christian – Thompson-Nicola Regional District, City of Kamloops
 Rod Crowe – Thompson-Nicola Regional District, Village of Chase
 Alan Harrison – City of Salmon Arm (alternate)
 Colleen Anderson – District of Sicamous
 Denis Delisle – Regional District of North Okanagan, Area F
 Rick Fairbairn – Regional District of North Okanagan, Area D
 Laura Code – BC Ministry of Agriculture
 Dennis Einarson – BC Ministry of Environment and Climate Change
 Ray Nadeau – Community Representative
 Randy Wood – Community Representative

Erin Vieira and Mike Simpson – Fraser Basin Council

Observers

Ian Rogalski, Bob Misseghers

Regrets

Steven Teed
 Dave Nordquist
 Lorne Hunter

Call to Order	The meeting was called to order at 10:00 am by Mike Simpson
Election of Chair and Vice Chair	<p>ELECTION of Chair of the Shuswap Watershed Council for 2019 is Paul Demenok by acclamation.</p> <p>ELECTION of Vice Chair of the Shuswap Watershed Council for 2019 is Jay Simpson by acclamation.</p>
Welcoming comments	A round of introductions took place. Chair Demenok acknowledged Ray Nadeau, who is completing his term with the SWC as a Community Representative. Chair Demenok thanked Ray for his contributions and participation in the SWC since 2016, and for his efforts leading up to the establishment of the SWC in the years prior. Director Denis Delisle and Director Rick Fairbairn were introduced as newly appointed representatives from the Regional District of North Okanagan.
Adoption of meeting summary	<p>Moved/seconded by Mayor Christian/Director Talbot that: The summary of the December 12th 2018 meeting of the SWC be adopted.</p> <p>CARRIED</p>
Correspondence	<p>Moved/seconded by Director Simpson/Director Talbot that: The correspondence from Minister Jonathan Wilkinson dated December 13th 2018 be received for information.</p> <p><u>Discussion:</u> Directors expressed their concerns over potential vectors that could bring zebra and quagga mussels into BC, including floatplanes, watercrafts entering BC at un-guarded highways and roads, and trans-boundary waters such as Lake Koocanusa, Osoyoos Lake, and Ross Lake. Directors also commented on the potential for less conspicuous watercraft, such as inflatable watercraft and stand-up paddleboards, as being vectors for invasive mussels.</p> <p>CARRIED</p> <p><u>Action item:</u> staff will discuss floatplane monitoring with the Canadian Border Services Agency</p>
Old business	<p>Moved/seconded by Director Delisle/Director Simpson that: The draft summary of the Shuswap Water Protection Advisory Committee meeting on December 5th 2018 be received for information.</p>

Discussion:

Chair Demenok remarked that the final outcomes and recommendations of the nutrient research in the Shuswap and Salmon River watersheds is forthcoming.

CARRIED

Moved/seconded by Mayor Harrison/Director Simpson that:

The draft summary of the Shuswap Water Monitoring Group meeting on February 27th 2019 be received for information.

CARRIED

Report from Chair

Chair Demenok expressed his appreciation for the opportunity to Chair the SWC for another year.

Report from Program Managers

Erin Vieira presented an update on program operations since the SWC's last meeting in December:

- The second phase of nutrient research with UBC-Okanagan is underway. A sediment core from the Mara Lake bottom has been collected by the researchers, and will be analysed for chronological nutrient deposition this spring and summer.
- The Water Protection Advisory Committee will next meet in April or May, and the meeting will include a tour of the new wetland at Gardom Lake
- The Water Monitoring Group most recently met in February; they discussed water quality monitoring plans throughout the watershed in 2019. They have recommended two monitoring projects for support from the SWC in 2019:
 - Priority monitoring for Zebra and Quagga Mussels at 24 sites in the Shuswap watershed
 - Enhanced monitoring at 7 sentinel sites on Shuswap and Mara Lakes to determine the effects of the 2018 dominant salmon return
- The 2018 Shuswap Water Quality Summary report is underway; it will include some water monitoring results for the previous year, as well as other informative articles.

Erin presented a financial report to the end of the third quarter, April 1st – December 31st 2018:

	Annual budget (\$)	Expenses (\$)
Water Monitoring Initiative	66,400	19,647
Water Protection Initiative	76,300	55,219
Zebra & Quagga Mussel Prevention Program	26,850	26,241
Safe Recreation Program	12,200	11,083
Communications	37,850	23,054
Management and Administration	40,750	26,202
Operating Reserve	131,528	0
Total expenses to December 31st 2018	391,878	161,446

Discussion:

Directors commented on the lack of uptake of SWC's \$10,000 grant available to community or stewardship groups for water quality improvement projects in 2018, and cited specific opportunities for projects if only there were 'boots-on-the-ground' organizations to take a lead role.

Directors also remarked on the 2018 Water Quality Summary, and the opportunity to include more evidence-based commentary on water quality, as well as actions that residents of the Shuswap can take to safeguard water quality.

New business: Work plan and budget for 2019-20

Director Martin joined the meeting by teleconference at 11:25 am

Erin Vieira presented the proposed work plan and budget for 2019-20, to take effect April 1st:

Revenue	\$
<i>Carry forward from 2018-19:</i>	
Projected operational surplus	20,000
Operating Reserve (includes \$20K contingency fund)	131,528
<i>Per Contribution Agreement:</i>	
CSRD Areas C, D, E, F and District of Sicamous	160,000
TNRD	53,600
City of Salmon Arm	40,000
Adams Lake Indian Band	1300
<i>External grant applications (pending):</i>	
Boating Safety Contribution Program	19,538
MITACS	15,000
Total Revenue	440,966

Work plan and budget	\$
Water Quality Program: Water Monitoring Initiative	51,150
Water Quality Program: Water Protection Initiative	79,500
Zebra and Quagga Mussel Prevention Program	30,825
Safe Recreation Program	26,050
Communications	40,200
Management and Administration	43,150
Sub-total operational expenses	270,875
Operating Reserve (includes \$20K contingency fund)	170,091
Total budget	440,966

Erin highlighted some of the key activities to take place within the Water Quality Program:

- Enhanced monitoring at seven sentinel (long-term) sites on Shuswap and Mara Lakes to determine the effects of the 2018 dominant salmon return. This work will be done by the BC Ministry of Environment.
- The completion of a three-year nutrient research project on the Shuswap River and Salmon River; as well as completion of a follow-up study to understand the chronological nutrient deposition to Mara Lake
- A robust prioritized monitoring detection program for Zebra and Quagga Mussels, to be carried out by the Columbia Shuswap Invasive Species (with financial support from multiple parties, including the SWC).

Other key activities for the SWC will be the ongoing delivery of educational/awareness campaigns to prevent the introduction of Zebra and Quagga Mussels, with a strong emphasis on promoting watercraft inspection and Clean-Drain-Dry practices. The SWC will also continue its education and outreach for safe boating and recreation. The SWC Communications work plan includes the production and distribution of a 2018 Water Quality Summary report, as well as several outreach initiatives including participation at an aquatic invasive species conference. The nutrient management education program will be cut from the SWC's work plan this year, in part because the Ministry of Environment will be doing outreach across BC with regard to its new Agricultural Environmental Management Code of Practice in 2019.

Moved/seconded by Mayor Christian/Mayor Crowe that:
The 2019-20 work plan and budget be received and approved, as presented.

Discussion:

Mayor Harrison inquired about the SWC's operating reserve; Chair Demenok responded that it has built up over the past few years from operational surpluses, and may be used in the future as the SWC considers reasonable measures for collaboratively managing or mitigating nutrient-loading in the watershed.

CARRIED

Director Martin left the meeting at 12:05 pm

Lunch break

The SWC took a lunch break from 12:05 – 12:45 pm

Guest presentation

Josie Beruldsen and Chris Jenkins of the BC Ministry of Environment and Climate Change, and David Poon of the BC Ministry of Agriculture presented an overview of the Agricultural Environmental Management Code of Practice (AEMCoP or simply CoP).

Ms. Beruldsen thanked the SWC for their involvement in the regulatory review, and their submissions to the Province with regard to development of the AEMCoP. The CoP replaces the Agricultural Waste Control Regulation (1992); it came into effect on February 28th.

The CoP applies to over 17,000 agricultural operations in BC, which includes over 35 distinct sectors of the agriculture industry. The goal of CoP is to have all farms in BC achieve a basic level of environmental protection. Ms. Beruldsen outlined some of the desired outcomes from the Code to protect water quality: these include universal requirements as well as special requirements for high-risk areas or high-risk conditions. She outlined vulnerable aquifer areas and phosphorus-affected areas within the Shuswap, to which special requirements under the Code will be phased in. She also highlighted the Ministry's compliance and enforcement plan for the new Code.

Director Fairbairn left the meeting at 1:00 pm

SWC members had several questions and comments for Ms. Beruldsen and her colleagues. These pertained to the Ministry's plan for outreach; compliance and enforcement; and the Ministry's definitions and designations for high-risk areas and high-risk conditions. In particular, Mr. Chris Jenkins indicated that the Ministry is prioritizing phasing in requirements for nitrate management (due to human health impacts), and phosphorus management requirements will be subsequently phased in.

Chair Demenok inquired if the Ministry is considering supporting any mitigative works with regard to nutrient-loading to rivers and lakes; Mr. Jenkins replied that it is something the Ministry would need to consider.

Ray Nadeau expressed concern over the largely unknown cumulative effects of agricultural pollution in the watershed, and inquired if the Ministry is addressing this. Mr. Jenkins replied that there is provision in the CoP such that the Ministry may obtain information from farms at a regional level and undertake an assessment.

Director Delisle commented that there may be potentially high costs imposed on some farms to come into compliance with the CoP, and inquired if there is any assistance from the Province for this; Mr. Jenkins replied that there are several existing cost-sharing programs such as the Environmental Farm Plan.

Action item:

Ms. Beruldsen committed to sharing a list of regional organizations with the SWC that the Ministry will work with during their outreach; the SWC may be able to assist by building upon their list.

In Camera meeting

Moved/seconded by Mayor Harrison/Director Simpson that: Pursuant to Sections 90(1)(1) – *personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the Regional District or another position appointed by the Regional District* – of the Community Charter, the SWC move in camera

CARRIED

The regular meeting of the SWC re-convened at 2:20 pm.

Roundtable updates

None provided

Adjourn

Moved/seconded by Director Delisle/Director Simpson that: The March 13th 2019 meeting of the Shuswap Watershed Council be adjourned.

CARRIED

Meeting adjourned at 2:20 pm.



SHUSWAP ECONOMIC DEVELOPMENT COMMITTEE MEETING MINUTES

Note: The following minutes are subject to correction when endorsed by the Committee at its next meeting.

Date: March 14, 2019
 Time: 9:30 am
 Location: Splatsin Community Centre
 5775 Old Vernon Road, Enderby, BC

Committee Members Present	P. Demenok	Director, Electoral Area C
	R. Talbot	Director, Electoral Area D
	J. Simpson	Director, Electoral Area F
	K. Brown	South Shuswap Chamber of Commerce
	R. Marshall	Community Futures Shuswap
Committee Members Absent	R. Martin	Director, Electoral Area E
Staff Present	R. Cyr	Economic Development Officer
	S. Goodey	Ec. Dev. Clerical Assistant

1. Call to Order

Robyn Cyr, Economic Development Officer, called the meeting to order at 9:30 AM. R. Cyr recognized that the meeting is taking place in the unceded tradition territory of Splatsin.

1.1 Guest(s) in Attendance

The Chair acknowledged the guests in attendance:

Kyle Dearing - Kyle Dearing Consulting, Shuswap Economic Development Consultant

1.2 **Appointment of Chair and Vice-Chair of the Shuswap Economic Development Advisory Committee**

R. Cyr, EDO, called for nominations for the position of Chair of the Shuswap Economic Development Advisory Committee.

-Director Demenok nominated Director Talbot. Director Talbot did not consent to the nomination.

-Director Talbot nominated Director Demenok. Director Demenok consented to the nomination.

-Director Demenok nominated Director Simpson. Director Simpson consented to the nomination.

After calling three times for nominations, R. Cyr, EDO, provided the nominated committee members the opportunity to make presentations to the Committee prior to the election by ballot.

Moved By K. Brown

Seconded By Director Simpson

THAT: the Clerical Assistant and the Economic Development Officer be appointed as scrutineers for the counting of ballots associated with the election of Chair and Vice-Chair.

CARRIED

Ballots were distributed and the vote was conducted

Following the counting of the ballots, the Economic Development Officer declared Director Demenok as Chair of the Shuswap Economic Development Advisory Committee.

R. Cyr, EDO called three times for nominations for the position of Vice-Chair of the Shuswap Economic Development Advisory Committee.

-Director Demenok nominated Director Simpson. Director Simpson consented to the nomination.

R. Cyr, EDO called three times for nominations.

Hearing no further nominations for the position of Vice-Chair, R. Cyr, EDO declared Director Simpson as Vice-Chair of the Shuswap Economic Development Advisory Committee by acclamation.

1.3 Approval of Agenda

Moved By K. Brown

Seconded By Director Simpson

THAT: the agenda of the March 14, 2019 Shuswap Economic Development Advisory Committee meeting be approved with the following additions

2.1 - New Business Engagement Discussion

2.6 - Film Commission Report

2.7 - Telus Insights - Revelstoke Population Doubled

CARRIED

1.4 Adoption of Minutes

Moved By Director Talbot

Seconded By K. Brown

THAT: the minutes of the December 13, 2018 Shuswap Economic Development Advisory Committee meeting be adopted as circulated.

CARRIED

2. Discussion Items

2.2 Shuswap Economic Development Update from Robyn Cyr, Economic Development Officer

Robyn Cyr, Economic Development Officer, updated the Committee on the Economic Development Activities between December 13, 2018 and March 14, 2019. Topics:

British Columbia Economic Development Association Conference

R. Cyr and K. Dearing attended BC Economic Summit March 3rd - 5th in Vancouver. R. Cyr and K. Dearing attended workshops during the two day

conference. A list of workshops was attached to the agenda for perusal of the committee members. R. Cyr also moderated two workshops: Economic Development in Action and Supporting Regional Economic Development through Immigration.

BC Provincial Nominee Program (PNP) Regional Pilot Workshop & British Columbia Economic Development Association Conference

Attendance at this workshop provided an update on the PNP program. This program is for high-demand foreign workers and experienced entrepreneurs to gain permanent residency in B.C. The program has been updated and will be able to assist businesses in attracting workers in industries that are struggling with labour recruitment. Shuswap Economic Development has been invited to be a part of the pilot project once it is ready to be implemented. This program will be instrumental in assisting the province to understand economic development in rural British Columbia.

Work BC – Emerging Priorities Workshop – Malakwa Learning Center

The Emerging Priorities Program is a provincial program that supports communities undergoing a significant shift in the local labour market due to an disruption of an industry or a natural disaster. Due to the impact of the Malakwa Mill fire last year, Malakwa was defined as a community that was eligible for this funding. The program started on March 4 2019 with six attendees. These individuals will attend this program to upgrade their skills to enable them to find permanent employment.

The courses provided include basic math, communication and computer and hospitality industry training.

2.3 2019 Priorities

R. Cyr gave the Committee an overview of Shuswap Economic Developments 2019 work priorities.

EcDev 101 Workshops – May 2019

In May, Shuswap Economic Development will be hosting EcDev 101 workshops. Dale Wheeldon of BCEDA will be facilitating the workshop. Details are still being confirmed however at this time it is planned that the workshops will be held in both the South and North Shuswap, and Falkland with assistance from the local Chambers of Commerce or community organizations. If there is enough interest there will be an opportunity to do a second session in the fall.

Business Retention & Expansion Visits – May 2019

Dale Wheeldon has been hired to work on the Business Retentions and Expansion (BRE) Visits. He will work directly with K. Dearing on this project. The process will be similar to the business interviews that were done during the Shuswap Economic Strategy Development meetings.

Shuswap Economic Development Website Development

Work is currently being done on the new Shuswap Tourism and Economic Development website with a goal of the Shuswap Tourism website being live by May 1, 2019 and the full Shuswap Economic Development website being completed by September 30, 2019.. The Shuswap Tourism and Shuswap Economic Development websites will be individual sites that complement each other and the Columbia Shuswap Film Commission will be transitioned to be a page of the Shuswap Economic Development website. The new layout will also updated to be more mobile friendly.

Business Recovery Plan – May 2019

Shuswap Economic Development will work with Derek Sutherland of the Shuswap Emergency Program (SEP) to develop a plan that will assist businesses who are affected by local emergencies. The plan will define what the priorities are for Shuswap Economic Development to support businesses during an emergency situation and how we help them to get back to business after an emergency. We will be working with Dale Wheeldon from BCEDA to assist with this project.

2.4 Kyle Dearing – Business Development Coordinator – Update

Kyle Dearing gave an update of his activities for the Shuswap Economic Development between December 13, 2018 and March 14, 2019:

Community Profiles

The Community Profiles have been completed based on the most recent Canadian Census. These community profiles will be posted on the new Shuswap Economic Development website and also be available for distribution to the communities to use in various publications and websites.

SFAS/Farmers Markets Update

Shuswap Food Action Society (SFAS) is working towards having one large farmers market for the Salmon Arm area. SFAS is also hosting a variety of events in the community that are raising awareness around food security issues in the Shuswap. SED will provide support when possible.

Tech Dev 101 Workshop

The TechDevBC workshop taking place March 26, 2019 will introduce and incorporate technology and innovation basics into the economic development fabric of communities.

BC Ministry of Jobs, Trade and Technology Webinars

BC Ministry of Jobs, Trade and Technology host a variety of free webinars on a regular basis. You can participate in the webinars live or you can access past series in their online library. K. Dearing noted a handful of series that would be of interest to the Committee.

- Cannabis Legislation
- Supporting business succession
- Virtual business walks
- LinkedIn
- You can find the webinars at the following link,
<https://www2.gov.bc.ca/gov/content/employment-business/economic-development/bc-ideas-exchange/webinars/upcoming-webinar>

Nominee Program Applicant Tour

K Dearing and L. Fitt – EDM for Salmon Arm Economic Development Society have been working with an applicant that will be accessing the PNP program to set up a business in the region. They have toured many locations and are now making a decision on the type of business they want to operate and where they will operate the business. It looks like they are currently looking at a location in the community of Salmon Arm.

Okanagan College led agriculture asset mapping discussions

A discussion regarding agriculture asset mapping was facilitated at the Okanagan College Kelowna Campus. The mapping is in its introductory stages. There is surveying being completed to understand what people want to get out of this agriculture asset map. Shuswap Economic Development has attended a few of these discussions and will continue to monitor the development of this project.

Business incubator discussion with Salmon Arm Economic Development Society/Community Futures

Discussion regarding the Business incubator partnership with Salmon Arm Economic Development Society/Community Futures has been tabled for the time being.

2.5 Verbal Report from Director Demenok re: Salmon Arm Economic Development Society Board Update

Director Demenok the SED representative on the Salmon Arm Economic Development Society (SAEDS) Board gave the committee a brief update.

- The SAEDS Board is very productive and active and in the community and with the City of Salmon Arm Mayor and Council.
- The Salmon Arm Innovation Centre has been very successful. The majority of the work spaces are now filled and generating an income for SAEDS.
- SAEDS is working on the Provincial Nominee Program as well and are looking to help streamline the process.
- SAEDS has had great success with the newly introduced Municipal and Regional District Tax (MRDT). Based on this success Director Demenok suggested that SED host an event that would encourage potential MRDT participants to join forces in order to have the MRDT in the larger Shuswap Region.
- The Lauch-a-preneur will be taking place March 14, 2019

2.6 Report from David Barritt Film Commission

R. Cyr provided a report from David Barritt on the activities of the Columbia Shuswap Film Commission for the period between December 13, 2018 and March 14, 2019. A report is attached that outlines the work that has been completed during this time. R. Cyr also stated that due to budget restraints David Barritts contract position has been reduced for the 2019 fiscal year . He will continue to work to represent the Columbia Shuswap Film Commission and Creative BC and respond to locations requests for the Columbia and Shuswap regions.

2.7 Telus Insights - Revelstoke Population Doubled

Director Simpson brought forward to the committee for discussion the recent news that the City of Revelstoke has doubled its population. This information is based on a report that Telus Insights, an analytics company, did for the city. Telus Insights uses advanced technology to obtain data from cellphones. This technology is able to obtain real-world data and share them with multiple organizations. A discussion was held regarding the benefits that this technology could have for Shuswap Economic Development. R. Cyr stated that Shuswap Tourism is entering into a contract with Thompson Okanagan Tourism Association (TOTA) and Telus Insights are being used to provide information on visitation activity in the Shuswap for 2018 and 2019.

3. Community Round Table

P. Demenok – Currently working on attracting new members to form a non-profit housing society. The next meeting is to take place on March 27, 2019 at Sorrento Centre. P. Demenok is also setting up a new non-profit transportation society with the intent of solving the transportation issues in Electoral Area C.

J. Simpson-The North Shuswap Chamber of Commerce hosted a town hall meeting to discuss community issues. There were about 60 people in attendance.

K. Brown – The South Shuswap Chamber of Commerce will be hosting a Community Engagement Day Concert and BBQ on June 27, 2019 at Sorrento Centre. The Chamber is also hosting Board Governance Training, April 5, 2019 at Quaaout Lodge. Super Host training is now available through the South Shuswap Chamber for businesses in our area.

R. Marshall – Community Futures is working on their yearend which is at the end of March 2019. Loan inquiries have been lower over the past year however there seems to be an increase for 2019. CF Shuswap is currently awaiting a response regarding the BC Rural Dividend – LMP project.

R. Talbot – R. Talbot will be meeting with a few business owners in Falkland next week with R. Cyr, EDO.

4. Next Meeting

May 9, 2019 at 9:30 AM, location to be determined.

5. Adjournment

Moved By R. Marshall

Seconded By K. Brown

THAT: the March 14, 2019 Shuswap Economic Development Advisory Committee meeting be adjourned.

CARRIED

Chair



SHUSWAP TOURISM ADVISORY COMMITTEE MEETING MINUTES

Note: The following minutes are subject to correction when endorsed by the Committee at its next meeting.

Date: March 14, 2019
 Time: 1:00 PM
 Location: Splatsin Community Centre
 5775 Old Vernon Road, Enderby, BC

Committee Members Present	P. Demenok R. Talbot J. Simpson D. Cannon K. Brown G. Bushell M. Lane A. Maki P. McIntyre-Paul	Director, Electoral Area C Director, Electoral Area D Director, Electoral Area F Councillor, City of Salmon Arm Arts Council for the South Shuswap The Eagle Valley Snowmobile Club Dreamcycle Motorcycle Museum Chase & District Chamber of Commerce Shuswap Trail Alliance
Committee Members Absent	R. Martin T. Rysz J. Ziercke	Director, Electoral Area E Mayor, District of Sicamous Quaaout Lodge Resort & Spa/Talking Rock Golf
Staff Present	R. Cyr S. Goodey	Economic Development Officer Tourism Clerical Assistant

1. Call to Order

Robyn Cyr, Economic Development Officer called the meeting to order at 1:05 PM. R. Cyr recognized that the meeting is taking place in the unceded tradition territory of Splatsin.

1.1 **Guest(s) in Attendance**

The Chair acknowledged the multiple guest at the meeting and asked that the group do a roundtable introduction. The guests in attendance:

Sheila Devost – Sicamous & District Chamber of Commerce

Margaret McCormick – Authentic Experience Consulting

Peter Rotzetter – Armstrong Spallumacheen Chamber of Commerce

Kaylee Wells – Enderby & District Chamber of Commerce

Tundra Baird – Councillor, City of Enderby

1.2 **Appointment of Chair and Vice-Chair of the Shuswap Tourism Advisory Committee**

R. Cyr, EDO called for nominations for the position of Chair of the Shuswap Tourism Advisory Committee.

-Director Demenok nominated Karen Brown. Karen Brown consented to the nomination.

-David Gonella nominated Councillor Cannon. Councillor Cannon consented to the nomination.

After calling three times for nominations, R. Cyr, EDO provided the nominated committee members the opportunity to make presentations to the Committee prior to the election by ballot.

Moved By Director Demenok

Seconded By Director Simpson

THAT: the Economic Development Clerical Assistant be appointed as scrutineer for the counting of ballots associated with the election of Chair and Vice-Chair.

CARRIED

Ballots were distributed and the vote was conducted.

Following the counting of the ballots, R. Cyr, EDO declared Karen Brown as Chair of the Shuswap Tourism Advisory Committee.

R. Cyr, EDO called three times for nominations for the position of Vice-Chair of the Shuswap Tourism Advisory Committee.

-Karen Brown nominated Councillor Cannon. Councillor Cannon consented to the nomination.

-Gord Bushell nominated Ali Maki. Ali Maki consented to the nomination.

After calling three times for nominations, R. Cyr, EDO provided the nominated committee members the opportunity to make presentations to the Committee prior to the election by ballot.

Ballots were distributed and the vote was conducted.

Following the counting of the ballots, R. Cyr, EDO declared Councillor Cannon as Vice-Chair of the Shuswap Tourism Advisory Committee.

1.3 Approval of Agenda

Moved By Director Demenok

Seconded By Director Simpson

THAT: the agenda of the March 14, 2019 Shuswap Tourism Advisory Committee meeting be approved with the following additions:

4- Shuswap Tourism Activities Update

TOTA Market Research Program

5 - Shuswap Tourism Communities Period of Participation

CARRIED

1.4 Adoption of Minutes

Moved By A. Maki

Seconded By Director Talbot

THAT: the minutes of the December 13, 2018 Shuswap Tourism Advisory Committee meeting be adopted as circulated.

CARRIED

2. Presentation – Margaret McCormick- “Content Development for Social Media and the Shuswap Tourism website”

Margaret McCormick of Authentic Experience Consulting presented to the Shuswap Tourism Advisory Committee on the work that she has been implementing for Shuswap Tourism.

M. McCormick has been working with Shuswap Tourism for the past four months. Her focus has been on developing content for the new Shuswap Tourism website and developing and implementing a social media content plan. M. McCormicks recent work experience is with Destination BC and this experience in the Tourism industry will be an asset to Shuswap Tourism. M. McCormick is now living in Eagle Bay.

M. McCormick also gave a brief overview of the Shuswap Tourism social media channels and website statistics. Included were examples of top performing posts on Instagram and Facebook. Both of these posts were created with content provided by UGC (user generated content) and showcased how this content from outside sources provide Shuswap Tourism with marketing content that is authentic to this region.

Moving forward with alignment of the ST marketing strategy, the goal is to continue to be efficient with online engagements and encouraging local influencers to share content. This marketing content will support marketing themes and leverage existing assets for implementation of the Shuswap Tourism Marketing Strategy. The strategy is available to committee members upon request.

The new Shuswap Tourism website is going to ensure that the website is up to date with the most current technology requirements and created a website that is easy to use for our visitors. It will also include a content update and will be formatted to help drive business to our stakeholders. The refreshed Shuswap Tourism branding, which will be incorporated into the website, will also align Shuswap Tourism with the Thompson Okanagan Tourism Association and Destination BC branding.

3. Shuswap Trail Alliance Update

Phil McIntyre-Paul gave the committee a brief update on the work that the Shuswap Trail Alliance has recently been completing.

The Shuswap Trail Alliance has continued to maintain their website which includes updated mapping. This is being completed with the assistance of the Columbia Shuswap Regional Districts GIS Department.

The Sicamous to Armstrong Rail Trail working group meeting will be taking place on Friday, March 10, 2019. The intent of this meeting will be to start working on preliminary Rail Trail projects. STA is currently awaiting notification regarding two Rural Dividend funding proposals. They have been told that the status of these funding opportunities will be announced by the end of March 2019.

For more details, P. McIntyre-Paul's report is attached to the HTML version of these minutes.

4. Shuswap Tourism Activities Update

Report from Robyn Cyr, Manager, Shuswap Tourism.

Agreement with The City of Enderby

The Enderby community Tourism Services agreement is now being held by The City of Enderby. This agreement has been renewed for 2019. R. Cyr, Manager of Shuswap Tourism, will be doing a presentation to the Enderby business tonight at the Little City Merchants. Shuswap Tourism also welcomes Ali Maki as the new Enderby Chamber Manager and looks forward to working with her and her team to promote tourism activities in Enderby.

New Committee Members – Expression of Interest

The following individuals have submitted their Expression of Interest to become members of the Shuswap Tourism Advisory Committee.

- Ron Betts – Tree Top Flyers (Chase)
- Shelley Witzky - Adams Lake Band Councillor

Moved By A. Maki

Seconded By P. McIntyre-Paul

THAT: Ron Betts, Owner of Tree Tops Flyers be appointed to the Shuswap Tourism Advisory Committee.

CARRIED

Moved By Councillor Cannon

Seconded By A. Maki

THAT: Shelley Witzky, Councillor of the Adams Lake Band, be appointed to the Shuswap Tourism Advisory Committee.

CARRIED

Resignation of Sebastian Hofstetter – Prestige Harbourfront Resort

Sebastian Hofstetter has left his position at the Prestige Harbourfront Resort and therefore will no longer be on the Shuswap Tourism Advisory Committee.

Moved By A. Maki

Seconded By K. Brown

THAT: The Shuswap Tourism Advisory Committee send a letter to S. Hofstetter thanking him for sitting on the committee.

CARRIED

Conferences Attended

R. Cyr attended the Impact Sustainability Travel and Tourism Conference in January in Victoria. The conference focuses on the tourism industry and sustainability of the industry, environmentally, economically, and socially.

R. Cyr also attended the BC Tourism Industry Conference in Vancouver February 27- March 1, 2019

Indigenous Tourism Project update

The two year Indigenous Tourism project started in September 2018. This project has been funded through the Rural Dividend funding program. The mandate of the Indigenous Tourism Project is to complete six deliverables, which include the following:

1. Cultural Sharing Guidelines
2. Indigenous Artisan Support
3. Increase Cultural Presence on the Traditional Territory
4. Assist Entrepreneurs in the Development of their Tourism Based Business
5. Tourism Industry Training for Interested Community Members
6. Develop and Deliver Indigenous Tourism Events

Digital Marketing Campaign update

Included in the agenda is a brief overview of the performance stats from the winter digital marketing campaign. The focus of this campaign was soft winter activities, including, cross country skiing, snowshoeing.

For more details, see attachment in the HTML version of these minutes.

Influencers Visits – re: Winter Campaign

As part of the winter marketing campaign, Shuswap Tourism hosted two social media influencers, Catherine Roscoe Barr and Field & Forest. These influencers have provided content for the Shuswap Tourism social media channels which are part of the promotion of winter activities in the Shuswap region.

Shuswap Brand Refresh

Shuswap Tourism is working with Destination BC to refresh the existing Shuswap brand. There will be no change in the brand itself, but there will be a shift in color and photography. The brand refresh will help to integrate the DBC Brand into the Shuswap brand while maintaining the unique Shuswap Tourism branding. Shuswap Tourism is working with DBC on a pilot project to complete this project. Kari Medig will also be returning to do a photography shoot and integrate the DBC brand attributes into this photography.

Shuswap Tourism Website Update

The website update is currently in progress. The site plan has been developed and the developers are working on migration of the content. The goal is to have the website live by spring 2019.

Vancouver Outdoor Adventure and Travel Show

Shuswap Tourism attended the 2019 Vancouver Outdoor Adventure and Travel show, March 2-3, 2019. Noble Adventures, Quaaout Lodge & Spa also attended the show in partnership with Shuswap Tourism.

The Calgary Outdoor Adventure and Travel show is taking place March 23 and 24th. Shuswap Tourism will be attending this show as well with Quaaout Lodge Resort & Spa and Salmon Arm Economic Development.

TOTA Market Research Program

Shuswap Tourism has entered into a partnership with Thompson Okanagan Tourism Association (TOTA). The partnership will allow Shuswap Tourism access to Telus Insights. Telus Insights uses advanced technology to obtain data from cellphones. This technology is able to obtain real-world data and share them with multiple organizations. This report will be available for us to review at the end of March.

5. Shuswap Tourism Communities Period of Participation

Director Demenok brought the discussion forward regarding the length of the community partnerships that Shuswap Tourism currently has with Chase,

Enderby, and Armstrong. Currently the Marketing Services Agreements are on renewed on an annual basis. Director Demenok would like to see these agreements be for a longer term to ensure there is a sustainable financial commitment for Shuswap Tourism from these communities.

A brief discussion was held regarding these agreements. R. Cyr, Manager- Shuswap Tourism, spoke about the benefits of working with these communities and how important these partnerships were in the promotion of Tourism in the Shuswap region. Director Demenok asked that the committee take some time to think about the possibility of increasing the terms for the marketing services agreements. This discussion will be brought back to the table during budget discussion for 2020.

6. Community Roundtable

J. Simpson (Director - Electoral Area F) – The North Shuswap had a very successful first Family Day Winter Festival. They also hosted an Open House last weekend that included multiple community discussion items. This summer they will be hosting a Father's Day Poker Run, Canada Day Events and Friday Night Live at The Hub.

D. Cannon (Councilor - City of Salmon Arm) – Salmon Arm City Council have approved that a letter of support in principle for the Shuswap Sports Society who are applying to host the 2021 National Junior A Championship - RBC Cup. They have also approved a letter of support in principle to the Salmon Arm Curling Club to host the 2020 Curl BC Men's and Ladies Provincial Championships.

K. Brown (South Shuswap Chamber) – The South Shuswap Chamber hosted the Small Hall Crawl in February. They will also be hosting a Women's Retreat at Quaaout Lodge in May 2020. The Tourism Kick Off breakfast will be taking place April 4th at the Cedar Heights Centre. SuperHost training is now available through the South Shuswap Chamber.

M. Lane (Dreamscycle Motorcycle Museum) - The South Shuswap Chamber will be adding a new kiosk behind Sprockets Café and one at the Blind Bay Mall. There is now eight kiosks in total throughout the South Shuswap. The Chamber is actively working with the Ministry of Highways with the intention to make changes to the intersection on Highway 1 and Balmoral road to ensure resident safety at this intersection.

P. McIntyre-Paul (Shuswap Trail Alliance) – The Lewiston Ultra Race will be back in September 2019. The race will start in Salmon Arm and go through to Sicamous. The Salty Dog Enduro Race will take place May 12th, 2019 as well as the Salty Street Festival.

G. Bushell (Sled Sicamous) – The Eagle Valley Snowmobile Club hosted a Women's Ride and Auction this winter. They are also looking into doing an economic impact study that will help them to understand economic impact of the sledding industry in the Shuswap region.

S. Devost (Sicamous Chamber) – Waterway Houseboats and Twin Anchors Houseboats will both be participating in the May Long weekend free concert on the lake this year. The Sicamous Chamber of Commerce will be hosting Music in the Park on Mondays this summer. There are a variety of events taking place this year including, a show and shine, Canada Day events and Culture Days that will take place during the Fungi Festival in September.

P. Rotzetter (Armstrong/Spallumcheen Chamber) – Armstrong will be hosting multiple events this year. Included are the Quilt Trail, Canada Day events, Friday Night Music in the Park.

K. Wells (Enderby)– The Enderby Chamber of Commerce will be participating in the Community Better Challenge this May. Enderby is a large baseball community and will be hosting multiple tournaments including Funtastics. The Chamber will be continuing with their River Ambassador Program this summer.

A. Maki (Enderby Chamber)– Enderby will be hosting multiple music events over the summer. The BC Open Gold Panning Competition will return on May Long weekend. Starlight Drive in opens May 4th.

7. Next Meeting

May 9, 2019 at 1:00 PM, location to be determined.

8. Adjournment

Seconded By Director Simpson

THAT: the March 14, 2019 Shuswap Tourism Advisory Committee meeting be adjourned.

CARRIED

Chair

**Columbia Shuswap Regional District
Area A Local Advisory Committee (LAC) Meeting Minutes
26, March, 2019
Golden Civic Centre Lower Level**

Present:

- Karen Cathcart (Electoral Area “A” Director)
- Stephanie Knaak (Alternate Director)
- Craig Chapman (Chairperson)
- Derek Smith (Secretary)
- Ian Rowe
- Doug Whiting.
- Tom Blencowe
- Pearson Farnsworth

Regrets: Mandy Cantle
Gladys Neumann

Gallery: Approximately 20 members of the public attended the meeting.

CALL TO ORDER

Craig Chapman (2018 Chairperson, Area A LAC CSRD) called the meeting to order at 6:00pm

WELCOME AND INTRODUCTIONS

Nominations for Chair 2019, Nomination Craig Chapman (acclamation)

Nomination for Vice Chair 2019, Doug Whiting (acclamation)

Nomination for Recording Secretary 2019, Derek Smith (acclamation)

BUSINESS ITEMS:

ADOPTION OF AGENDA

Motion: That the agenda for the 26 March 2019 Area A Local Advisory Committee meeting be adopted as published.

Motion Moved By: Derek Smith

Motion Carried

Motion: That the monthly LAC meetings be held on the Fourth Tuesday of each month in the Golden Civic Centre. The committee will be recessed during July and August each year.

Motion Moved By: Craig Chapman

Motion Carried

ADOPTION OF MEETING MINUTES

Moved by Derek Smith, Seconded by: Doug Whiting that the minutes of the November 27, 2018 Area A Local Advisory Committee meeting be adopted.

Motion Carried**GENERAL BUSINESS:**

1. Director's Report:

Local Advisory Committee (LAC) Orientation –

Director Cathcart delivered a presentation on the structure and processes related to the CSRD and the electoral Area A with particular emphasis on the function of the the LAC and the role of the committee. Introduction of the committee members, their background and interests in involvement in CSRD.

- Doug Whiting
 - Pearson Farnsworth
 - Craig Chapman
 - Stephanie Knaak
 - Derek Smith
 - Ian Rowe
 - Tom Blencowe.
- \$10,000 to monitor water in Nicholson, concerns with the nitrate levels in the ground water in Nicholson.
 - The CSRD Board approved an application from the Golden Snowmobile Club for \$30,000 from the Economic Opportunity Fund (EOF) for an emergency shelter at Gorman Lake. The application was supported by Town of Golden and the Area A Director.
 - Town of Golden requested CSRD place a moratorium on any third party applications to the Economic Opportunity Fund until May 2019.
 - Kicking Horse Mountain Resort (KHMR)- Crown Grant Application Referral. The CSRD Board will not support any Crown Grant Application within the specified Controlled Recreation Area by the Province due to concerns regarding support for a compliant fire service (structural) at the resort. (more detailed information available on the CSRD website [here](#))
 - Director Cathcart updated the committee on the Aquatic Study, the Trail Alliance, the Nicholson Boat Launch, and the Class E Licensing for rural farm communities in Area A.
 - Director Cathcart also spoke about the concerns raised by residents on Riparian Area Protection Regulations for Area A. As this is a very complicated and technical area, Director Cathcart requested the CSRD staff come to Golden to meet with the community to discuss in detail. The request has been made that they be available by mid May.
 - Director Cathcart also detailed the CSRD Board meetings held in December, January, February and March (prior to LAC 2019/20 formation).

Page 3

Minutes of Area A LAC Meeting, March 26, 2019

Motion Moved By: Ian Rowe, Motion Seconded By: Doug Whiting to accept the Director's Report on the December, 2018 and the January, February and March 2019 Board meetings, as presented.

Motion Carried

OTHER BUSINESS:

New Business:

-No new business at this time.

DATE OF NEXT MEETING:

The date and time of the next meeting is TBD as Director Cathcart has travel constraints during the regularly planned timeframe in April.

Motion Moved By: Ian Rowe to adjourn the meeting

Motion Carried

ADJOURNMENT

Motion Moved By: Craig Chapman, Seconded by Doug Whiting that the meeting be adjourned at 7:15 pm.

Motion Carried.

Certified Correct

Chair

Discussion from the audience:

- Public watershed: (see related Private Land Logging issue below) There are concerns that need to be brought forward. Director Cathcart will bring the issue forward and will engage.
- Scott Weir raised questions regarding telecommunications and in particular, issues regarding cellular coverage within Area A. Director Cathcart explained that there has been an ongoing and persistent effort to get the telecommunications companies to invest in the necessary infrastructure without substantial success in coverage area. There has been recent improvements in the cable network infrastructure but cellular coverage has not been as progressive.

- Brian Lavoie asked questions about the CSRD policy regarding cannabis production and distribution. Others in the audience expressed interest on related matters concerning enforcement. Looking for clear direction from the CSRD.
- Private land logging issue. The issue brought forward by several in the audience related to the massive clear cutting on private land. The impact of this practice changes surface water and erosion and therefore impacts other nearby residents. The question related to how we manage our communities in light of this practice.
- CSRD Landfill. Members of the audience reported that the landfill site continues to have issues and they are not getting better. Andrea Weissenborn provided an information sheet titled Golden Landfill Spring 2019 Update detailing the chronology of efforts to date.
- FireSmart initiative. The possibility of forest fires in the area is a serious concern for residents and businesses in Area A. Director Cathcart is working with local emergency preparedness community on a priority basis to bring more awareness to the FireSmart program. Local resources and expertise will be updating the community in the near future regarding strategies and tactics.



BOARD REPORT

TO: Chair and Directors

File No: 1470 02

SUBJECT: Annual Report 2018

DESCRIPTION: Report from Charles Hamilton, Chief Administrative Officer, dated April 5, 2019.

RECOMMENDATION: THAT: the Board receive the Columbia Shuswap Regional District's Annual Report 2018 for information, this 18th day of April, 2019.

SHORT SUMMARY:

The Annual Report 2018 is a comprehensive overview of the CSR's services, financial data, programs and projects. It provides a one-stop reference point for our constituents, Board Directors, staff, volunteer and community stakeholders throughout the region.

VOTING:	Unweighted Corporate	<input checked="" type="checkbox"/>	LGA Part 14 (Unweighted)	<input type="checkbox"/>	Weighted Corporate	<input type="checkbox"/>	Stakeholder (Weighted)	<input type="checkbox"/>
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BACKGROUND:

An annual report is beneficial because:

- It is a chance to promote our accomplishments and better inform our residents of the types of programs and services we deliver on a region-wide, sub-regional and local basis;
- It promotes a sense of openness and transparency by accounting for how tax dollars are being spent and what progress has been made on various priority projects;
- It offers a way of acknowledging and appreciating the work of the Board, staff, volunteers, and other stakeholders on whom we rely to provide our services.

We continue to strive to enhance our communications, always looking for ways to improve the accessibility and clarity of the information we provide to the public. These efforts are strengthened by the production of the Annual Report, which receives prominent placement on the CSR's website and our social media channels.

The compilation of the report will also serve as an ongoing resource to assist in disseminating bite-sized, factual information about the CSR on social media throughout the year.

A focus of this year's report is to go a step beyond simply providing statistics or reviewing the progress of projects. It is also part of our ongoing efforts to engage and communicate with the public, by demonstrating that the CSR is made up of people who care about the region and take pride in their work.

POLICY:

The Columbia Shuswap Regional District's Annual Report 2018 was developed in keeping with the Brand Guidelines that were effective January 2017.

FINANCIAL:

Funds for the Annual Report were provided through the General Government budget, as part of the communications function.

KEY ISSUES/CONCEPTS:

To promote the programs and services of the CSRD in one place and with an attractive and easy-to-read format. This enhances communication with members of the public, volunteers, community groups and other partners.

COMMUNICATIONS:

The Annual Report 2018 will be uploaded to the website and promoted through social media. Due to our commitment to reducing waste and keeping costs down, print copies will only be available upon request. Information from the report will be used to generate a year-long series of social media content to keep the CSRD's social media channels active and engaging for users. It will also be distributed to those subscribers of the eBlast newsletter system offered by the CSRD.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

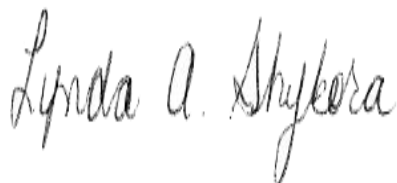
Report Approval Details

Document Title:	2019-04-18_Board_CA_AnnualReport.docx
Attachments:	- CSRD-AnnualReview2018-ClickToView page.pdf
Final Approval Date:	Apr 5, 2019

This report and all of its attachments were approved and signed as outlined below:



Jodi Pierce - Apr 4, 2019 - 4:21 PM



Lynda Shykora - Apr 5, 2019 - 8:17 AM



Charles Hamilton - Apr 5, 2019 - 11:33 AM



[CLICK TO VIEW](#)

ANNUAL REPORT 2018



BOARD REPORT

TO: Chair and Directors

File No: 1880 01

SUBJECT: 2018 Statement of Financial Information (SOFI) Report

DESCRIPTION: Report from Jodi Pierce, Manager, Financial Services, dated April 5, 2019.

RECOMMENDATION #1: THAT: the Board approve the 2018 Statement of Financial Information Report as required by the Financial Information Regulation, Schedule 1, subsection 9(2) and section 376 subsection (1) of the Local Government Act.

SHORT SUMMARY:

The 2018 Statement of Financial Information (SOFI), prepared in accordance with the Financial Information Act and the Financial Information Regulation is attached.

VOTING:	Unweighted Corporate	<input checked="" type="checkbox"/>	LGA Part 14 (Unweighted)	<input type="checkbox"/>	Weighted Corporate	<input type="checkbox"/>	Stakeholder (Weighted)	<input type="checkbox"/>
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BACKGROUND:

Every year, all local governments must prepare and submit a SOFI report to the Ministry of Municipal Affairs by June 30. This report includes a Schedule of Board and Employee Remuneration, as well as a Schedule of Payments for the Provision of Goods and Services in accordance with the Financial Information Act. These Schedules must be approved by the Financial Officer and the Board prior to the deadline.

POLICY:

The SOFI Report must be prepared as required by the Local Government Act and the Financial Information Act.

IMPLEMENTATION:

The Report and related attachments will be sent to the Ministry of Municipal Affairs upon Board Approval.

COMMUNICATIONS:

The SOFI documents will be available to the public via the CSR website or at the front counter of the CSR office.

DESIRED OUTCOMES:

The Board approve the attached SOFI document.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

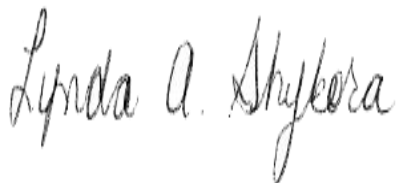
Report Approval Details

Document Title:	2019-04-18_Board_FIN_SOFI.docx
Attachments:	<ul style="list-style-type: none">- 2018 SOFI - Schedule of Remuneration and Expenses.pdf- 2018 SOFI - Schedule of Payments for Provision of Goods and Services.pdf- Statement of Financial Information Chair approval.pdf- Statement of Financial Information Management Report.pdf- Statement of Financial Information Schedule of guarantee and Indemnity agreements.pdf
Final Approval Date:	Apr 5, 2019

This report and all of its attachments were approved and signed as outlined below:



Jodi Pierce - Apr 4, 2019 - 8:31 AM



Lynda Shykora - Apr 5, 2019 - 11:34 AM



Charles Hamilton - Apr 5, 2019 - 1:50 PM

Columbia Shuswap Regional District

SCHEDULE OF REMUNERATION AND EXPENSES - 2018

<u>NAME</u>	<u>POSITION</u>	<u>REMUNERATION</u> (Inclusive of Taxable Benefits)	<u>EXPENSES PAID TO AND ON BEHALF OF:</u>
1: ELECTED OFFICIALS			
BROOKS-HILL, David	Director, Area B (October - December)	2,502	1,706
CANNON, Debra	Alternate Director, City of Salmon Arm (October - December)	326	30
CATHCART, Karen	Director, Area A	21,356	7,206
CROSS, Steven	Alternate Director, City of Revelstoke (October - December)	200	25
DEMENOK, Paul	Director, Area C	27,243	13,196
DIES, Jennifer	Alternate Director, Area C (October - December)	208	43
ELIASON, Chad	Director, City of Salmon Arm	14,056	178
FLYNN, Kevin	Director, City of Salmon Arm	14,519	386
KNAAK, Stephanie	Alternate Director, Electoral Area A	955	596
LAVERY, Tim	Alternate Director, City of Salmon Arm	1,400	145
MAKAYEV, Malcolm	Alternate Director, District of Sicamous	726	50
MARTIN, Rhona	Chair, Area E	56,342	14,978
MCKEE, Mark	Director, City of Revelstoke (January - October)	13,573	1,571
MISSEGHES, Robert	Alternate Director, Area F (January - October)	6,552	905
MORGAN, Larry	Director, Area F (January - October)	14,966	3,475
MOSS, Caleb	Director, Town of Golden	14,623	1,785
OSZUST, Ron	Alternate Director, Town of Golden	660	1,095
PARKER, Loni	Director, Area B (January - October)	22,568	7,140
PARKIN, Andrew	Alternate Director, Area B (October - December)	469	440
RYSZ, Terry	Director, District of Sicamous	14,711	642
SIMPSON, Jay	Director, Area F (October - December)	2,644	691
STUART, Doug	Alternate Director, Area B (January - October)	200	-
SULZ, Gary	Director, City of Revelstoke (October - December)	1,967	512
TALBOT, Rene	Director, Area D	29,285	13,311
TARRY, Jeffrey	Alternate Director, Area F (October - December)	200	25
WALLACE-RICHMOND, Louise	Alternate Director, City of Salmon Arm (January - October)	800	25
TOTAL - ELECTED OFFICIALS		\$ 263,050	\$ 68,450
2: EMPLOYEES EARNING MORE THAN \$75,000			
CHRISTIE, Gerald	Manager, Development Services	125,259	7,099
COUBROUGH, Sean	Assistant Regional Fire Chief	104,176	8,547
CYR, Robyn	Manager, Shuswap Tourism/Economic Development Officer	101,723	15,254
DODD, Dennis	Utilities Coordinator	79,971	1,694
HAMILTON, Charles	Chief Administrative Officer	230,226	8,159
HAINES, Sheena	Deputy Treasurer, Financial Services	93,854	3,669
KASSA, Hamish	Environmental Services Coordinator	78,248	5,335
LANGLOIS, Terry	Team Leader, Utilities	97,345	2,199
MOONEY, Darcy	Manager, Operations Management	134,214	3,216
NITCHIE, Ryan	Team Leader, Community Services	88,340	5,664
PAIEMENT, Corey	Team Leader, Development Services	109,354	1,546
PASSMORE, Dan	Senior Planner	76,454	174
PAYNE, Brad	Manager, IT/GIS Services	94,284	1,946
PIERCE, Jodi	Manager, Financial Services	132,927	4,198
SHYKORA, Lynda	Deputy Manager, Corporate Administration Services	94,241	182
SUTHERLAND, Derek	Team Leader, Protective Services	116,001	4,982
VAN NOSTRAND, Ben	Team Leader, Environmental Health Services	94,352	2,948
WALKER, Isaac	Waste Management Facilities Superintendent	78,040	3,670
TOTAL - SPECIFIED EMPLOYEES		\$ 1,929,009	\$ 80,483
CONSOLIDATED TOTAL of all Other Employees (i.e. earning less than \$75,000)		\$ 2,323,274	\$ 66,353
TOTAL - EMPLOYEES		\$ 4,252,282	\$ 146,836

Columbia Shuswap Regional District

3:

RECONCILIATION OF REMUNERATION AND EXPENSES FOR THE YEAR 2018

Total Remuneration - Elected Officials	\$ 263,050
Total Remuneration - Other Employees	<u>4,252,282</u>
SUBTOTAL:	4,515,333
RECONCILING ITEMS	
Non taxable benefits, employer portion of statutory deductions and accruals	919,232
TOTAL PER CONSOLIDATED STATEMENT OF FINANCIAL ACTIVITIES - EXPENDITURES (Note 13)*	<u><u>\$ 5,434,565</u></u>

*Note 13: Expenditures by Object - part of Salaries, Wages and Benefits / Travel

Columbia Shuswap Regional District

**SCHEDULE OF PAYMENTS FOR THE PROVISION OF
GOODS AND SERVICES - 2018**

SCHEDULE - A :

AMOUNTS EXCEEDING \$25,000

1089472 BC LTD.	\$ 60,590
478868 BC LTD. O/A MCDIARMID CONSTRUCTION	633,027
A & B CONTRACTING (620241 BC LTD.)	453,753
ADVANTAGE ROOFING LTD	27,825
ASPHALT VALLEY PAVING SERVICES	94,088
ASSOCIATED FIRE & SAFETY	112,381
BC HYDRO	315,739
BILL'S BOTTLE DEPOT LTD.	102,380
BKC INC	175,350
BLACK PRESS GROUP LTD.	67,259
BRUCE LANDSCAPING AND EXCAVATING	41,040
BWP CONSULTING INC	85,491
C CAN STORE INC.	51,266
C. JANZEN MANAGEMENT	40,216
C. MUNK MANAGEMENT	107,978
CDW CANADA INC.	75,217
CEDARDALE ENTERPRISES LTD	75,554
CITY ELECTRIC SUPPLY	37,081
CITY OF SALMON ARM	31,262
CITY OF SURREY	62,024
CITYVIEW A DIVISION OF N HARRIS	30,959
CLEANSITE MANAGEMENT	181,929
COPPER ISLAND DIVING	26,192
CUPE LOCAL 1908	48,979
DESTINATION THINK!PROFESSIONAL	184,384
DICK LUCKY	30,000
ESRI CANADA LTD.	59,541
EXECUTIVE FLIGHT CENTRE	303,015
FIRESTORM ENTERPRISES LTD	25,668
FLETCHER PAINE ASSOCIATES LTD.	38,619
FLYING W TRAIL RIDES LTD.	43,701
FORTIS BC - NATURAL GAS	25,338
FRASER BASIN COUNCIL SOCIETY	26,290
GENTECH ENGINEERING INC.	171,886
GOLDEN BOTTLE DEPOT	27,950
GOLLING GARRY	27,634
HIGH IMPACT SIGNS & DESIGNS	25,758
INSURANCE CORPORATION OF B.C.	73,159
INTERCITY RECYCLE LTD.	72,497
INTERIOR RADIATION PROTECTION SERVICES	79,065
INTERIOR UTILITY MANAGEMENT	565,152
JC KING CONTRACTING INC	27,935
K9 CONTROL	46,905
KERR WOOD LEIDAL ASSOCIATES LTD.	88,757
KYLE DEARING CONSULTING	60,461
LARCH LANDSCAPE ARCHITECTURE	35,132
LAVERNE TURNER CONTRACTING LTD.	31,111
LB CHAPMAN CONSTRUCTION LTD.	483,646
LESSARD EXCAVATING LTD.	68,477
LIDSTONE & COMPANY	98,010
MCELHANNEY CONSULTING SERVICES LTD.	115,393
MEARL'S MACHINE WORKS LTD.	41,713
MINISTER OF FINANCE	57,701
MORROW BIOSCIENCE LTD.	128,875
MOUNCE HOLDINGS INC.	102,884
MOUNTAIN SIDE EARTHWORKS LTD.	191,724
MOUNTAIN VIEW ELECTRIC LTD.	41,128
MUNICIPAL INSURANCE ASSOC. OF B.C.	234,115
MURDY & MCALLISTER	91,025
MURRAY HILLSON LOGGING LTD.	628,070
NEWFOUND LANDSCAPING CORP.	106,887
OLSON PROJECTS LTD.	175,128
ON GRADE CONSTRUCTION	26,542
OPUS INTERNATIONAL CONSULTANTS (CANADA)	105,593
PACIFIC BLUE CROSS	269,162
PEARSON TRANSPORT LTD.	47,021
PENSION CORPORATION	671,484
PHOENIX BENEFITS SOLUTIONS INC.	39,408
PUTNEY REX	33,818

Columbia Shuswap Regional District

**SCHEDULE OF PAYMENTS FOR THE PROVISION OF
GOODS AND SERVICES - 2018**

SCHEDULE - A :

AMOUNTS EXCEEDING \$25,000

R.B.W. FORESTRY & LANDSCAPE CO	100,738	
RAMTECH ENVIRONMENTAL PRODUCTS	57,449	
RCAP LEASING	46,737	
RE-MATT INC.	46,119	
READING GARY	173,708	
RECEIVER GENERAL	1,329,894	
RECYCLING SOLUTIONS	173,263	
REGIONAL DISTRICT OF CENTRAL OKANAGAN	94,321	
REVELSTOKE BOTTLE DEPOT	60,858	
REVOLUTION ENVIRONMENTAL SOLUTIONS LP	63,136	
RICOH CANADA INC.	149,979	
ROCKY MOUNTAIN PHOENIX	244,959	
SALMON ARM SECURITY	146,024	
SCV CONTRACTORS CORPORATION	884,625	
SHADE SAILS CANADA INC	26,947	
SHAMROCK MOUNTAIN BUILDING LTD	44,288	
SHUSWAP BIRD OF PREY LTD.	68,150	
SHUSWAP COUNTRY BUILDERS LTD.	62,842	
SHUSWAP HUT AND TRAIL ALLIANCE SOCIETY	102,134	
SHUSWAP MARINE FREIGHT 2016 LTD.	40,425	
SHUSWAP PARKS PATROL	43,239	
SHUSWAP PROPERTY MAINTENANCE (0801681 BC	25,835	
SIVERTZ KIEHLBAUCH	43,100	
SOURCE ELECTRICAL SERVICES LTD	36,843	
SPOONER INDUSTRIAL LTD.	68,948	
STARTEC REFRIGERATION SERVICES LTD.	125,325	
STEWART MCDANNOLD STUART	38,380	
STRAIN FRANK	543,227	
T238 ENTERPRISES LTD.	27,379	
TELUS COMMUNICATIONS (BC) INC.	87,525	
TETRA TECH CANADA INC.	44,467	
TOTAL OFFICE SUPPLY LTD.	41,980	
TOWN OF GOLDEN	26,575	
TRUEFORM CONTRACTING	35,159	
TURN-KEY CONTROLS	119,161	
U.S. BANK	272,754	
URBAN SYSTEMS LTD.	87,211	
VALLEY BLACKTOP	31,481	
VELLA RADIOLINKS LTD.	56,997	
WESTERN WATER ASSOCIATES LTD	231,463	
WESTREK GEOTECHNICAL SERVICES LTD	34,596	
WHITEVALE BACKHOE	53,511	
WILDWOOD RESOURCES LTD.	34,071	
WORKERS' COMPENSATION BOARD OF B.C.	84,350	
WOZAIR LEASING LTD.	96,382	
XCG CONSULTING LIMITED	47,924	
ZAICHKOWSKY CONSTRUCTION	38,047	
ZAICHKOWSKY MARC	28,331	
<i>SUB-TOTAL:</i>		\$ 15,086,202
<i>ALL SUPPLIERS WITH AMOUNTS LESS THAN \$25,000</i>		<u>2,828,704</u>
TOTAL PAYMENTS TO SUPPLIERS FOR THE PROVISION OF GOODS & SERVICES FOR 2018		<u>\$ 17,914,906</u>

Columbia Shuswap Regional District

SCHEDULE OF PAYMENTS FOR THE PROVISION OF GOODS AND SERVICES - 2018

SCHEDULE - B :

GRANTS AND CONTRIBUTIONS

EXCEEDING \$25,000

BLIND BAY COMMUNITY HALL SOCIETY	60,725	
CITY OF REVELSTOKE	1,093,680	
CITY OF SALMON ARM	218,084	
COLUMBIA ELECTORAL AREA A TV REBROADCASTING	65,000	
COLUMBIA SHUSWAP INVASIVE SPECIES SOCIETY	100,500	
DISTRICT OF SICAMOUS	424,635	
EAGLE VALLEY TRANSPORTATION SOCIETY	25,000	
FRASER BASIN COUNCIL	167,000	
GOLDEN & DISTRICT HIST. SOC.	55,500	
GOLDEN COMMUNITY SOCIAL SERVICES CO-OP	30,000	
GOLDEN SNOWMOBILE CLUB	30,000	
LAKEVIEW COMMUNITY CENTRE SOCIETY	27,887	
NORTH & SOUTH SHUSWAP COMMUNITY RESOURCES ASSOC	25,000	
NORTH SHUSWAP CHAMBER OF COMMERCE	29,500	
NORTH SHUSWAP FIRST RESPONDER SOCIETY	27,000	
OKANAGAN REGIONAL LIBRARY	1,123,626	
REVELSTOKE GOLF CLUB	80,000	
SHUSWAP HUT & TRAIL ALLIANCE SOCIETY	41,534	
SHUSWAP LIFEBOAT SOCIETY	25,250	
SHUSWAP VOLUNTEER SEARCH & RESCUE	80,000	
SICAMOUS & DIST. REC. CENTRE	373,728	
SOUTH SHUSWAP CANADA DAY SOCIETY	25,000	
SOUTH SHUSWAP CHAMBER OF COMMERCE	41,000	
SOUTH SHUSWAP FIRST RESPONDERS ASSOCIATION	50,000	
STERILE INSECT RELEASE PROGRAM	66,401	
TOWN OF GOLDEN	1,030,703	
<i>SUB-TOTAL:</i>		\$ 5,316,753
<i>CONSOLIDATED TOTAL OF GRANTS & CONTRIBUTIONS</i>		<u>379,448</u>
<i>LESS THAN \$25,000</i>		
TOTAL GRANTS & CONTRIBUTIONS PAID IN 2018		<u><u>\$ 5,696,202</u></u>

Columbia Shuswap Regional District

RECONCILIATION OF THE SCHEDULES FOR THE PROVISION OF GOODS & SERVICES FOR THE YEAR 2018

Schedules A & B

Total of aggregate payments exceeding \$25,000 paid to suppliers	\$ 15,086,202
Consolidated total of payments of \$25,000 or less paid to suppliers	2,828,704
Consolidated total of grants and contributions exceeding \$25,000	5,316,753
Consolidated total of grants and contributions less than \$25,000	379,448
TOTAL:	\$ 23,611,107

RECONCILIATION NOTE: The operational statement presented in accordance with Financial Information Regulation, Schedule 1, section 3 (1)(a) has been prepared in accordance with generally accepted accounting principles for British Columbia local governments, and expenditures have been accounted for in the period the goods and services are acquired and liability received. The schedule of payments for the Provision of Goods and Services indicates payments made in the year 2018 and therefore cannot be reconciled with the statement required in section 3.

Prepared under the Financial Information Regulation, Schedule 1, section 7 and the *Financial Information Act*, section 2.

Columbia Shuswap Regional District

Statement of Financial Information Approval

The undersigned represents the Board of Directors of the Columbia Shuswap Regional District and approves all the statements and schedules included in this Statement of Financial Information, produced under the *Financial Information Act*.

Rhona Martin

Chair, Columbia Shuswap Regional District

Date:

- Prepared under the Financial Information Regulation, Schedule 1, subsection 9(2)
-

Columbia Shuswap Regional District

Management Report

The Financial Statements contained in this Statement of Financial Information under the *Financial Information Act* have been prepared by management in accordance with generally accepted accounting principles for British Columbia Regional Districts, and the integrity and objectivity of these statements are management's responsibility. Management is also responsible for all the statements and schedules, and for ensuring that this information is consistent, where appropriate, with the information contained in the financial statements.

Management is also responsible for implementing and maintaining a system of internal controls to provide reasonable assurance that reliable financial information is produced. The Board of Directors is responsible for ensuring that management fulfils its responsibilities for financial reporting and internal control, including reviewing and approving the financial statements.

The external auditors, BDO Canada LLP, conduct an independent examination, in accordance with generally accepted auditing standards, and express their opinion on the financial statements. Their examination does not relate to the other schedules and statements required by the Act. Their examination includes a review and evaluation of the regional district's system of internal control and appropriate tests and procedures to provide reasonable assurance that the financial statements are presented fairly.

On behalf of the Columbia Shuswap Regional District,

Jodi Pierce
Manager, Financial Services
Date:

- Prepared under the Financial Information Regulation, Schedule 1, subsection 9(3)
-

Columbia Shuswap Regional District

Schedule of Guarantee and Indemnity Agreements

The Columbia Shuswap Regional District has **not** given any guarantees or indemnities under the Guarantees and Indemnities regulation.

- Prepared under the Financial Information Regulation, Schedule 1, subsection 5(4)
-

Statement of Severance Agreements

There were no severance agreements made between the Columbia Shuswap Regional District and its non-unionized employees during fiscal year 2018.

- Prepared under the Financial Information Regulation, Schedule 1, subsection 6(8)
-

Statement of Financial Information Approval

The undersigned, as authorized by the Financial Information Regulation, Schedule 1, subsection 9(2), approves all the statements and schedules included in this Statement of Financial Information, produced under the *Financial Information Act*.

 Jodi Pierce, CPA, CGA
 Manager, Financial Services
Date:

- Prepared under the Financial Information Regulation, Schedule 1, subsection 9
-

RESOURCING A COLLABORATIVE SYSTEM OF DATA SHARING IN THE PROVINCE OF BC

WHEREAS natural disasters pose an increasing risk to the economic, social, and environmental well-being of British Columbians;

AND WHEREAS the provincial government is taking action to improve resilience by strengthening disaster preparedness and disaster risk governance in the context of climate change;

AND WHEREAS the sharing of integrated asset data, information, and knowledge across all sectors is key to improving emergency management and resiliency planning in BC:

THEREFORE BE IT RESOLVED that the Province of British Columbia be urged to take a strong leadership role and provide long-term sufficient funding and resources to increase the coordination, assembly, and access of asset data, information, and knowledge across multiple levels and sectors of government and stakeholders (including First Nations, local governments, provincial and federal government agencies, qualified professionals, and industry sectors) be received.

BACKGROUND

The Columbia Shuswap Regional District is working in collaboration with local governments, First Nations, and other stakeholders to update and strengthen flood hazard mapping in the Fraser Basin Watershed and Columbia Watershed. Other jurisdictions around the province are undertaking similar exercises with help from various provincial and federal grant programs. The mapping products and reports created are invaluable in helping determine areas of risk and in developing emergency management and planning policy.

It is critical that the hazard mapping remain current with changes to new development, infrastructure, and the changing natural environment. Decision-makers need to know that the data they are relying on is the best available. This requires re-running the analysis models to incorporate the latest information in the analysis.

The analysis models used to develop the hazard mapping pull together various types of data and information, including elevation data, existing floodplain mapping, demographic data, locations of critical assets and infrastructure, and professional reports. The sources of this data can be the local government, provincial government, or other agencies. Access restrictions and data formats can also vary widely. As a result the time and expense needed to update the models is unsustainable.

Provincial-level coordination of collection, assembly, and access to this data would greatly help facilitate a near real-time understanding of the hazards and risk. Models could reference data that is known to be current and is in a format common across jurisdictions. Decision-makers could confidently reference mapping and analysis that is authoritative.



2019 ANNUAL APPOINTMENTS TO COMMITTEES, BOARDS AND EXTERNAL AGENCIES

(amended by CSRD Board April 18, 2019)

COLUMBIA SHUSWAP REGIONAL DISTRICT COMMITTEES AND COMMISSIONS

Committee of the Whole	All Directors
Electoral Area Directors Committee	All Electoral Area Directors
Milfoil Control Planning Committee	Electoral Area C, D, E and F Directors City of Salmon Arm Directors District of Sicamous Director
Revelstoke Airport Management Committee	Electoral Area B Director City of Revelstoke Director
Revelstoke Economic Development Commission	Electoral Area B Director City of Revelstoke Director
Shuswap Economic Development Commission	Electoral Area C, D, E and F Directors
Shuswap Tourism Committee	Electoral Area C, D, E and F Directors City of Salmon Arm Director District of Sicamous Director
Parcel Tax Review Committee	Electoral Area C, D, E and F Directors
Sicamous-to-Armstrong Rail Trail Corridor Interjurisdictional Governance Advisory Committee <i>(approved by Board March 21, 2019)</i>	Electoral Area C, D, E and F Directors

HOSPITAL DISTRICT BOARDS (Established by Hospital District Act)

Kootenay East (KERHD)	Electoral Area A Director (Area A Alternate Director)
North Okanagan/Columbia Shuswap (NOCSRHD)	Electoral Area B, C, D and E Directors City of Revelstoke Director City of Salmon Arm Directors District of Sicamous Director (Alternate Directors)
Thompson (TRHD)	Electoral Area F Director (Alternate Director)



2019 ANNUAL APPOINTMENTS TO COMMITTEES, BOARDS AND EXTERNAL AGENCIES

(amended by CSRD Board April 18, 2019)

OTHER AGENCIES/BOARDS

BC Hydro Mica 5, Mica 6, Revelstoke 6 Projects	D. Brooks Hill
BC Hydro Water Use Plans	D. Brooks-Hill and K. Cathcart
Columbia River Treaty Local Governments Committee	
- Area B/Revelstoke	D. Brooks-Hill
- Area A/Golden	C. Moss
Columbia Basin Regional Advisory Committee (RAC)	K. Cathcart
	D. Brooks-Hill
	- In the absence of any of the two named above Directors: Alternate Directors for Electoral Area A and B
Fraser Basin Council (FBC)	
- Council	R Talbot (<i>NB Third consecutive 3 year term concludes Dec 31, 2019, per FBC</i>)
- Thompson Regional Committee	R. Talbot (Alternate: R. Martin)
Ktunaxa-Kinbasket Treaty Advisory Committee	Electoral Area A Director (Alternate: Electoral Area B Director) <i>*as amended Jan 10/2019 CSRD Board Meeting</i>
Municipal Finance Authority	Chair (Alternate: Vice Chair)
Municipal Insurance Association of BC (MIABC)	Chair (Alternate: Vice Chair)
Okanagan Regional Library Board	
- Golden/Area A	C. Moss (Alternate: K. Cathcart)
- Areas B, C, D, E and F	J. Simpson (Alternate: P. Demenok)
Salmon Arm Economic Development Society (non-voting)	P. Demenok
Shuswap Regional Airport Operation Committee	T. Rysz
Shuswap Regional Airport Commission	Electoral Area C, D and E Directors District of Sicamous Director
Sterile Insect Release (SIR) Board	C. Eliason (Alternate: K. Flynn)



2019 ANNUAL APPOINTMENTS TO COMMITTEES, BOARDS AND EXTERNAL AGENCIES

(amended by CSRD Board April 18, 2019)

OTHER AGENCIES/BOARDS, cont'd.

Southern Interior Development Initiative Trust (SIDIT)

- | | |
|--|---|
| <ul style="list-style-type: none"> - Kootenay-Columbia Regional Advisory Council (RAC) - Thompson Okanagan Regional Advisory Council (RAC) | <p>Electoral Area A and B Directors;</p> <p>Chair, CSRD (per legislation)</p> |
|--|---|

Shuswap Watershed Council (established CSRD Bylaw No. 5705, 2016) (Standing Committee)

Appointed by Chair, CSRD:

- Electoral Area C, D, E and F Directors
- In the absence of any of the above Directors: Alternate Directors for Electoral Area C, D, E and F

City of Salmon Arm (1) representative – as
selected by City Council

Thompson Nicola Regional District (2)
representatives - *as selected by TNRD*

Regional District of North Okanagan (1)
representative (City of Enderby) - *as
selected by RDNO*

Syilx Okanagan Nation Alliance (2)
representatives - *as selected by the Syilx
Okanagan Nation Alliance*

District of Sicamous (1) representative – as
selected by District Council

Regional District of North Okanagan (1)
representative (Area F) - *as selected by
RDNO*

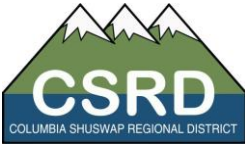
Shuswap Nation Tribal Council (1)
representative - *as selected by Shuswap
Nation Tribal Council*

BC Ministry of Environment (1) staff
representative - *as selected by BC Ministry
of Environment*

*Public (community) representatives:
Four (4) members appointed by the Chair,
CSRD, as recommended by the Shuswap
Watershed Council: Term: April 1, 2019 to
March 31, 2022:

Lorne Hunter;
Randy Wood;
Natalya Melnychuk;
Sharon Bennett

BC Ministry of Agriculture (1) staff
representative - as selected by BC Ministry
of Agriculture



2019 ANNUAL APPOINTMENTS TO COMMITTEES, BOARDS AND EXTERNAL AGENCIES

(amended by CSRD Board April 18, 2019)

CSRD SIGNING AUTHORITY

Chair
Vice Chair
Chief Administrative Officer
Manager, Financial Services
Deputy Manager of Corporate Administration Services
Deputy Treasurer
Manager, Operations Management



BOARD REPORT

TO: Chair and Directors

File No: 1855 03

SUBJECT: Bastion Mountain Geomorphic Assessment

DESCRIPTION: Report from Derek Sutherland, Team Leader, March 29, 2019. For information only.

RECOMMENDATION: THAT: The Bastion Mountain – Geomorphic Assessment Hydrology Overview report prepared by Kerr Wood Leidal Consulting Engineers dated April 2, 2019 and the Bastion Mountain Area Overview Landslide Assessment Report prepared by Westrek Geotechnical Services Ltd. dated April 2, 2019, be received by the Board for information this 18th day of April, 2019.

SHORT SUMMARY:

As a result of major land slide events in McIntyre Creek (2014), Handy Brook (2017) and Robinson Creek (2017), the CSR D applied for and received funding from the Union of BC Municipalities (UBCM to conduct a geomorphic assessment of Bastion Mountain in the Sunnybrae area of Tappen, BC to determine future land slide risk.

Kerr Wood Leidal Consulting Engineers (KWL) was retained by the CSR D to undertake the assessment work which has recently been completed. Dwayne Meredith, Senior Project Manager, KWL, will provide a project overview to the Board at the April 18, 2019 Board meeting.

VOTING:

Unweighted
Corporate



LGA Part 14
(Unweighted)



Weighted
Corporate



Stakeholder
(Weighted)



BACKGROUND:

In November 2017, the CSR D Board of Directors authorized staff to develop a grant request to UBCM in the amount of \$150,000 to conduct a Geomorphic Assessment of the Bastion Mountain area between Handy Brook and McIntyre Creek. The area has been subject to three major landslides in recent years and a detailed risk analysis of the area was needed to identify the likelihood of future events and identify associate risks.

The CSR D application to the UBCM Flood Risk Assessment grant was successful and the CSR D engaged KWL to perform the geomorphic assessment. KWL created LiDAR data of the area and engaged Westrek Geotechnical to interpret the data and provide the geomorphic assessment.

Draft reports were created in January 2019 and finalized in April 2019. The reports define the potential landslide hazards in the area and identify potential at-risk areas.

KEY ISSUES/CONCEPTS:

The report findings may be utilized to define potential hazard areas for development planning and mitigative efforts. The reports make the following recommendations:

1. A level of acceptable landslide risk for proposed development should be developed, at both the building permit and/or development permit levels.
2. A level of tolerable landslide risk for existing development within the landslide hazard areas should be developed.
3. Detailed landslide risk assessments should be undertaken for existing developments using the level of tolerable landslide risk, to determine whether the implementation of risk mitigation measures is necessary. Priority should be given to residential developments located within or adjacent to the land slide hazard areas discussed in [Westrek, 2019] Section 12.
4. Detailed landslide risk assessments should be completed for all proposed development within the landslide hazard areas identified in this study. These should be carried out in accordance with Engineers and Geoscientists BC's Guidelines for Legislated Landslide Assessments for Residential Development in BC (2010).
5. Terrain stability assessments that address the post-harvest landslide risk, and/or an assessment of the hydrologic impacts of logging on gullied stream systems capable of triggering debris floods and debris flows should be completed for all logging on the slopes within the study area. This should be implemented as part of the referral process.
6. A landslide database should be developed and maintained to collect data about future landslide events. The database should be used to update our landslide hazard maps, and could also allow for adjustments due to the long-term effects of climate change.
7. Post-Wildfire Natural Hazards Risk Assessments should be undertaken for existing development and infrastructure downslope from terrain affected by wildfires. Significantly burned slopes can have an elevated potential for debris flows/debris floods/floods for up to 5 years following a wildfire.
8. The Reinecker Creek watershed should be assessed with regard to the debris flood potential. A flood and/or debris flood event occurred in 2017, and the fan is occupied by the Herald Provincial Park and campground.
9. All creek fans in the study area should be designated as Development Permit Areas.
10. A level of flood hazard tolerance (i.e., 200-year return period) or flood risk tolerance (probability of death) for proposed development applications should be specified.
11. Flood risk mitigation measures should be added or upgraded within its flood control bylaw in consideration of Legislated Flood Assessments in a Changing Climate in BC (2018).
12. The culverts along Sunnybrae-Canoe Point Road are significantly undersized to pass clear water floods, except for the recently replaced Robinson Creek culvert, and are typically susceptible to blockage from sedimentation, and as identified debris floods and/or debris flows. The culverts should be upgraded to pass clear water floods and with consideration to reduce the potential for blockages.

COMMUNICATIONS:

The reports and appendices have been posted on the CSRD website and affected residents and stakeholders will be informed. If necessary, information can be provided through a public meeting held in the community.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

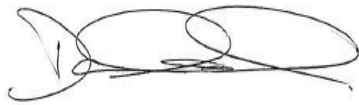
LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Hydrology Overview - Bastion Mountain Geomorphic Assessment, KWL Consulting Engineers, April 2, 2019.
2. Bastion Mountain Area – Overview Landslide Assessment, Westrek Geotechnical Services Ltd., April 2, 2019.

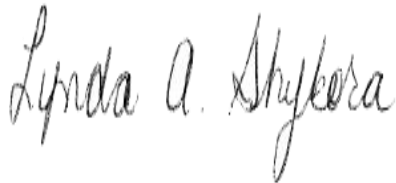
Report Approval Details

Document Title:	Bastion Mountain Geomorphic Assessment.docx
Attachments:	
Final Approval Date:	Apr 9, 2019

This report and all of its attachments were approved and signed as outlined below:



Darcy Mooney - Apr 9, 2019 - 1:26 PM



Lynda Shykora - Apr 9, 2019 - 1:58 PM



Charles Hamilton - Apr 9, 2019 - 2:38 PM



BOARD REPORT

TO:

Chair and Directors

File No: 1850 20 19

SUBJECT:

Grant in Aid requests

DESCRIPTION:

Report from Jodi Pierce, Manager, Financial Services, dated March 28, 2019.

**RECOMMENDATION
#1:**

THAT: the Board approve the following allocations from the 2019 electoral grant-in-aids:

Area A

\$3,000 Wildsight Golden (Columbia Wetlands Waterbird Survey)

\$6,000 Wildsight Golden (Rocky Mountain Bighorn Sheep Project)

Area B

\$2,000 Trout Lake Volunteer Fire Department (operational funding)

Area C

\$1,000 Pink Piston Paddlers (Repair paddles and purchase team shirts)

\$1,800 Sorrento Minor Ball – Fastball Program (uniforms and equipment)

Area D

\$2,000 Falkland Historical Society (McClounie's Cash Store building completion)

\$6,700 Falkland & District Sunday Morner's Club (main floor flooring)

Area E

\$1,000 Sicamous & District Museum & Historical Society (CPR Hotel model and display case)

Area F

\$10,000 Friday Night Live Society (Summer Concert series)

\$40,000 North Shuswap Community Association (replace floor)

\$9,900 North Shuswap Chamber of Commerce (Community Revitalization Project)

\$1,950 Anglemont Fire Department Association (National Wildfire Community Preparedness Day event)

\$3,000 North Shuswap Timber Days Society (Lumberjack show).

VOTING:
Unweighted
Corporate
☐
LGA Part 14
(Unweighted)
☐
Weighted
Corporate
☒
Stakeholder
(Weighted)
☐

POLICY:

These requests meet the requirements of Policy F-30, are approved by the respective Area Director, and the required source documentation has been received.

COMMUNICATIONS:

The respective Electoral Director will advise each organization of the Board's decision. Successful organizations will be sent a cheque accompanied by a congratulatory letter.

DESIRED OUTCOMES:

That the Board endorse the recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

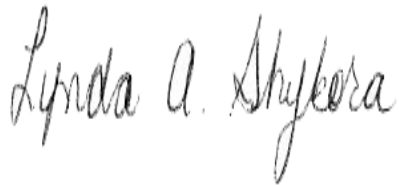
LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. List reports

Report Approval Details

Document Title:	2019-04-19_Board_FIN Grant in Aids.docx
Attachments:	
Final Approval Date:	Apr 8, 2019

This report and all of its attachments were approved and signed as outlined below:



Lynda Shykora - Apr 8, 2019 - 9:16 AM



Charles Hamilton - Apr 8, 2019 - 9:39 AM



BOARD REPORT

TO: Chair and Directors

File No:	LC2563F CV20190000042
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SUBJECT: Electoral Area F: Agricultural Land Commission (ALC) Application
Section 20 (2) – Non-farm Use (Dobray)

DESCRIPTION: Report from Jan Thingsted, Planner III, dated April 3, 2019
2732 Evans Road, Celista

RECOMMENDATION: THAT: Application LC2563F, Section 20(2) for Non-Farm Use for the Northwest ¼, Section 21, Township 23, Range 10, W6M, KDYD, Except Plans 36922 and KAP90613, be forwarded to the Agricultural Land Commission recommending approval this 18th day of April, 2019.

SHORT SUMMARY:

The property owner's agent has applied to the Agricultural Land Commission (ALC) for non-farm use permission to establish a micro-cultivation cannabis production facility ("facility") at 2732 Evans Road in Celista, Electoral Area F. The proposed facility is to be federally licensed under the Cannabis Act for micro-cultivation in an existing 6,000 sq. ft. concrete-floor building. The agent has also included a 1,500 sq. ft. cover-all building in the proposal to enable future expansion of the business to include a cannabis processing space. The total area of land requested for non-farm use is 7,500 sq. ft. (697 m²).

VOTING:	Unweighted Corporate	<input checked="" type="checkbox"/>	LGA Part 14 (Unweighted)	<input type="checkbox"/>	Weighted Corporate	<input type="checkbox"/>	Stakeholder (Weighted)	<input type="checkbox"/>
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BACKGROUND:

REGISTERED OWNERS:
Leslie Dobray, Brenda Dobray

APPLICANT/AGENT:
Jaclynn Pehota (Althing Consulting Ltd.)

ELECTORAL AREA:
F (North Shuswap)

LEGAL DESCRIPTION:
Northwest ¼, Section 21, Township 23, Range 10, W6M, KDYD, Except Plans 36922 and KAP90613

PID:
004-541-766
CIVIC ADDRESS:
2732 Evans Road, Celista

SURROUNDING LAND USE PATTERN:
North = Rural Resource (Crown Provincial)
South = Agriculture (ALR)

East = Agriculture (ALR)

West = Agriculture/Rural Resource

CURRENT USE:

Residential (one single-family dwelling) and accessory buildings

Agriculture (most of the property is currently being used to grow hay/alfalfa)

PROPOSED USE:

Residential (one single-family dwelling) and accessory buildings

Micro-cultivation cannabis production facility and continued cultivation of hay/alfalfa.

PARCEL SIZE:

38.3 ha

DESIGNATION:

Electoral Area F Official Community Plan Bylaw No. 830

Agriculture

ZONE:

No Zoning

PROPOSED DESIGNATION/ZONE:

No proposed change

AGRICULTURAL LAND RESERVE (ALR):

100%

SOIL CAPABILITY:

According to Canada Land Inventory mapping, the portion of the subject property proposed for cannabis cultivation is comprised of Class 4 soils with moisture deficiency and topography as limiting factors. The soils in the applicable area are improvable to Class 3 with topography and moisture deficiency as limiting factors. No Agrologist's report was provided with this application.

The agent notes that the soil is predominately a mix of loam and rocky gravel. The owners are proposing no alteration to the subject property's native soil since the facility will occur in existing buildings with concrete floors.

ALR APPLICATION HISTORY:

1196 (1976) – ALC approved a subdivision that created a 12.14 ha parcel

1981 (1986) – ALC approved a proposed 0.4 ha homesite severance subdivision

LC 2382 (2009) – ALC approved a 4.5 ha inclusion of land to the ALR

LC 2396 – (2010) Two-lot subdivision occurred along the ALR boundary

ALC APPLICATION INFORMATION (completed by applicant/agent):

see: "Project_Description_LC2563F.pdf"

COVENANTS:

LB377846 (CSRD Covenant) – The covenant specifies that no buildings shall be constructed, reconstructed, moved or located within 15 m of the natural boundary of Cleslok Creek.

To view applicable maps and plans see: "Maps_Plans_LC2563F.pdf" attached.

POLICY:

Electoral Area F Official Community Plan (OCP) Bylaw No. 830

Relevant excerpts from OCP:

Section 11.3 Agriculture (AG)

Objective 1

To support the long-term viability of the agricultural industry in the North Shuswap and to ensure valuable agricultural lands are preserved for agricultural purposes and protected from inappropriate fragmentation through subdivision.

Objective 2

To support agricultural development in the ALR in the Scotch Creek Primary Settlement Area, as agriculture provides a sustainable, complementary, economic development option which is compatible with other land uses proposed for this area.

Policy 1

The lands designated as Agriculture are shown on Schedules B & C. Agriculture is the primary and dominant land use, with a full range of crop and livestock production activities permissible, as well as homes, buildings and structures associated with agricultural operations. Lands within the Provincially-designated Agricultural Land Reserve (ALR) at the time of writing of this Plan are shown on Schedule D.

Policy 7

Home-based businesses and home-based industries, as defined in the zoning bylaw, are acceptable in the Agriculture designation. On ALR lands, these uses are subject to Agricultural Land Commission policies and regulations.

Cannabis Related Business Policy A-71

Relevant excerpts from the policy:

Part Two: Criteria for Reviewing Licence Applications

1. Location of Cannabis Related Businesses

b. Cannabis related businesses are not supported on:

- Residential properties
- Land within the Agricultural Land Reserve (ALR)

c. A minimum separation distance of 300 m is recommended between a cannabis related business and the following locations (the minimum distance is calculated as a straight line from the edge of each parcel):

- Day Cares
- Health Care Facilities
- Libraries

- *Parks*
- *Playgrounds*
- *Schools*
- *Other cannabis related businesses*

d. Minimum cannabis production facility (includes all buildings and structures) setbacks from property lines:

- *60 m setback to exterior lot line*
- *90 m setback to front lot line*
- *30 m to other lot lines*

e. Minimum cannabis production facility (includes all buildings and structures) setbacks from watercourses:

- *30 m*

Refer to: "Cannabis_Related_Business_Policy_A-71.pdf" for the complete Policy.

Agricultural Land Commission Act

Relevant excerpts from ALC Act:

Non-farm use of land within agricultural land reserve

20 (1) A person must not use agricultural land for a non-farm use unless permitted under section 25 or 45 or the regulations.

(2) A person may apply to the commission for permission under section 25 for a non-farm use of agricultural land if the person

- (a) is an owner of the agricultural land, or*
- (b) has a right of entry, granted under an enactment, to the agricultural land*

Agricultural Land Reserve Regulation

Relevant excerpts from ALR Regulation:

Cannabis

8 (1) The use of agricultural land for producing cannabis lawfully may not be prohibited as described in section 4 if the cannabis is produced

- (a) outdoors in a field, or*
- (b) inside a structure that, subject to subsection (2), has a base consisting entirely of soil.*

(2) The use of agricultural land for producing cannabis lawfully may not be prohibited as described in section 4 if the cannabis is produced inside a structure that meets both of the following conditions:

- (a) the structure was, before July 13, 2018,*
 - (i) constructed for the purpose of growing crops inside it, including but not limited to producing cannabis lawfully, or*

(ii) under construction for the purpose referred to in subparagraph (i), if that construction

(A) was being conducted in accordance with all applicable authorizations and enactments, and

(B) continues without interruption from the date it began until the date the structure is completed, other than work stoppages considered reasonable in the building industry;

(b) the structure has not been altered since July 13, 2018 to increase the size of its base or to change the material used as its base.

FINANCIAL:

There are no financial implications to the CSRD with regard to this application.

KEY ISSUES/CONCEPTS:

The owners are requesting non-farm use permission from the ALC to operate a non-medical cannabis production facility on ALR land in two existing accessory buildings with concrete floors. If successful in obtaining this permission, the owners will apply to Health Canada to obtain a micro-cultivation licence which is required to legally operate the facility. The micro-cultivation licence will allow the cultivation and wholesale of cannabis to a licenced third party, and allow the direct sale to provincial distributors (fresh/live plants/seeds only). The licence permits up to 200 m² of "canopy space" (uppermost continuous layer of foliage) and does not permit any on-site retail sales of cannabis. Health Canada requires that cultivation facilities be equipped with an appropriate security system, and air filtration system to prevent the escape of odours.

Electoral Area F OCP Bylaw No. 830 supports "Agriculture" on the subject property and makes no reference to cannabis production. Policy 7 indicates that home based businesses and industries are acceptable in the "Agriculture" designation, subject to the ALC policy and regulations.

There is no zoning in place for the Celista area, including the subject property.

Cannabis Related Business Policy A-71

When reviewing applications for cannabis production facilities staff look to the Cannabis Policy. The Cannabis Policy outlines the criteria for reviewing applications for cannabis license applications. This includes the location of the proposed business in terms of the type of property it is proposed to be located on. Cannabis related businesses are not supported on residential properties or land in the ALR, and where zoning exists cannabis production facilities may only be permitted in Industrial zones. The distance of the proposed business from other uses considered to be incompatible with cannabis related businesses including schools, playgrounds, day cares, health care facilities, libraries, parks, and any other public space are outlined in the policy. Minimum setbacks from property lines and watercourses for all buildings and structures associated with cannabis production facilities are also included.

The proposed facility meets all location criteria in CSRD Cannabis Related Business Policy (A-71) except that it is located on ALR land. Notwithstanding, the owners believe that, "*small-scale cannabis cultivation can be effectively integrated with the ALR without threatening the principal of food security.*"

The combined area of the existing buildings proposed for the facility accounts for less than 0.2% of the total property area.

It is the intent of the owners to use a soilless method of cultivation that utilizes a "sterile coco fiber medium." Any cannabis waste products generated at the facility are to be mulched on site and either composted or transported to a landfill.

The project will also incorporate water recycling and rain water filtration/collection in order to reduce water demand. The project description states that *"...because water is not the growing medium, as it would be in the case of a hydroponic facility, there is also no significant waste water disposal required by this project."* It should be noted that the water supply system that services the facility may be subject to the approval and permitting requirements of the BC Drinking Water Protection Act and Regulation.

The table below shows the relevant Cannabis Related Business policies and whether or not the proposed facility meets the Policy's criteria.

Cannabis Policy	Yes/No?	Comments
Land Use Regulations:		
Is the property subject to zoning?	no	No zoning in the Celista area
Property is zoned Industrial	n/a	
Property is zoned Residential	n/a	
Property is in the ALR	yes	100% in the ALR
Is the proposed facility located within 300 m of the following land uses:		
Parks	no	2,800 m from Farrel's Field
Schools	no	3,800 m from North Shuswap Elementary School
Health Care Facilities	no	Nearest facility in Scotch Creek
Libraries	no	Nearest facility in Scotch Creek
Day Cares	no	Nearest facility in Scotch Creek
Playgrounds	no	2,800 m from Farrel's Field
Other Cannabis Related Business	no	1,300 m from the Garland Road cannabis production facility (currently under construction)
Does the proposed facility meet the minimum building setbacks?		Actual Setbacks:
60 m to Exterior lot line	yes	100 m
90 m to Front lot line	yes	650 m
30 m to Other lot lines	yes	Over 100 m
30 m to Watercourses	yes	200 m

SUMMARY:

The agent is applying to the ALC to obtain non-farm use permission for two existing buildings (697 m² total area) with concrete floors. Staff is recommending approval of this non-farm use in the ALR for the following reasons:

- The proposed facility is designated "Agriculture" in Bylaw No. 830 and complies with the applicable Agricultural policies;
- The proposed facility will only use existing buildings and will not require any further alteration to the native soil;
- The owners have indicated that they intend to keep growing hay and alfalfa;
- Although Policy A-71 does not support cannabis related businesses on ALR land, the proposed facility will likely have little to no negative impact on the agricultural capability of the subject parcel and surrounding farmland because existing buildings will be used, the buildings are setback a minimum of 100 m from the property lines, and the property/location is more than 300 m from schools, parks, playgrounds, health care facilities, day cares, libraries and other cannabis related business; and
- Given the relative remote location of the proposed facility, anticipated impact to neighbouring properties and community as a whole is anticipated to be negligible.

IMPLEMENTATION:

CSRD staff will forward the application, together with the resolution from the Board, and this staff report to the ALC for consideration. If the ALC approves the non-farm use, staff will follow-up with the applicant in regard to other potential permitting requirements, including Building Permits and Development Permits.

If the owners are successful in obtaining this permission, it is expected that they will apply to Health Canada for a micro-cultivation licence. At that time it will be required that the CSRD, Fire Chief, and RCMP be formally notified of the licence application. Cannabis Related Business Referrals Procedure PR-32 outlines the process for reviewing cannabis retail and production facility notifications.

Refer to: "Cannabis_Related_Business_Referrals_Procedure_PR-32.pdf" for the complete Procedure.

DESIRED OUTCOMES:

That the Board endorse staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

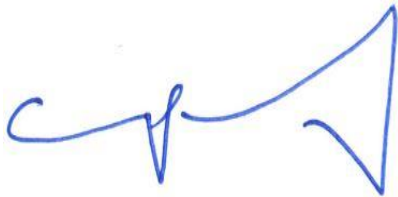
LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area F Official Community Plan Bylaw No. 830
2. ALC Act and ALR Regulations
3. BC Drinking Water Protection Act and Regulation

Report Approval Details

Document Title:	2019-03-21_Board_DS_LC2563F_Dobray.docx
Attachments:	<ul style="list-style-type: none"> - Project_Description_LC2563F.pdf - Cannabis_Related_Business_Policy_A-71.pdf - Cannabis_Related_Business_Referrals_Procedure_PR-32.pdf - Maps_Plans_LC2563F.pdf
Final Approval Date:	Apr 10, 2019

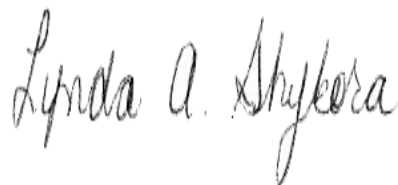
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 5, 2019 - 3:24 PM



Gerald Christie - Apr 5, 2019 - 3:36 PM



Lynda Shykora - Apr 8, 2019 - 11:22 AM

No Signature - Task assigned to Charles Hamilton was completed by assistant Lynda Shykora

Charles Hamilton - Apr 10, 2019 - 3:50 PM

Non-Farm Use Permit – Case for Approval

Prepared by Althing Consulting Services

Revisited v2- March 28, 2019

Summary of Existing Use

The subject of this application is a 38 ha lot that is currently being used as residential and agricultural mixed use. The subjects of this application are two of these existing outbuilding one with an exact footprint of 6000 sq ft and the other with an exact footprint of 1,500 sq ft.

Proposed Project

The landowners propose a micro cannabis cultivation facility, with less than a 5,000 sq foot-print. The project will represent a capital investment in property improvements of between \$500,000-\$700,000. We envision a low-profile cultivation facility that will blend seamlessly into the existing character of the area as the shell of the building is an already existing structure. The cultivation facility will be focused on sustainable cultivation practices. The project will allow the currently unproductive property to sustain 3-4 full time positions and 5-8 part time employees.

The land owners are excited at the prospect of a small business opportunity that will allow them the opportunity to cultivate crops on the property in a way that offers sustainable income to supplement retirement. It has been an aspiration of this family to put their agricultural land to further good use. A micro cannabis facility will offer that opportunity to realize that aspiration.

To ensure that the parcel under consideration raised no concerns for the CSRD, the landowners engaged the municipality in a discussion to determine whether or not it would be viable to develop the proposed use on the site. It was confirmed by District staff that this project could potentially be supported if given the appropriate justification. In opening communication about the project with their municipality, the approach was to engage the municipality at the earliest possible phase to ensure that this project would be viable.

The proposed facility will be licensed federally under the *Cannabis Act* as a micro producer. It should be noted that the form factor of the micro license limits any project under that classification to a maximum facility size of 200 sq m of canopy space.

Case for Approval

Current Farm Use

The existing property is currently designated farm use and has held that designation since the owners' purchase of the property. Currently, most of the property is being actively cultivated to raise a hay/alfalfa blend. The soil predominately is a mixed loam and rocky gravel. The owners' wish to add cannabis as a secondary revenue stream to support the existing agricultural activity and have no plans to stop cultivation hay/alfalfa.

Small Scale and Low Impact

Our proposal incorporates two existing building footprints on the property into the building design. The first is a refurbished chicken barn dating from the 1960s. This building has a 6000 sq foot (40ftX150ft)

and is current unused. No alteration to the exterior of this building will be required for this project. There is a second, existing structure on the property that is a cover all with an existing concrete base. This structure was originally for hay storage, also in the 1960s. This measures 30ftX50ft and accounts for 1,500 sq feet. This Coverall space will be used to store materials such as plant food and coco fiber for the proposed production facility. There will be no requirement to bring additional fill to the site for this project. The existing pads accounts for of less than %0.01 of the total area of the property.

We are asking for non-farm use approval for these two existing structures. This accounts for a total of 7,500 sq ft. This request will require no alteration to native soil and will allow for existing structures on the property to become productive once more.

The project doesn't require access to the site by the public and will have no appreciable effect on traffic volume or parking considerations. The project proposed is low impact and will impart high value as both a job creator in the area and as a small but important step to establishing legal cannabis cultivation as part of the CSRD's economy.

Sustainability and Nuisance Mitigation.

Odour Control, Waste Disposal and Water Use

As part of the proposed facility, and as mandated by the federally required Good Production Practices, the proposed facility will be fully equipped with a certified HVAC system. This system includes carbon filtration on all intakes and outtakes to the building as well as system internal UV sterilization. This extensive HVAC combined with the remoteness of the proposed location and the fact that the owners also own two of the butting properties means that this project represents a miniscule threat of odour nuisance.

Disposal of Waste Soils

It is the intent of the owners to cultivate cannabis in a sterile coco fiber medium. This is an organic medium derived from coconut husk that is steam sterilized. This is a common organic but soilless cultivation method for cannabis. As a result, this project will not generate waste soils.

The disposal of the coco fiber is integrated into our destruction of cannabis and cannabis by-products methodology. As part of federal licensing, Health Canada mandates that cannabis waste products generated at the facility be carefully monitored, recorded and reported monthly. As part the this mandate the cannabis waste product must be rendered inert and "non-convertible" meaning it is no longer fit for human consumption. To achieve this, the facility will be equipped with a purpose-built cannabis mulcher. The cannabis waste product is weighed and recorded. After the bio mass is weighed, the coco fiber that was used to grow the cannabis and a small quantity of cedar chips are added. The machine mulches these materials together to render the cannabis by-product inert and non-consumable. The result is a mulch that can be disposed of by composting, transported to a landfill or can be use in the facility as a normal mulch would be. It is the intent of the owners to use a combination of these methods.

Water Use and Disposal

Our facility is required by the federally mandated Good Production Practices to incorporate a water filtration system. The project will also incorporate water recycling and rain water filtration/collection in order to maintain sustainability. A secondary reason that these options are a benefit is that they reduce the facility's input costs.

It is a common misconception that cannabis cultivation is particularly water intensive activity. This is true of the hydroponic method of cultivation but in the case of soil and soilless cultivation the water usage is will be in line with a greenhouse. (We are limited by the Micro License class to a maximum of 200sq m of canopy for actual cannabis cultivation). Because water is not the growing medium, as it would be in the case of a hydroponic facility, there is also no significant waste water disposal required by this project.

The landowners intend to incorporate energy saving measures in their build including solar power options. The focus will be on ensuring that the cannabis cultivation facility is as low impact as possible on the environment.

The landowners believe that by incorporating sustainability into their business model, they will be well equipped to keep pace with the changing nature of resource use.

Commitment to the Principal of the ALR

The landowners envision their cannabis cultivation space as final phase of a general upgrade to the remaining property.

The landowners believe that this project is an excellent opportunity to demonstrate that micro cannabis cultivation does have a viable roll to play when it comes to beneficial uses of lands designated ALR. The landowners believe that projects, like the one they are proposing, can be in service to the principal of the ALR by providing secondary revenue streams to farmers to support more traditional agriculture. They also believe passionately that small scale cannabis cultivation can be effectively integrated with the ALR without threatening the principal of food security.

Conclusion

It is the applicant's contention that cannabis cultivation, especially at a micro scale, is in line with the principal of the ALR. The activity of cannabis cultivation is, at it core, the growing of plants. The landowners are proposing no alteration to the native soil of property which preserves and protects its value for traditional agriculture while significantly increasing the economic productivity of the land.

For the reasons outlined above, the landowners assert that there is a strong case for granting a non-farm use permit. This case is further supported by the landowners' commitment to ensuring that there is no impact to the remaining area of the property. They respectfully ask that their non-farm use application be approved based on these factors.

Site Photos

Purposed Existing Structures for Non-Farm Use



Dropped Pin

50°57'47"N 119°21'06"W · 512 m



Measure



Interior of Existing Building 1



Interior of Existing Building 2



Interior of Existing Building 3



Interior of Coverall



Coverall

POLICY**A-71****CANNABIS RELATED BUSINESSES POLICY****PREAMBLE**

With the legalization of recreational cannabis in Canada, the Columbia Shuswap Regional District (CSRD) will be requested to respond to licence application referrals for cannabis related businesses. This policy establishes a clear procedure and set of criteria for the CSRD to follow when responding to licence application referrals for any cannabis related business proposed in the CSRD.

PURPOSE

The intent of Policy A-71 is to ensure that:

- cannabis related business are located in such a manner that they are sensitive to potential impacts on the surrounding community and are located in appropriate locations;
- the CSRD is provided sufficient information in the cannabis licence application referral package; and
- adequate public consultation is conducted when the Board provides a recommendation on a cannabis related business application.

DEFINITIONS

CANNABIS means all parts of the genus cannabis whether growing or not, the seed or clone of such plants, including derivatives and products containing cannabis.

CANNABIS PRODUCTION FACILITY means the use of land, buildings or structures for: research and development; testing; cultivation; production; processing; storage; packaging; labeling; or distribution of cannabis and related substances, as lawfully permitted and authorized under the Cannabis Act.

RETAIL CANNABIS SALES means a business that sells cannabis as lawfully permitted and authorized under the Cannabis Control and Licensing Act.

POLICY

This Policy will remain in effect until it is repealed or replaced.

This Policy is in effect for the following geographic areas: all of the lands within the CSRD that lie outside of municipal boundaries, Indian Reserves and National Parks.

CANNABIS RELATED BUSINESS POLICY A-71

For the purpose of this policy, cannabis production facilities and retail cannabis sales are collectively referred to as “cannabis related business.”

Part One: Licence Application Procedure**1. Preliminary Consultation**

Proponents are encouraged to contact the CSRD in writing before making any final site selection decisions in order to discuss their plans with staff.

Development Services staff will review all cannabis related business application referrals for compliance with relevant land use regulations, and provide information to the applicable provincial or federal agency in respect of such regulations.

2. Description of Proposed Cannabis Related Business

Referral packages provided to the CSRD for cannabis related businesses will be expected to provide the following information:

- A complete description of the proposed business (copy of the application received by Health Canada or the Liquor Control and Licensing Branch.
- The proposed layout with a site map and to-scale-drawings showing the location of the proposed facilities, and accessory buildings.
- Proposed site area and setbacks from parcel boundaries.
- Distance from schools, parks and other public spaces that are located within 1 km of the proposed business, calculated as a straight line from the edge of each parcel.

3. Public Consultation

- Where the CSRD provides recommendations on a cannabis related business application, the method of gathering public feedback will be in accordance with the applicable federal or provincial legislation.
- The CSRD will take the views of residents into account when making a recommendation on a licence application.

Part Two: Criteria for Reviewing Licence Applications

Notwithstanding the following, the CSRD Board may modify these criteria on a site by site basis, in consideration of local factors.

1. Location of Cannabis Related Businesses

- a. Where land use zoning exists, cannabis retail sales may only be permitted in commercial zones; cannabis production facilities may only be permitted in industrial zones.

- b. Cannabis related businesses are not supported on:
- Residential properties
 - Land within the Agricultural Land Reserve (ALR)
 - Areas located within 300 m of schools, parks, and any other public space
- c. A minimum separation distance of 300 m is recommended between a cannabis related business and the following locations (the minimum distance is calculated as a straight line from the edge of each parcel):
- Day Cares
 - Health Care Facilities
 - Libraries
 - Parks
 - Playgrounds
 - Schools
 - Other cannabis related businesses
- d. Minimum cannabis production facility (includes all buildings and structures) setbacks from property lines:
- 60 m setback to exterior lot line
 - 90 m setback to front lot line
 - 30 m to other lot lines
- e. Minimum cannabis production facility (includes all buildings and structures) setbacks from watercourses:
- 30 m

June 2018

PROCEDURE

CANNABIS RELATED BUSINESSES REFERRALS

PREAMBLE

The following procedure outlines the steps to be taken by Columbia Shuswap Regional District (CSRD) Development Services Department staff upon receiving a notification that an application has been made for either a cannabis retail licence, or a cannabis production licence in the CSRD. This Procedure complements Cannabis Related Business Policy A-71.

LEGISLATIVE AUTHORITY

The process of issuing licences for cannabis retail and cannabis production is the sole jurisdiction of the provincial and federal government. In the Province of BC, the Liquor and Cannabis Regulation Branch (LCRB) is responsible for licensing and monitoring the private retail sale of non-medical cannabis under the Cannabis Control and Licensing Act. Health Canada is the approval authority for all cannabis cultivation and processing (production) licenses under the Access to Cannabis for Medical Purposes Regulations (ACMPR) and Cannabis Act.

Local governments have been provided an opportunity to provide recommendations on all cannabis retail sale license applications and must provide an opportunity for community feedback prior to making a formal recommendation of support or non-support. Cannabis Retail licences will not be issued unless the local government for the area in which the establishment is proposed to be located supports the issuance of the licence.

In the case of cannabis production facility licences, Health Canada is responsible for providing the licensing and oversight framework for legal production of cannabis. Through the licensing process, local governments are provided with a letter of notification by a proponent who has applied to become a licensed producer. Prior to issuing a licence, Health Canada does not require local government support of a proposal, nor does it require that public consultation be conducted. The CSRD will, however, respond to letters of notification in the same way that land use referrals are dealt with.

RESPONSIBILITY

The Manager and Team Leader, Development Services (staff), are responsible for assigning cannabis retail and production referrals to Development Services Staff.

PROCEDURE

Cannabis Retail Referrals:

1. Once the CSRD receives a Cannabis Retail Referral from the LCRB, staff will conduct a preliminary review of the referral with the Electoral Director of the area in which the proposal is located to determine which type of public consultation is required (public survey or public meeting).
2. The applicant will be contacted by staff and instructed to submit a Cannabis Retail Application form to the CSRD.
3. An application must be made to the CSRD on a form as prescribed by the Manager of Development Services and shall include:
 - a. Name, address, and signature of owner(s) or agent acting on the owner's behalf;
 - b. Applicable fee, as set out in *CSRD Development Services Application Fees Bylaw No. 4000*, as amended from time to time;
 - c. Current Certificate of Title dated within thirty (30) days of the date of application for all affected properties;
 - d. The legal description and street address of the property(s);
 - e. Plans and details of the proposal, including a site plan, floor plan, signage details, number of parking stalls, and hours of operation;
 - f. A community impact statement that outlines the retail cannabis store's potential positive impacts on the community, potential negative impacts on the community, and measures taken to address the store's potential negative impacts;
 - g. A map showing day cares, health care facilities, etc. (complete list from 1.c. in Policy A-71) within 500 m of the subject property;
 - h. A copy of the completed LCRB application form and any supporting documents submitted with the form; and,
 - i. Any other information requested by the Manager of Development Services or his or her designate.
4. Application process:
 - a. Upon receipt of a completed retail cannabis sales application, staff will open a file and issue a fee receipt to the applicant;
 - b. Staff will conduct an evaluation of the proposal for compliance with relevant CSRD bylaws;
 - c. If it is determined during staff's review of the application that the proposal does not conform to relevant CSRD bylaws, the applicant will be notified in writing. Staff will discuss with the applicant if the non-conformity(s) can be considered through the application, review, and approval of a land use amendment, issuance of a temporary use permit, development variance, or development permit. In situations where the proposal does not conform with Policy A-71, staff will advise the applicant to make a written request to the Board to consider modifying the criteria of the Policy to support the proposal. The request will need to provide the rationale for why a variance of the Policy is justified;

- d. A referral information package will be compiled by staff for review by the local Electoral Area Director, CSRD Operations Department, local RCMP, adjacent property owners and tenants (of all parcels within 100m of the proposed retail facility). The referral package will include a copy of the application as outlined in Section 3 of this Procedure, and other relevant information obtained in the application. The referral response period will be thirty (30) days;
 - e. The CSRD will gather the views of residents that may be impacted by the proposal as follows:
 - i. Public Survey (primary method of gathering feedback): A survey will be made available for any individual who believes their interests will be affected by the proposed cannabis retail store. The survey will be accessible for thirty (30) days.
 - ii. Public Survey and Public Meeting (only to be conducted if staff are directed to do so by the Electoral Director of the area in which the proposal is located): Staff will arrange a meeting to present information about the proposed cannabis retail store and to gather community feedback. Community feedback at the public meeting will be in the form of verbal presentations or submission of written comments. The applicant will be invited to the meeting and expected to attend to present relevant information and to answer questions.
 - f. Following the referral and public consultation period, staff will prepare a report to be considered by the Board. The report will include:
 - i. a description of the proposal and how it corresponds with relevant CSRD bylaws and policies;
 - ii. a copy of all input received on the application;
 - iii. a summary of key issues and concerns with a brief analysis of each; and,
 - iv. information about how the applicant has chosen to address (or not) the concerns.
 - g. Preference will be provided for proposals that:
 - i. conform with relevant CSRD bylaws and policies; including Official Community Plan zoning; Cannabis Related Businesses Policy A-71; and,
 - ii. demonstrate that community concerns have been adequately addressed.
5. Public Notification Requirements:
- a. Staff will make all arrangements for public notification;
 - b. Notice of the public survey will be advertised at least once in the print edition of a local newspaper not less than three (3) and not more than ten (10) days before the survey is posted;
 - c. Notice of public meeting will be advertised at least once in the print edition of a local newspaper not less than three (3) and not more than ten (10) days before the public meeting; and,
 - d. Notice of both the public survey and public meeting will be made available on the CSRD's website and social media platforms.
6. The Board may decide to support the application, not support the application, or request that the applicant provide additional information prior to determining its support or not support.

7. Once the Board minutes have been prepared, the applicant and the appropriate approval authority will be notified in writing of the outcome.

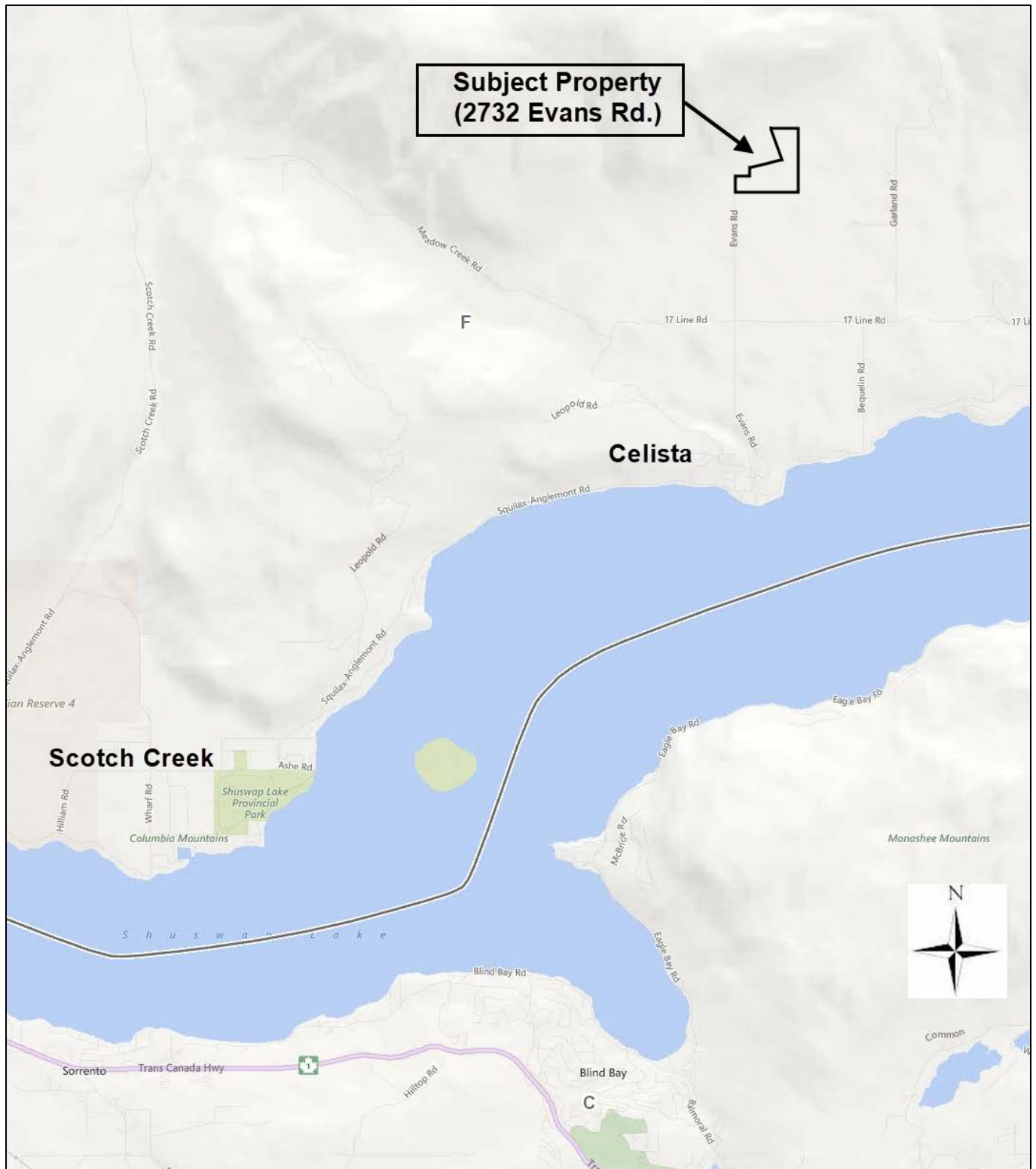
Cannabis Production Referrals:

1. The referral process starts once the CSRD receives a formal letter of notification from an applicant who has applied to Health Canada to become a licensed producer of cannabis.
2. Staff will conduct a preliminary review of notification letter to ensure that the description of the proposed facility includes the following information:
 - a. Name, address, and signature of owner(s) or agent acting on the owner's behalf;
 - b. Current Certificate of Title dated within thirty (30) days of the date of the notification for all affected properties;
 - c. The legal description and street address of the property(s);
 - d. Plans and details of the proposal, including a site plan, building setbacks from parcel boundaries, floor plan, signage details, number of parking stalls, and hours of operation;
 - e. A community impact statement that outlines the cannabis production facility's positive impacts on the community, potential negative impacts on the community, and measures taken to address the facility's potential negative impacts;
 - f. A map showing day cares, health care facilities, etc. (list from 1.c. in Policy A-71) within 500 m of the subject property;
 - g. Any other information requested by the Manager of Development Services or his or her designate.
3. If it is determined that the proposal does not conform to relevant CSRD bylaws, staff will discuss with the applicant if the non-conformity(s) can be considered through the approval of a land use amendment, issuance of a temporary use permit, development variance, or development permit. In situations where the proposal does not conform with Policy A-71, staff will advise the applicant to make a written request to the Board to consider modifying the criteria of the Policy to support the proposal. The request will need to provide the rational for why a variance of the Policy is justified.
4. Development Services staff will evaluate the information received for compliance with relevant CSRD bylaws and policies; including Official Community Plan; Zoning; and Cannabis Related Businesses Policy A-71;
5. A referral information package will be compiled by staff for review by the local Electoral Area Director, CSRD Operations Department, local RCMP, Agricultural Land Commission (if applicable) and any other relevant stakeholders. The referral package will include a site plan, description of the proposed cannabis production facility, and other relevant information obtained from the applicant. The referral response period will be thirty (30) days.

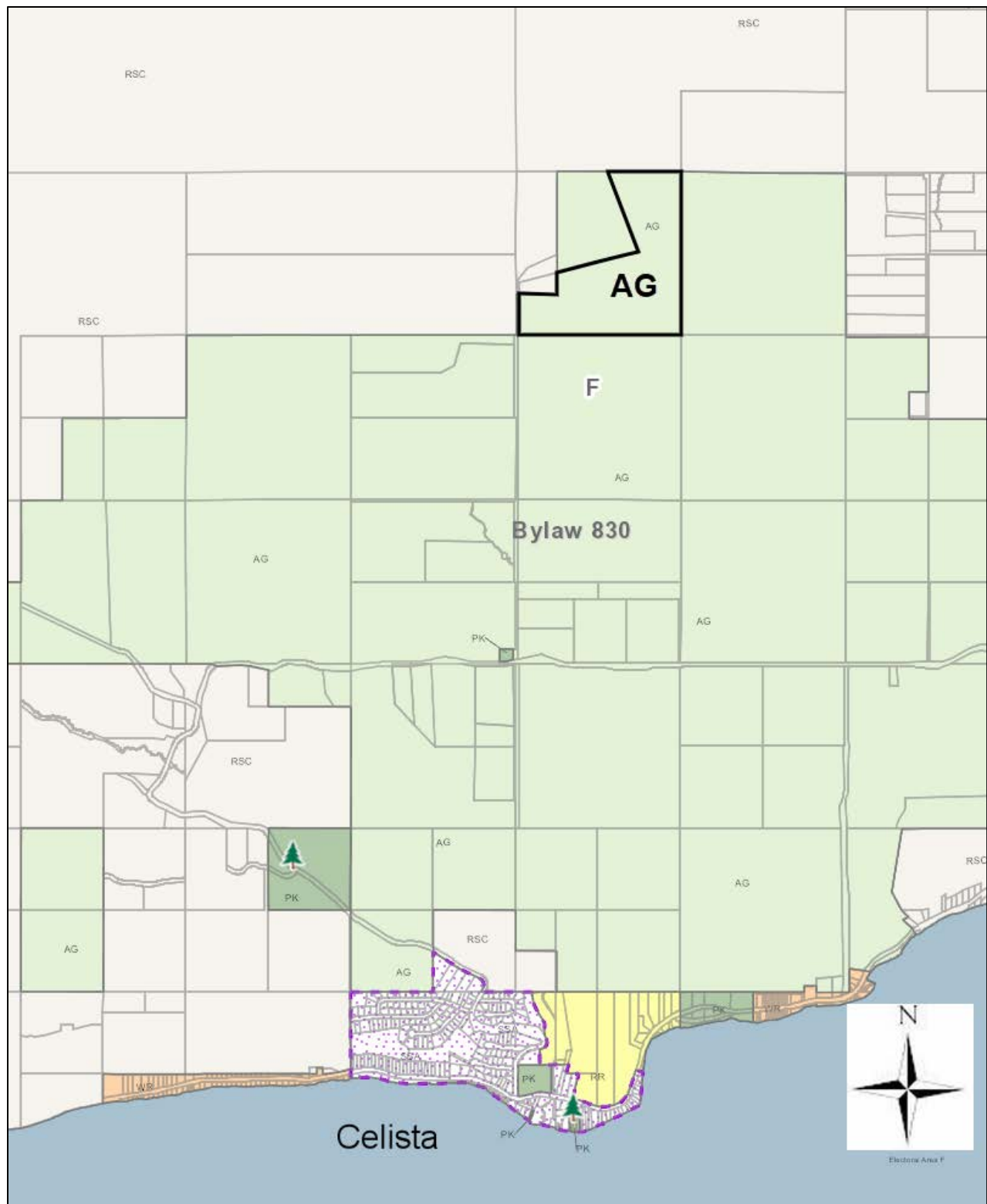
6. Following the referral period, staff will provide a written response to the applicant, Health Canada and any other agencies or individuals included in the referral process. The letter will convey how the proposal corresponds with relevant CSRD bylaws and policies and provide a summary of all input received on the application.

December 2018

Location

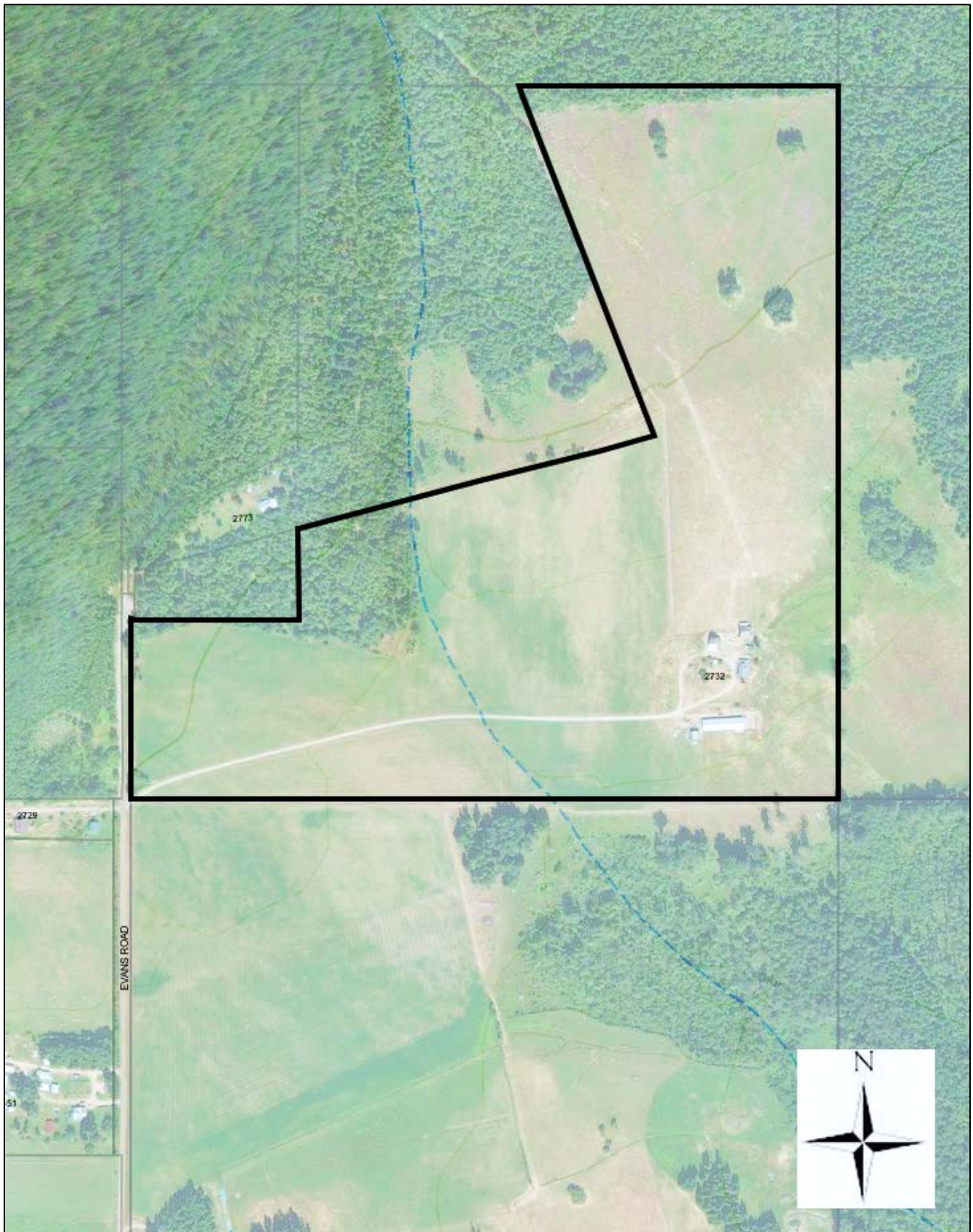


Electoral F Official Community Plan (Bylaw 830) Land Use Designation



AG = Agriculture

Orthophoto



Site Plan of Proposed Cannabis Production Facility



Oblique Photograph (Southwest Direction)



Photograph of Subject Property (East Direction)



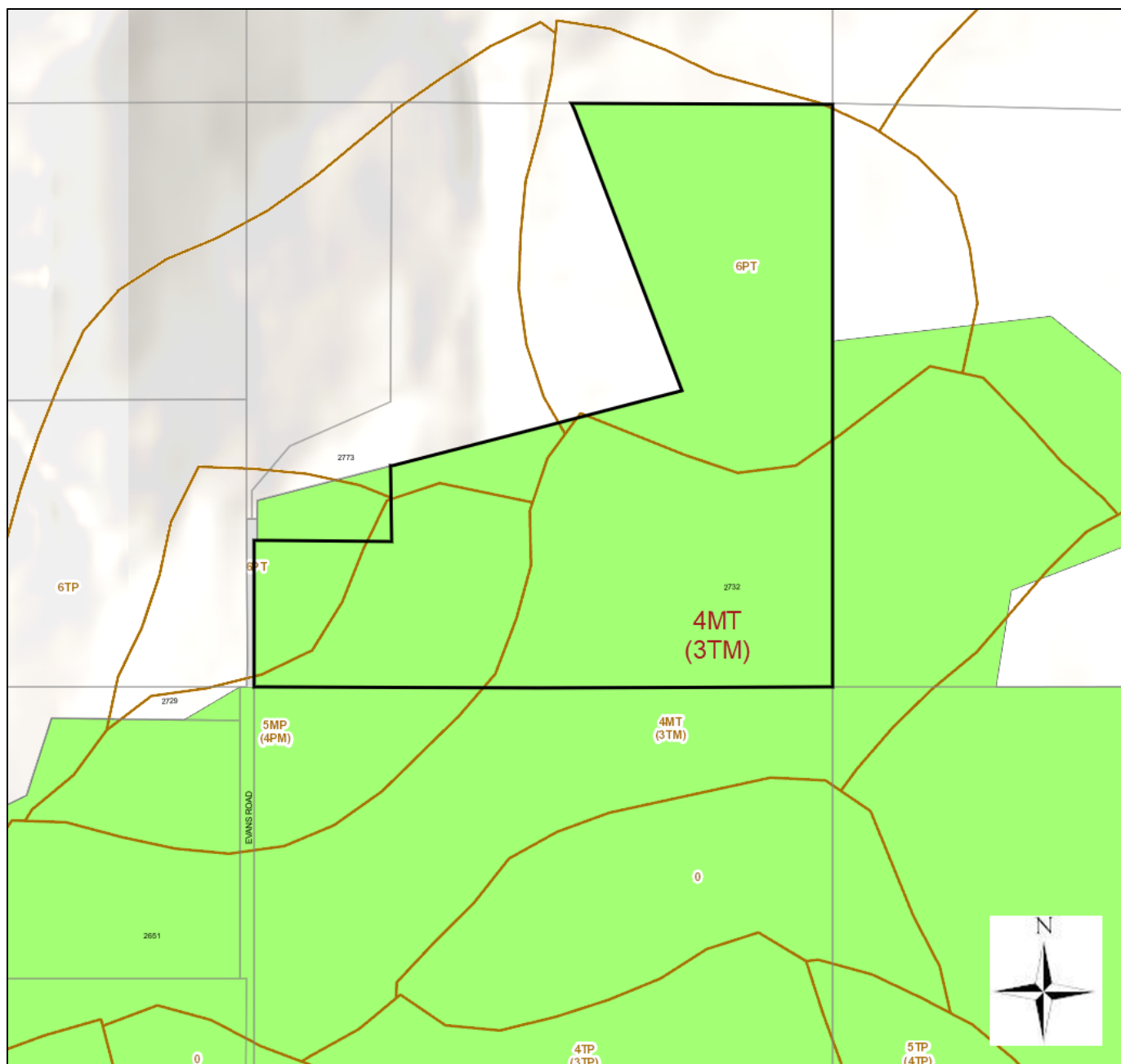
Photograph of existing 6000 sq. ft. storage building



Photograph of existing 1500 sq. ft. cover-all building



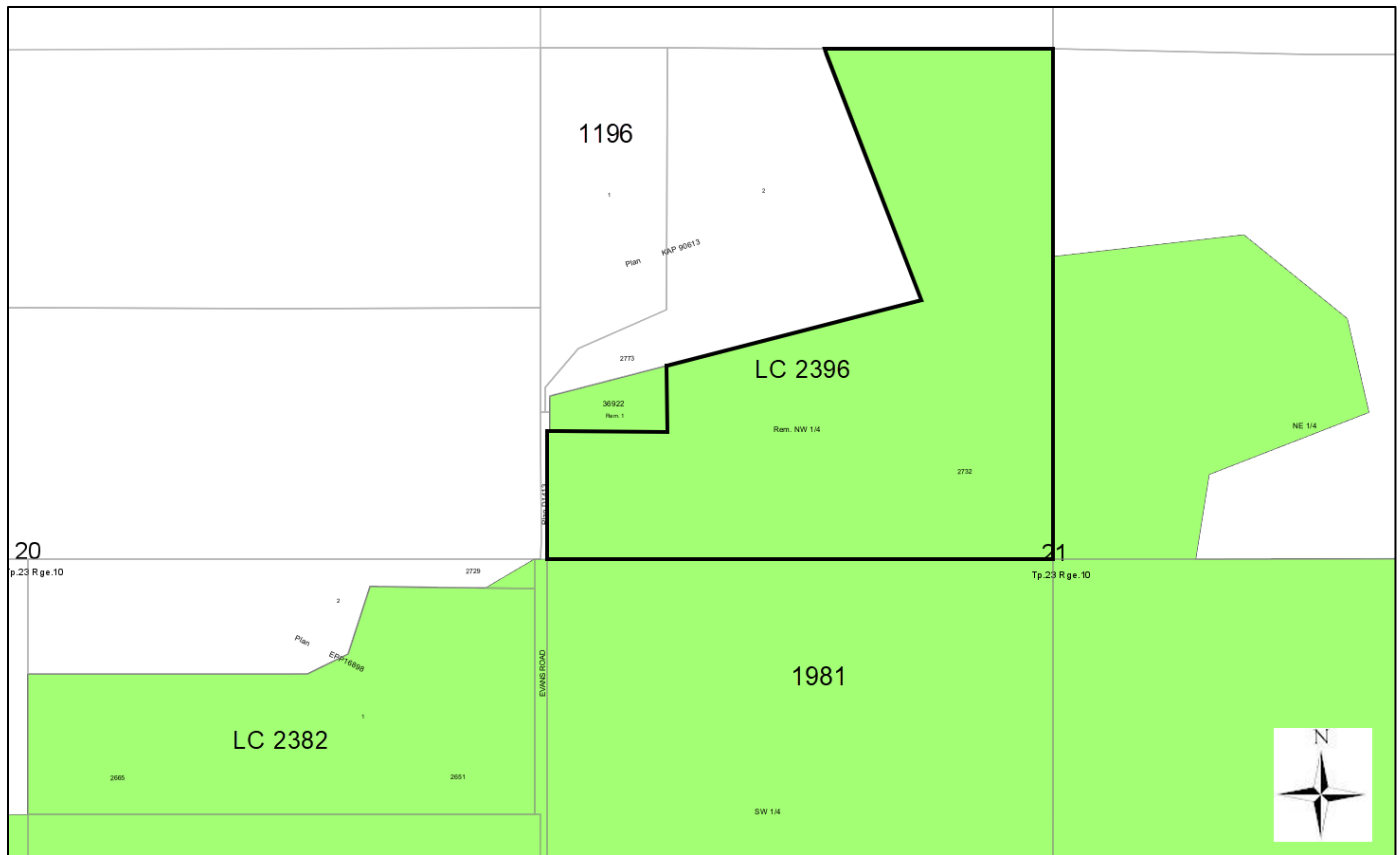
ALR/Agricultural Capability



BC Assessment Farm Status/Designation (shown in brown)



ALR Application History for Adjacent Properties



- 1196 (1976) – ALC approved a subdivision that created a 12.14 ha parcel
- 1981 (1986) – ALC approved a proposed 0.4 ha homesite severance subdivision
- LC 2382 (2009) – ALC approved a 4.5 ha inclusion of land to the ALR
- LC 2396 – (2010) Two-lot subdivision occurred along the ALR boundary



BOARD REPORT

TO:

Chair and Directors

File No:

 DP725-176
 PL20190028
 DVP701-88
 PL20190029

SUBJECT:

 Electoral Area C: Development Variance Permit No. 701-88 and
 Development Permit No. 725-176 (Finz Resort Inc.)

DESCRIPTION:

 Report from Erica Hartling, Planner I, dated April 4, 2019.
 2001 Eagle Bay Road, Blind Bay.

**RECOMMENDATION
#1:**

 THAT: in accordance with Section 498 of the Local Government Act
 Development Variance Permit No. 701-88 for Lot 1, Sections 17 and 20,
 Township 22, Range 10, West of the 6th Meridian, Kamloops Division
 Yale District, Plan EPP51931, varying South Shuswap Zoning Bylaw No.
 701 as follows:

1. Section 23.2.5: Minimum front parcel line setback from 5 m to
4.5 m for the existing retail store only;
2. Section 22.2.5: Minimum front parcel line setback from 5.0 m to
4.75 m for an existing utility shed constructed as a component
of the sewage treatment system;

 be issued this 18th day of April, 2019.

**RECOMMENDATION
#2:**

 THAT: in accordance with Section 490 of the Local Government Act
 Development Permit No. 725-176 for proposed construction of tourist
 accommodation cabin structures on Lot 1, Sections 17 and 20, Township
 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District,
 Plan EPP51931, be issued this 18th day of April, 2019.

SHORT SUMMARY:

The subject property is located at 2001 Eagle Bay Rd in Blind Bay of Electoral Area C and is subject to Electoral Area C Official Community Plan Bylaw No. 725 and the regulations of South Shuswap Zoning Bylaw No. 701. The applicant is proposing to build 9 new tourist accommodation cabins with 2 tourist accommodation units per cabin on the portion of the subject property east of Eagle Bay Road. This portion of the property is designated commercial in the Official Community Plan (OCP) and, therefore, requires a form and character Development Permit.

The applicant has also applied for a Development Variance Permit to reduce the front parcel line setback for an existing retail store on the portion of the property west of Eagle Bay Road from 5.0 m to 4.5 m and for an existing utility shed constructed as well as part of the sewage treatment system on the portion of the property east of Eagle Bay Road from 5.0 m to 4.75 m.

VOTING:

 Unweighted
Corporate

☐

 LGA Part 14
(Unweighted)

☒

 Weighted
Corporate

☐

 Stakeholder
(Weighted)

☐

BACKGROUND:

REGISTERED OWNER:
Finz Resort Inc.

APPLICANT:
Franklin Engineering Ltd. c/o Mr. Mike Casol

ELECTORAL AREA:
C

LEGAL DESCRIPTION:
Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931

PID:
029-708-955

CIVIC ADDRESS:
2000 and 2001 Eagle Bay Road

SURROUNDING LAND USE PATTERN:
North: Residential
South: Residential
East: Large Holdings, Crown Land
West: Waterfront Commercial Blind Bay

CURRENT USE:
Campground/Marina/Restaurant/Pub

PROPOSED USE:
Campground/Marina/Restaurant/Pub and 9 two unit tourist accommodation cabins

PARCEL SIZE:
0.404 ha (1.0 ac)

DESIGNATION:
Electoral Area C Official Community Plan Bylaw No. 725
WC – Waterfront Commercial – Secondary Settlement Area

ZONE:
South Shuswap Zoning Bylaw No. 701
West of Eagle Bay Road : C6 – Waterfront Commercial
East of Eagle Bay Road: C5 – Tourist Commercial and LH – Large Holdings

POLICY:**Electoral Area C Official Community Plan Bylaw No. 725 (OCP)**

See attached "BL725_BL701_Excerpts_DVP701-88_DP725-176.pdf".

- 3.8 Commercial
- 12.5 Village Centre and Secondary Settlement Area Form and Character Development Permit Area

The subject property is designated C6 – Waterfront Commercial in the OCP and is within a Secondary Settlement Area.

South Shuswap Zoning Bylaw No. 701 (Bylaw No. 701)

See attached "BL725_BL701_Excerpts_DVP701-88_DP725-176.pdf".

- Section 22: C5 – Tourist Commercial
- Section 23: C6 – Waterfront Commercial

The portion of the subject property east of Eagle Bay Road where the tourist accommodation cabins are proposed is zoned C5 – Tourist Commercial in Bylaw No. 701. The portion of the subject property west of Eagle Bay Road where the existing retail store is located is zoned C6 – Waterfront Commercial.

FINANCIAL:

There are no financial implications to the CSRD with regard to this application.

KEY ISSUES/CONCEPTS:

See attached "Maps_Plans_Photos_DVP701-88_DP725-176.pdf"

Site Development Proposal

The owner is proposing to build 9 new tourist accommodation cabins on the portion of the subject property east of Eagle Bay Road. The cabins are proposed on a portion of the property that is currently used for a campground. Each cabin will contain 2 tourist accommodation units, for a total of 18 new tourist accommodation units. The existing retail store west of Eagle Bay Road was constructed on the site in 2011 or 2012 and does not comply with the front parcel line setback. A new sewerage system for the overall resort was more recently constructed, with a utility shed and a part of the treatment system which does not comply with the required front parcel line setback.

Servicing

The owner has constructed a new sewerage treatment system on the subject property with approval from the Interior Health Authority; Development Permit No. 725-62 was also issued by the CSRD for a Lakes 100 m Development Permit for this system. The Engineer responsible for designing the sewerage system has advised that it is of sufficient capacity to service the proposed 18 new tourist accommodation units, in addition to a total of 49 camping spaces, the restaurant/pub, and retail store on the subject property. See attached "Sewerage_Report_2019-03-05_DVP701-88_DP725-176.pdf".

The issued Development Permit No. 725-62, with details regarding the sewerage system has also been included with the Board report. See attached "DP725-62_Issued-Development-Permit_Finz.pdf", for details regarding the sewerage system.

The property is serviced by surface water drawn from Shuswap Lake.

Access

Access to the commercial development is from Eagle Bay Road. Staff have received a referral response from the Ministry of Transportation and Infrastructure (MoT) indicating that the owner will need to apply for a revised Access Permit should the land use or layout be different from that recognized in the existing issued permit.

Hazardous Lands Development Permit (Steep Slopes)

A Hazardous Lands Development Permit (Steep Slopes) is required prior to development as slopes on a portion of the subject property exceed 30%. Staff are processing this Development Permit application (DP725-172) concurrently with the Development Variance Permit and Form & Character Development Permit applications. Staff are in receipt of a Steep Slope Geotechnical Assessment dated November 14, 2018 prepared by Onsite Engineering Ltd. Technical Development Permits such as this are approved by the Manager of Development Services.

Development Variance Permit

This application proposes to vary the C6 zone minimum front parcel line setback required from 5.0 m to 4.5 m for the existing retail store which was constructed on the portion of the subject property west of Eagle Bay Road, prior to the adoption of the OCP. The applicant no longer needs to apply for an encroachment from MoT, as the store is at the required 4.5 m setback from a Provincial Highway (Eagle Bay Road).

Finally, a utility shed, as well as part of the treatment system, have been situated 4.75 m from the front parcel boundary requiring a setback relaxation for this structure.

Form and Character Development Permit Guidelines

The proposal is to construct 9 new tourist accommodation cabins on the portion of the property east of Eagle Bay Road, which will replace an area currently used for a campground. The new buildings will each house 2 tourist accommodation units, for a total of 18 new tourist accommodation units. The proposed buildings are proposed to be finished in hardie-plank siding with fir trim finishing around window and door features. The roofs are proposed to be fibreglass/asphalt shingles. Finish colours are proposed to be earth tones. The exterior finish and design of the cabins meets the applicable guidelines of the OCP for form and character of development.

The applicant has shown vegetation, in the form of either trees or bushes surrounding the tourist accommodation cabins. The applicant will construct a 1.83 m high black chain link fence with privacy slats along the side parcel lines east of Eagle Bay Road from Eagle Bay Road to the east of the cabins, to provide a buffer between the existing campground and the proposed new cabins from neighbouring properties to the north and south which are currently designated and used for residential purposes. The fence buffer will be constructed after the utilities are installed for the new cabins and prior to the cabins being used for tourist accommodation.

SUMMARY:

Development Services staff are recommending that Development Variance Permit No. 701-88 be issued because:

- The setback variances are minor (0.5 m and 0.25 m); and,
- There will be no negative impacts to neighbouring properties as the specific buildings subject to the variances are adjacent to Eagle Bay Road and located away from neighbouring properties.

Development Services staff are also recommending that Development Permit No. DP 725-176 be approved for issuance, because:

- The proposed new development (tourist accommodation cabins) site complies with the Secondary Settlement Area Form and Character Development Permit guidelines, including:
 - the building design elements of the cabins;
 - earth tone siding colour of the cabins that will blend in with the natural surroundings of the hillside;
 - the new landscaping around the cabins; and,
 - the new fence buffer along the north and south side parcel lines;
- The location of the proposed new tourist accommodation cabins are above the level of development on adjacent properties, thus would not cause a visual obstruction to the adjacent properties.

IMPLEMENTATION:

If the Board approves the requested Development Variance Permit No. 701-88 and Development Permit No. 725-176, the owner will be notified and notice of a Development Variance Permit and Development Permit will be registered on the title of the property. Staff will also advise MoT of the issuance of the Permits.

COMMUNICATIONS:

Property owners and tenants in occupation within 100 m of the subject property will be given notification a minimum of 10 days prior to the CSRD Board of Directors considering this application. All interested parties will have the opportunity to provide written comments regarding this application prior to the Board Meeting.

Referrals have been sent to the following:

- Electoral Area C Advisory Planning Commission (APC)
- Ministry of Transportation and Infrastructure (MoT)

The APC reviewed the applications at their January 28, 2019 meeting and passed resolutions in support of both applications. MoT has advised that the owner would need to apply for a permit to relax the Provincial setback requirement of 4.5 m for any buildings or structures within this setback, and that a revised access permit may also be required. The applicant revised the application to address this issue, and so a permit from MoT for encroachment will no longer be required.

DESIRED OUTCOMES:

That the Board endorse the staff recommendations.

BOARD'S OPTIONS:

1. *Endorse the Recommendation(s).*
2. *Deny the Recommendation(s).*

3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area C Official Community Plan Bylaw No. 725
2. South Shuswap Zoning Bylaw No. 701
3. APC C Minutes January 28, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_DVP701-88_DP725-176_Finz-Resort-Inc.docx
Attachments:	<ul style="list-style-type: none"> - DVP701-88.pdf - DP725-176.pdf - BL725_BL701_Excerpts_DVP701-88_DP725-176.pdf - DP725-62_Issued-Development-Permit_Finz.pdf - Sewerage_Report_2019-03-05_DP725-176_DVP701-88.pdf - MoT_Referral-Response_DVP701-88_DP725-176.pdf - Maps_Plans_Photos_DVP701-88_DP725-176.pdf
Final Approval Date:	Apr 8, 2019

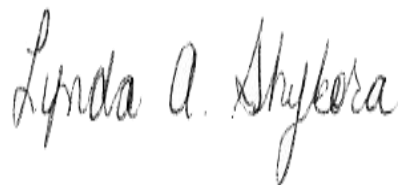
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 5, 2019 - 9:05 AM



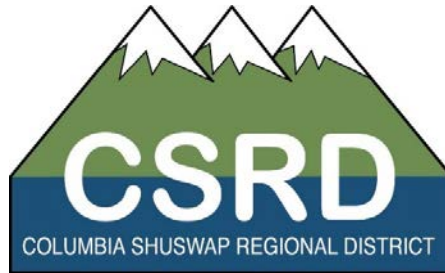
Gerald Christie - Apr 5, 2019 - 11:03 AM



Lynda Shykora - Apr 8, 2019 - 12:10 PM



Charles Hamilton - Apr 8, 2019 - 1:43 PM



DEVELOPMENT VARIANCE PERMIT NO. 701-88

1. OWNER: Finz Resort Inc., Inc.No. BC0961249
21 2550 Golf Course Drive
Blind Bay, BC
VOE 1H1

2. This permit applies only to the land described below:

Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931 (PID: 029-708-955), which property is more particularly shown outlined in bold and hatched on the Location Map attached hereto as Schedule A.

3. The South Shuswap Zoning Bylaw No. 701, C6 – Waterfront Commercial zone is hereby varied as follows:

 Section 23.2.5 Minimum front parcel line setback from 5 m to 4.5 m;

 for an existing retail store situated on the portion of the property west of Eagle Bay Road as more particularly shown on the site plan attached hereto as Schedule B and labelled "retail store".

4. The South Shuswap Zoning Bylaw No. 701, C5 – Tourist Commercial zone is hereby varied as follows:

 Section 22.2.5 Minimum front parcel line setback from 5.0 m to 4.75 m;

 for an existing utility shed constructed as a component of the sewage treatment system as more particularly shown on the site plan attached hereto as Schedule C and labelled "utility shed".

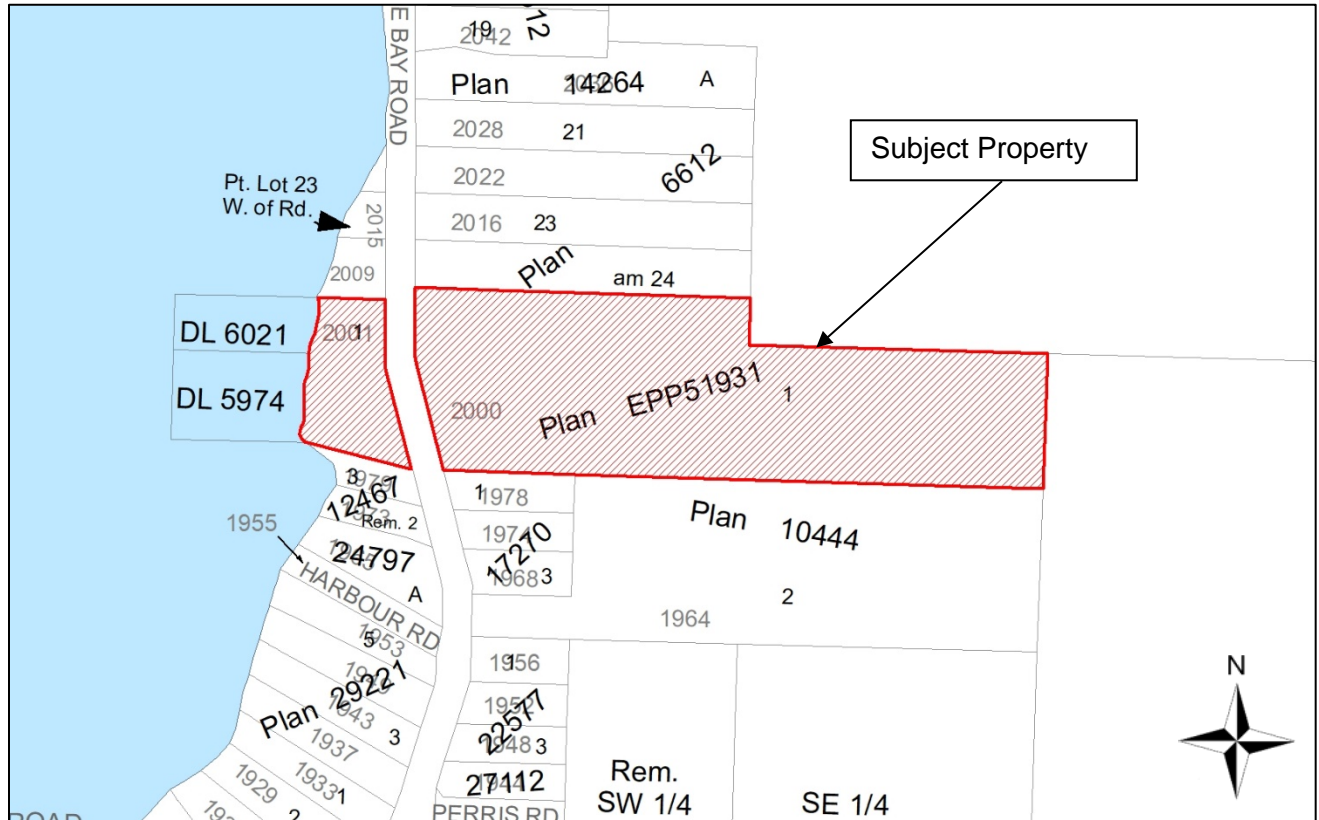
5. This permit is NOT a building permit.

AUTHORIZED AND ISSUED BY RESOLUTION of the Columbia Shuswap Regional District Board
on the _____ day of _____, 2019.

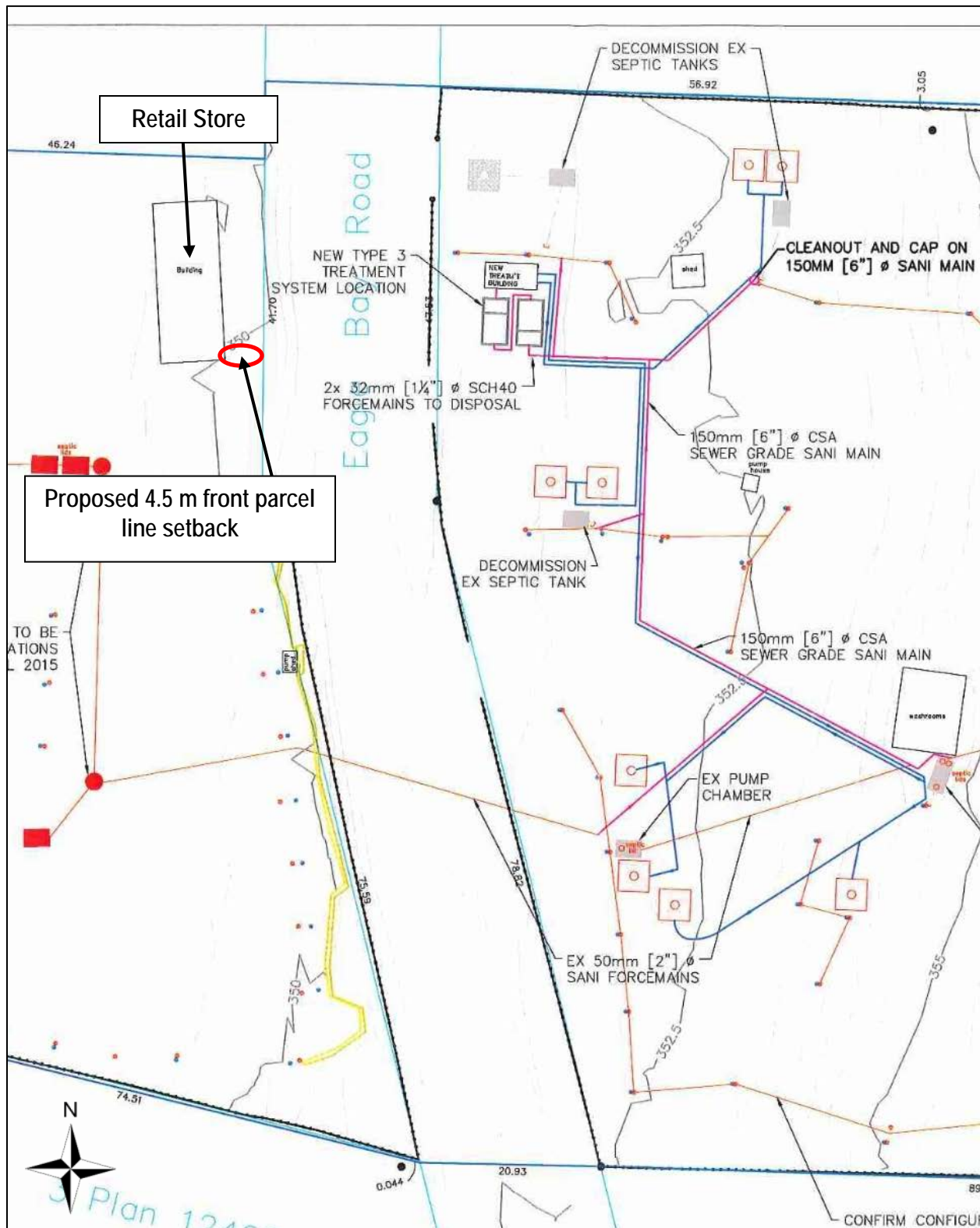
CORPORATE OFFICER

NOTE: Subject to Section 504 of the Local Government Act, if the development of the subject property is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

Schedule A Location Map

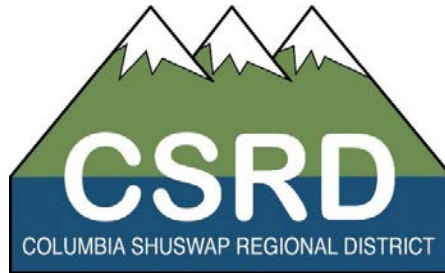


Schedule B Site Plan



The site plan illustrates the layout of a wastewater treatment system. Key features include:

- Proposed Infrastructure:**
 - NEW TYPE 3 TREATMENT SYSTEM LOCATION:** Indicated by a red oval and an arrow pointing to a specific area.
 - NEW BREAKER BUILDING:** A new structure located near the treatment system.
 - Utility Shed:** A new structure located near the breaker building.
 - 2x 32mm [1 1/4"] Ø SCH40 FORCEMAINS TO DISPOSAL:** Two new force mains lines.
 - 150mm [6"] Ø CSA SEWER GRADE SANI MAIN:** A new sewer main line.
 - EX PUMP CHAMBER:** An existing pump chamber.
 - EX 50mm [2"] Ø SANI FORCEMAINS:** Existing force mains lines.
- Existing Infrastructure:**
 - DECOMMISSION EX SEPTIC TANKS:** Two existing septic tanks to be decommissioned.
 - CLEANOUT AND CAP ON 150MM [6"] Ø SANI MAIN:** A cleanout and cap on an existing sewer main.
 - EXISTING BUILDINGS:** A large building, a shed, and a bedroom.
- Other Features:**
 - Proposed 4.75 m front parcel line setback:** A setback line indicated by a red line.
 - TO BE ABOLISHED 2015:** A note indicating that certain features are to be removed by 2015.
 - Plan 12400:** The plan number.
 - CONFIRM CONFIGURATION:** A note indicating that the configuration is confirmed.



DEVELOPMENT PERMIT NO. 725-176

1. OWNER: Finz Resort Inc., Inc.No. BC0961249
21 2550 Golf Course Drive
Blind Bay, BC
V0E 1H1
2. This Secondary Settlement Area Form and Character Development Permit is issued subject to compliance with all the Bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
3. This permit applies only to the land described below:

Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931 (PID: 029-708-955), which property is more particularly shown outlined in bold and hatched on the Location Maps attached hereto as Schedule A.
4. This Permit is issued pursuant to Section 12.5 of the "Electoral Area C Official Community Plan Bylaw No. 725, as amended" for the addition of 9 tourist accommodation cabins, each comprising 2 tourist accommodation units, as more particularly shown on the Site Plans attached hereto as Schedule B (Site Plans).
5. An amendment to the Permit will be required if development is not in substantial compliance with this Permit.
6. This Permit is issued based on the plans attached hereto as Schedule B (Site Plans), Schedule C (Building Floor Plans), Schedule D (Building Elevation Plan), Schedule E (Perspective Plan), and Schedule F (Landscape Plan) which satisfies the requirements of the Secondary Settlement Area Form and Character Development Permit as set out in Electoral Area C Official Community Plan Bylaw No. 725, as amended.
7. It is understood and agreed that the Regional District has made no representation, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developers other than those in the permit.

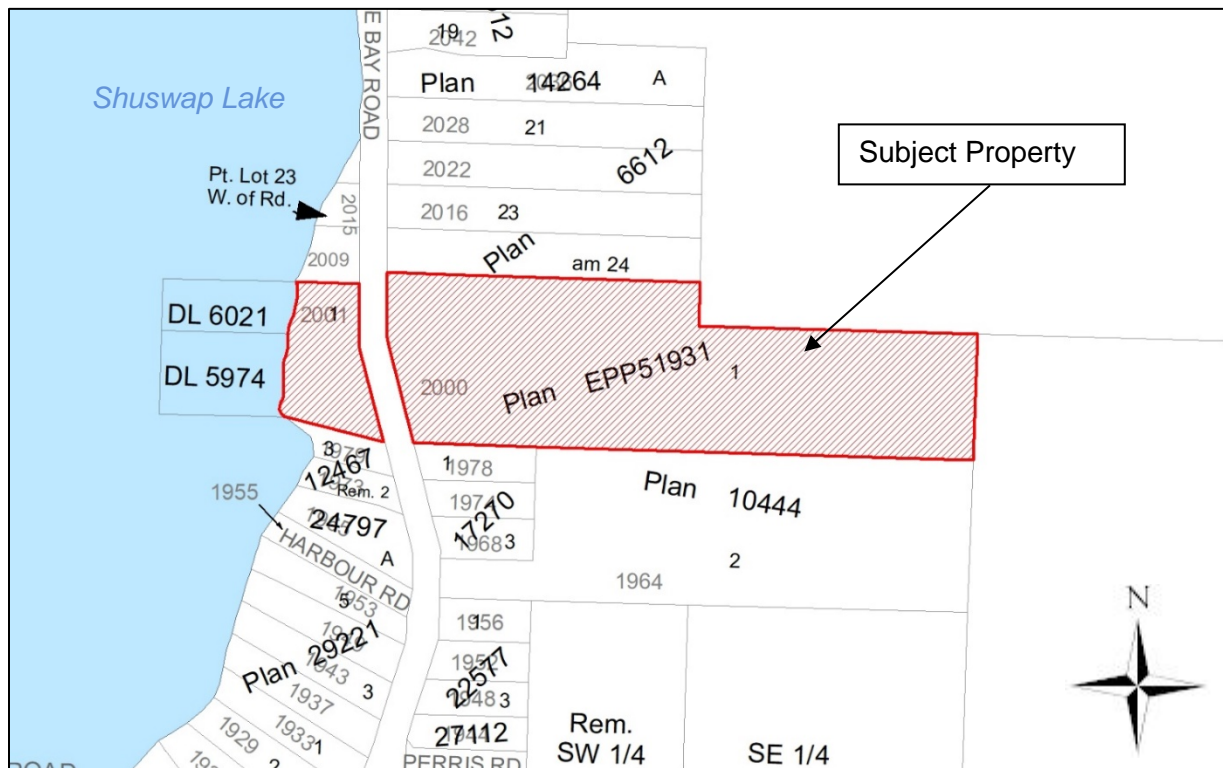
8. This Permit shall inure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.
9. This permit is NOT a building permit.

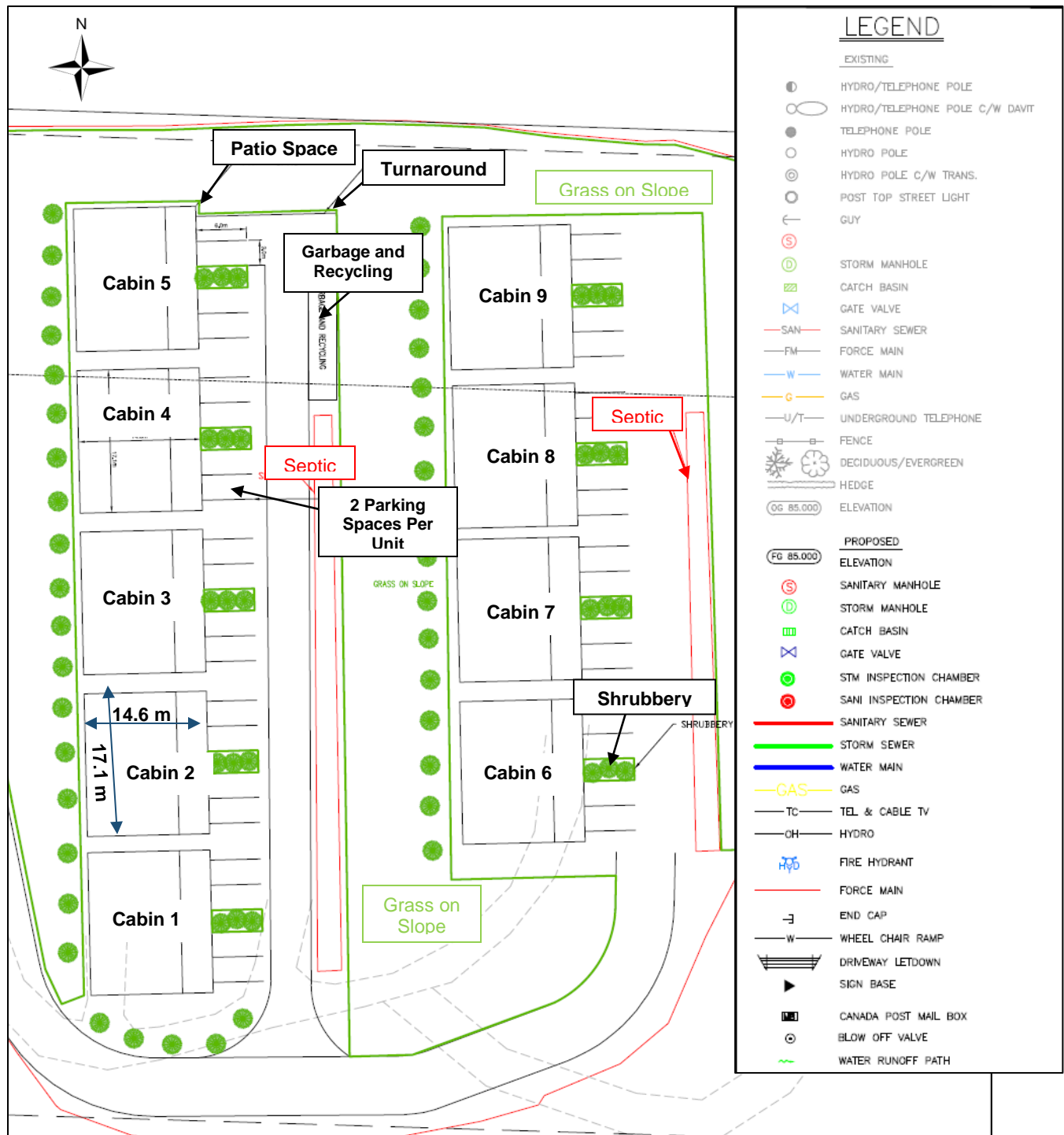
AUTHORIZED AND ISSUED BY RESOLUTION of the Columbia Shuswap Regional District Board on the _____ day of _____, 2019.

CORPORATE OFFICER

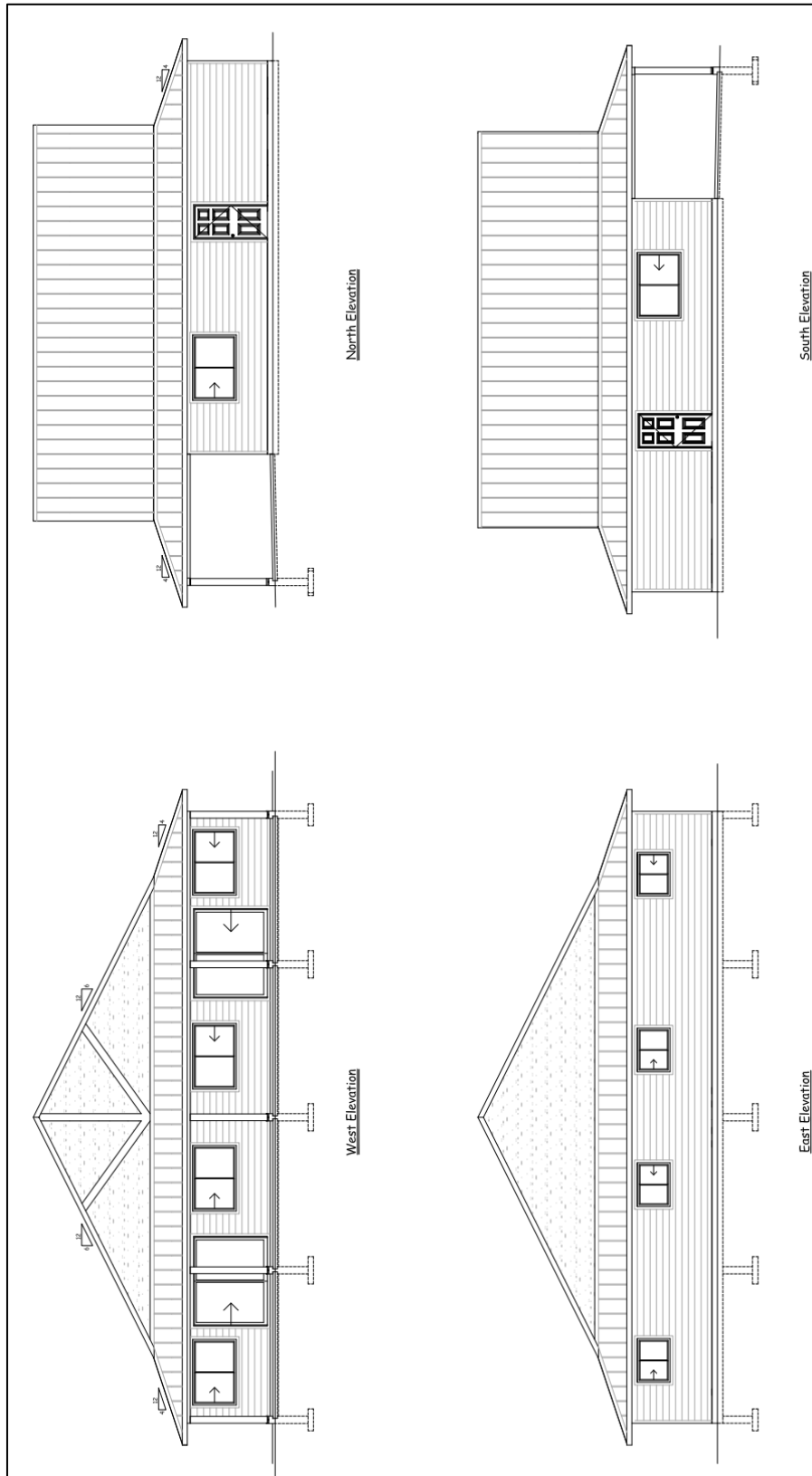
NOTE: Subject to Section 504 of the *Local Government Act*, if the development of the subject property is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

The map displays the shoreline of Shuswap Lake and Blind Bay. The area is divided into several sections labeled 17, 18, 19, and 20. Section 19 is labeled '19 T9-22 Page 10'. Section 20 is labeled '20 T9-22 Page 10'. Section 18 is labeled '18 T9-22 Page 10'. Section 17 is labeled '17 T9-22 Page 10'. A red hatched area is highlighted on the eastern shore of Blind Bay, with an arrow pointing to it from a box labeled 'Subject Property'. The map also shows various property boundaries, roads, and a compass rose in the bottom right corner.

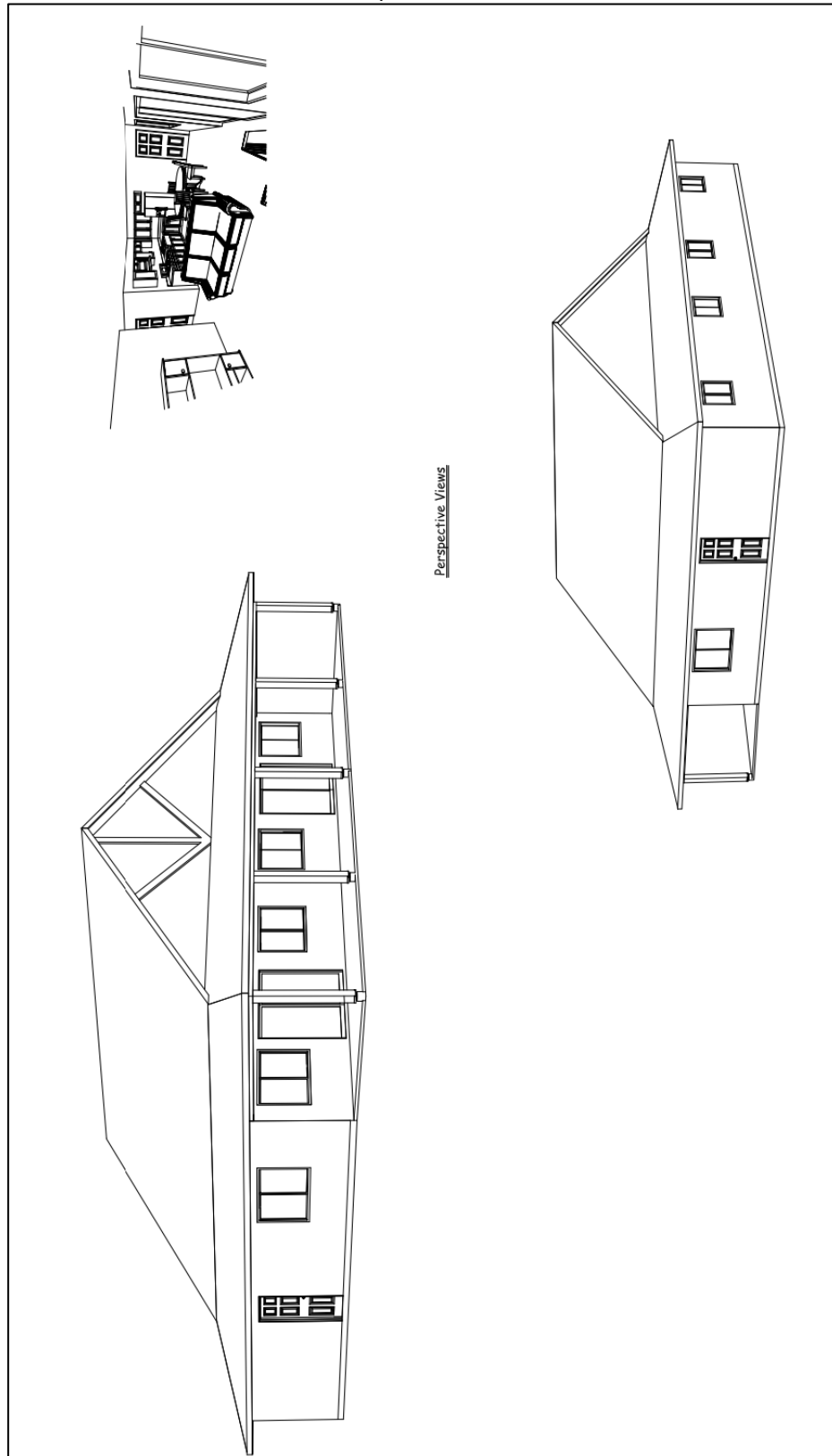




Schedule D Building Elevation Plan



Schedule E
Perspective Plan



[illegible]

Relevant Excerpts from Electoral Area C Official Community Plan Bylaw No. 725 South Shuswap Zoning Bylaw No. 701

(See [Bylaw No. 725](#) and [Bylaw No. 701](#) for all policies and land use regulations)

Bylaw No. 725

3.8 Commercial

3.8.1 Objective

- .1 To recognize existing commercial uses and provide for future commercial opportunities within the Secondary Settlement Areas.

3.8.2 Policies

- .1 Commercial development that is incompatible with the community, or would have unmitigated negative impacts on the environment, is not acceptable anywhere in the South Shuswap.
- .2 Large scale commercial development is not acceptable in the Secondary Settlement Areas or rural areas of the South Shuswap. Such development is directed to the Village Centre.
- .3 The Village Centre (VC) designation encompasses a broad range of commercial uses, including retail, food services, offices, business and personal services, community and health-related services, public and institutional uses, recreation, arts and cultural activities, highway commercial uses, personal, professional and financial services.
- .4 Neighbourhood Commercial (NC) is acceptable in Secondary Settlement Areas, allowing a limited range of retail, and personal, professional and community services that meet the daily needs of local residents. Housing above grade level commercial is also acceptable.
- .5 Existing Commercial (C), Tourist Commercial (TC) and Resort Commercial (RC) land use designations are recognized on Schedules B and C. New Commercial (C), Tourist Commercial (TC) and Resort Commercial (RC) may be considered in the Secondary Settlement Areas through individual redesignation and rezoning applications.
- .6 Existing Waterfront Commercial (WC) developments are recognized on the Schedules B and C. New Waterfront Commercial (WC) developments are not supported.

- .7 Small-scale Highway Commercial (HC) which caters to the travelling public, is acceptable along the Trans-Canada Highway, but not between the Village Centres.
- .8 Multi-unit residential development is encouraged to locate near major commercial developments within the Sorrento Village Centre, in order to help create a more walkable community and to provide a population base to support businesses.
- .9 All new redesignation and rezoning applications for commercial uses which would require additional sewer or water capacity and which are located in proximity to a community sewer system and a community water system must connect to that system.

Additionally, commercially designated properties are identified as requiring a form and character Development Permit. The following are the guidelines for a commercial form and character Development Permit:

12.5 Village Centre and Secondary Settlement Area Form and Character Development Permit Area

.1 Purpose

The Village Centre and Secondary Settlement Area (VCSSA) Form and Character DPA is designated under the *Local Government Act* for the establishment of form and character objectives for commercial, industrial and multi-family development in the Secondary Settlement Areas of the plan.

.2 Justification

The Village Centre and Secondary Settlement Areas will experience the most increased density and commercial development over time. Therefore the primary objective of the VCSSA DPA is to promote a high level of building and site design in the most densely populated areas of Electoral Area 'C', which take into consideration pedestrian movement, public space, mixed use, and designing in harmony with site conditions, neighbourhood character and the existing built environment.

.3 Area

This DPA applies to all commercial, industrial, multi-family residential and intensive residential (defined as a 5 or more single family residential subdivision) development as set out in Schedules B and C:

- .1 Within Sorrento Village Centre;

- .2 Within Secondary Settlement Areas; and,
- .3 On waterfront parcels (defined as those which have any portion of their parcel boundary in common with the natural boundary of a lake).

.4 Exemptions

- .1 A single storey accessory building with a gross floor area less than 10 m² (107.4 ft²); or,
- .2 The complete demolition of a building and clean-up of demolition material. Partial demolition or reconstruction of a building requires a DP under this section.

.5 Guidelines

1. New development in the form of pedestrian-oriented mainstreet building types or infill that creates enclosed nodes/courtyards is strongly encouraged;
2. New development that relies on multiple, short automobile trips to access different retail spaces on the same site (i.e. re-parking the car) are strongly discouraged;
3. New development should be of a form and character that relate to local climate and topography, and that take into consideration the form and character of surrounding buildings. When building on peaks or slopes, natural silhouettes should be maintained;
4. The primary pedestrian entrance to all units and all buildings should be from the street; if from the parking area, a pedestrian sidewalk should be provided. Entries should be visible and prominent;
5. Buildings on corners should have entries, windows and an active street presence on the two public facades to avoid the creation of blank walls in prominent locations. public facades to avoid the creation of blank walls in prominent locations;
6. Natural exterior building and landscaping materials, such as wood, rock or stone, or those that appear natural, are encouraged. Metal roofs are acceptable;
7. Weather protection in the form of awnings or canopies should be provided overall grade level entries to residential and retail units;
8. Design of signage and lighting should be integrated with the building facade and with any canopies or awnings;

9. Non retail commercial and industrial facilities including outside storage, garbage and recycling areas should be screened with fencing or landscaping or both;
10. Visible long blank walls should be avoided;
11. Driveways that intrude into the pedestrian realm are discouraged. Shared parking and access are encouraged;
12. Front parking is only supported in cases where landscaping provides a buffer between the parking and the street. All parking should be screened;
13. Dedicated pedestrian linkages (i.e. sidewalks and marked crosswalks across road) should be provided throughout parking lot(s) to access vehicles without the need to walk on the road, provided throughout parking lot(s) to access vehicles without the need to walk on the road, except marked crosswalks;
14. Provision for services and deliveries should be at the rear yards with appropriate screening to adjacent properties and public space. Where service entries are required at the fronts of buildings, care should be taken not to compromise the pedestrian environment;
15. Residential dwelling units in mixed use buildings may be located either above or behind a commercial unit, and may be accessed from the front, rear or side(s) of the building. This form of residential development is intended to contribute to variety in housing size and affordability;
16. Development of civic public spaces with gathering spots, benches, lighting, ornaments (sculptures, fountains, etc.) and landscaping are encouraged where none exist within a short walking distance; and
17. Development of the Townhouse housing form or Seniors Housing facilities are encouraged to incorporate the following design features:
 - i. All development in the Village Centre and Secondary Settlement Development Permit Area shall be of a quality and design that is sensitive to the existing form and character of nearby houses and neighbourhood. Such development should incorporate similar building orientation, massing and height as neighbouring development, as much as possible. Where Seniors Housing Facilities are contemplated, the building should incorporate either greater setbacks from neighbouring properties with lesser height, or similar heights at any transition boundaries.
 - ii. All buildings and structures shall be designed with features, colour and finish which complement the natural setting and character of the designated area.

- iii. Building façades must incorporate surface depth and relief in the design to create a visually interesting structure.
- iv. All garbage and recycling bins are to be provided on site and fully screened (ie. consisting of fencing or landscaping) with secure enclosures.
- v. All buildings should be sited and designed with consideration for shading on adjacent properties, buildings and roadways. A shadow analysis will be required at the Development Permit stage for proposals for Seniors Housing buildings.
- vi. The impact of new development on existing view corridors should be minimized and long views to natural landscape and significant buildings or focal points should be maintained.
- vii. The building facade shall use architectural solutions to create varied and articulated building facades. Window placement and groupings, material palette and surface relief through massing or elements, among other techniques, may be explored to avoid a monolithic form.
- viii. Entrances should be emphasized with architectural forms such as height, massing, projection, shadow, punctuation and/or change in roofline or materials. Canopies, awnings, or recesses all help to define and distinguish an entrance.
- ix. Building materials should be chosen for their durability as well as their functional and aesthetic quality, while meeting Fire Smart principles. Vinyl siding, plastic, darkly tinted or mirrored glass and textured stucco are discouraged unless used thoughtfully in combination with other materials. Materials should be compatible with adjacent buildings, either as primary or accent materials.
- x. Materials used for the front facade should be carried around the building where any facades are within view of a public street.
- xi. Wherever possible, surface parking should be located internal to the development site and should include lighting, signage and minimal driveways.
- xii. Within surface parking lots, landscaping, trees and decorative paving should be used to break up the expansive hard surfaces.
- xiii. A detailed landscape plan must be provided with each Development Permit application. The plan shall indicate any existing landscaping that is proposed to remain within the development and all new landscaping to be installed on site. The objective shall be to retain existing trees within the development, where possible.
- xiv. All parking areas shall be hard surfaces, drained and maintained. Whenever possible, and where function, safety or use does not preclude it, permeable surfaces and on site stormwater retention are to be utilized. Paving stones or grass-crete is encouraged, but consideration will be given to permeable asphalt.
- xv. Roof top mechanical units and/or elevator equipment are required to be screened from view from all angles.
- xvi. A detailed pedestrian plan illustrating safe movement of people within parking areas, to/from entrances and exits, and public spaces, (eg. Crosswalks, sidewalks, etc.).

Bylaw No. 701

Section 22: C5 – Tourist Commercial Zone

Permitted Uses

1. commercial lodging;
2. restaurant;
3. outdoor recreation facility;
4. indoor recreation facility;
5. campground;
6. convenience store;
7. bakery;
8. post office;
9. gasoline/vehicle fuel sales;
10. craft and gift shop;
11. personal service establishment;
12. neighbourhood pub;
13. gallery or studio (but not including television, music or radio studios);
14. police station;
15. ambulance station;
16. accessory upper floor dwelling units with or without sewer;
17. single family dwelling for caretaker of property;
18. accessory use

Minimum Setback from:

Front parcel line:	5.0 m
Side parcel line:	5.0 m
Rear parcel line:	5.0 m

Maximum height for:

Principal buildings and structures:	11.5 m
Accessory buildings:	10 m

Section 23: C6 – Waterfront Commercial Zone

Permitted Uses

1. marina;
2. commercial lodging;
3. restaurant;
4. campground;
5. convenience store;
6. craft and gift shop;
7. personal service establishment;
8. neighbourhood pub;
9. single family dwelling for caretaker of property;

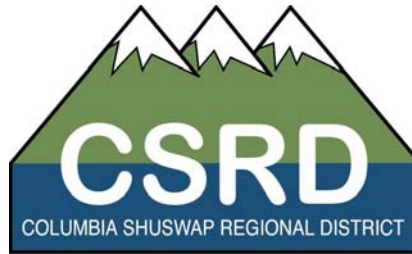
- 10. off-site parking associated with a marina foreshore use;
- 11. accessory use.

Minimum Setback from:

Front parcel line:	5.0 m
Side parcel line:	5.0 m
Rear parcel line:	5.0 m

Maximum height for:

Principal buildings and structures:	11.5 m
Accessory buildings:	10 m



DEVELOPMENT PERMIT NO. 725-62

OWNERS: Finz Resort Inc.
2001 – Eagle Bay Road
Blind Bay, BC V0E 1H1

1. This Riparian Areas Regulation AND Lakes 100 m Development Permit is issued subject to compliance with all the Bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.

2. This Permit applies only to the lands described below:

Lot 1, Sections 17 and 20, Township 22, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan EPP51931

PID: 029-706-955

which property is more particularly shown outlined in bold on the Location Maps attached hereto as Schedule A.

3. This Permit is issued pursuant to Sections 12.3 and 12.4 of the “Electoral Area ‘C’ Official Community Plan Bylaw No. 725” in support of a proposal to install a new sewerage system, construction of a washroom addition onto the existing restaurant building and the construction of a fence occurring within 30 m of Shuswap Lake as more particularly shown on the Sewerage System Design Plan attached hereto as Schedule B-1, and the Site Plan attached hereto as Schedule B-2.
4. An amendment to the Permit will be required if development is not in substantial compliance with this Permit.
5. This Permit is issued based on the Riparian Areas Assessment Report completed by Trina Koch, R.P. Bio, of Western Water Associates Ltd. dated January 20, 2016, attached hereto as Schedule C; which satisfy the requirements of the Riparian Areas Regulation (RAR) Development Permit Area as set out in Electoral Area ‘C’ Official Community Plan Bylaw No. 725.
6. This Permit is issued based on the Hydrogeology Assessment completed by Daniel Watterson, P. Geo., of Watterson Geoscience Inc., dated June 15, 2015, attached hereto as Schedule D; and the Sewerage System Design Brief and Plans, completed by Jayme Franklin, P.Eng., of Franklin Engineering Ltd., dated June 4, 2015, attached hereto as Schedule E which satisfy the requirements of the Lakes 100 m Development Permit Area as set out in Electoral Area ‘C’ Official Community Plan Bylaw No. 725.

7. It is understood and agreed that the Regional District has made no representation, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developers other than those in the permit.
8. This Permit shall inure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.
9. This Permit is NOT a building permit.

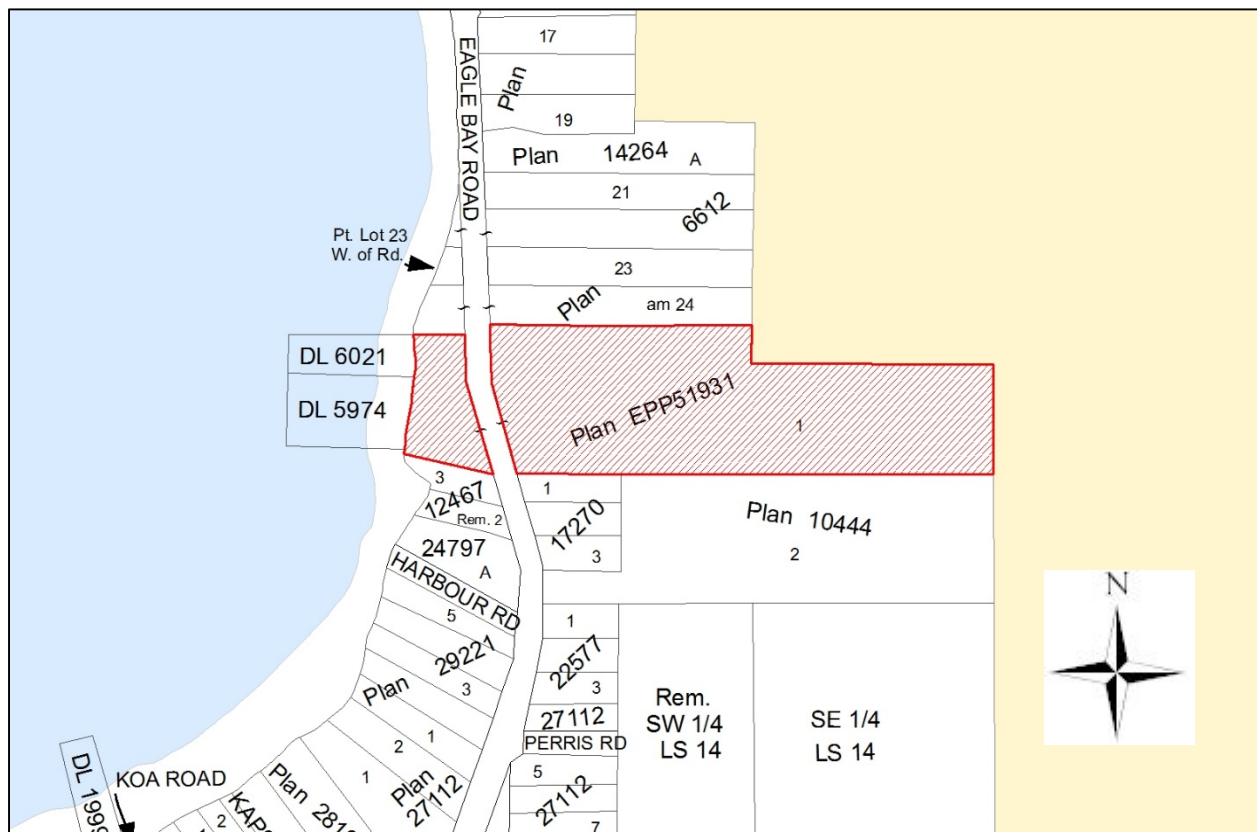
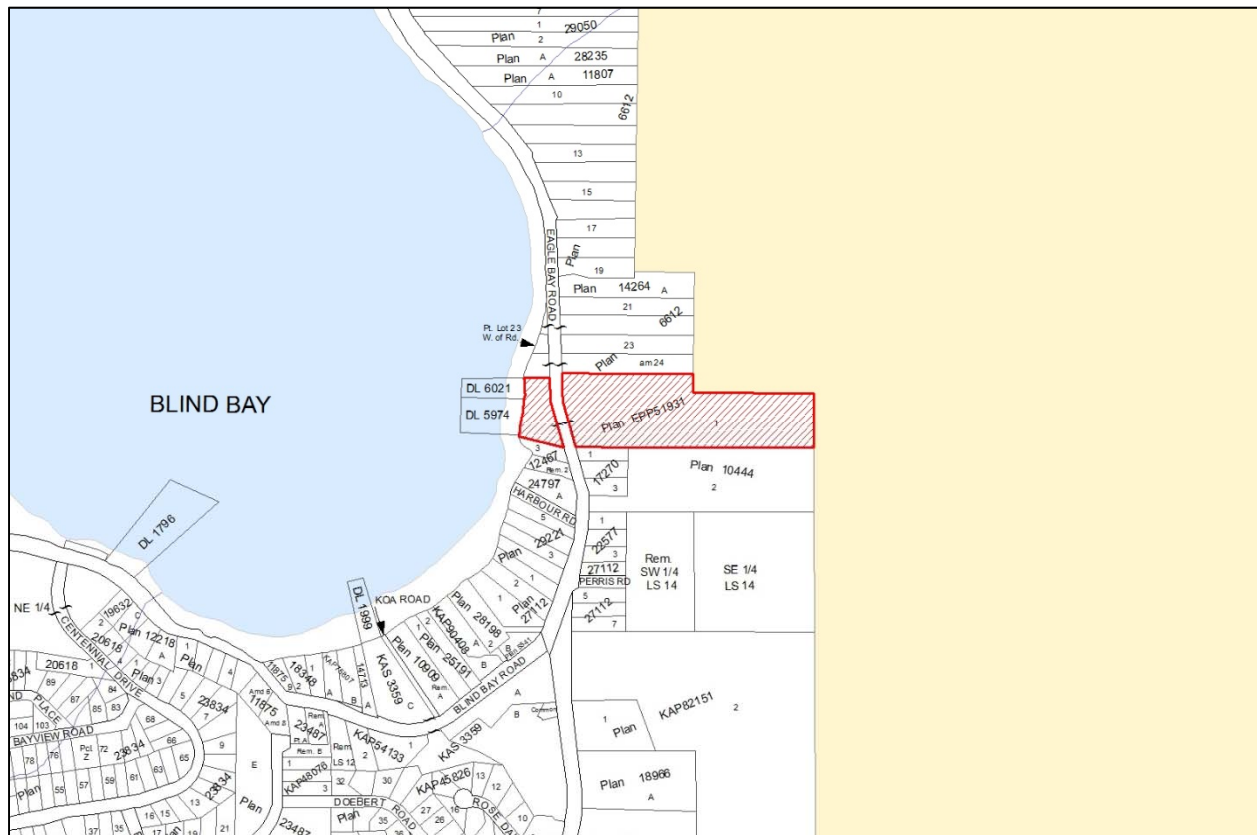
AUTHORIZED AND ISSUED BY the Manager of Development Services of the Columbia Shuswap Regional District on the _____ day of _____, 2016.

Gerald Christie
Manager, Development Services

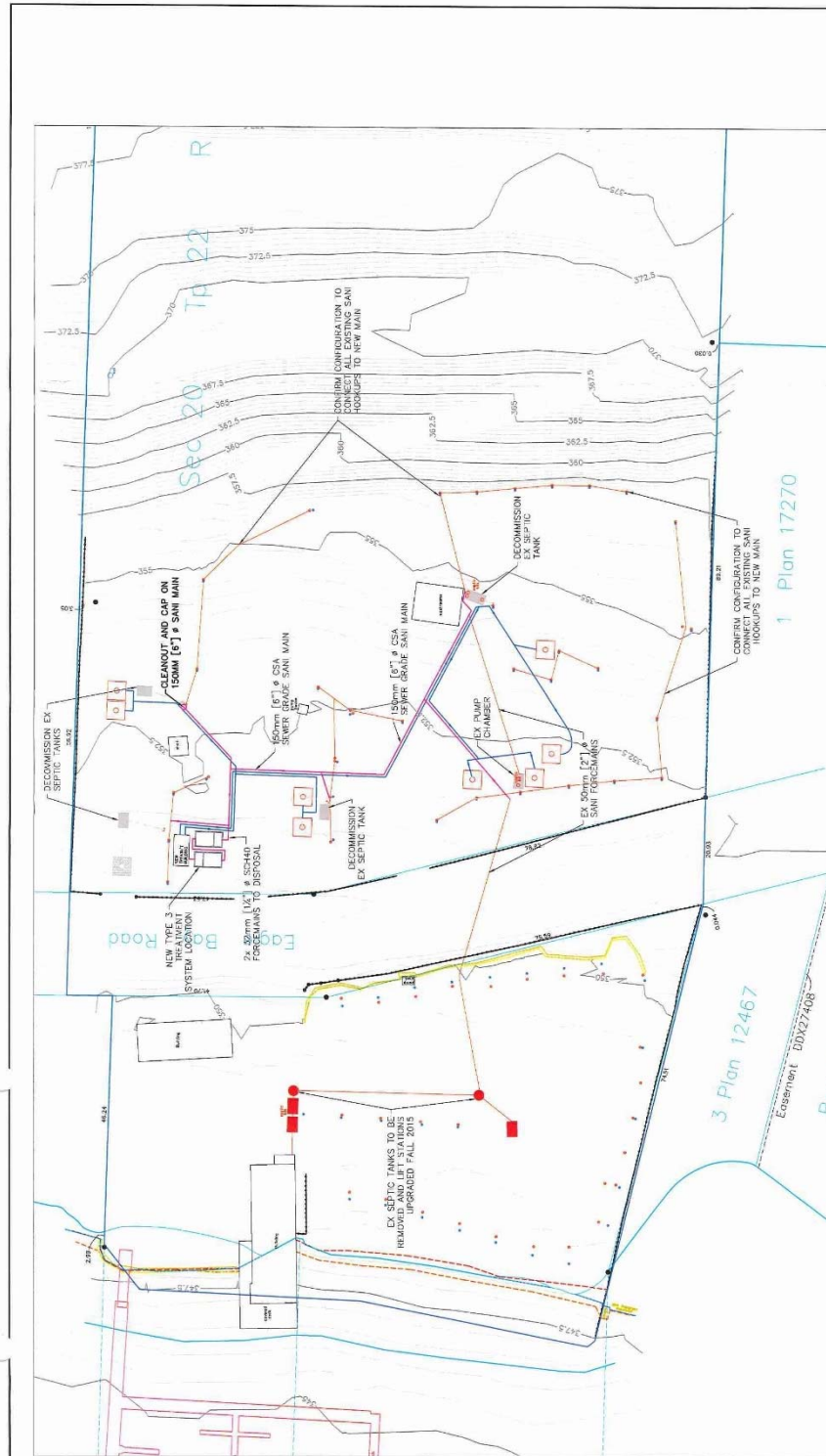
PLEASE NOTE:

- 1) Pursuant to Section 926(1) of the *Local Government Act*, if the development of the subject property authorized by this permit is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.
- 2) This Permit addresses Local Government regulations only. Further permits or authorizations may be required from Provincial and Federal governments. It is the owner's responsibility to call Front Counter BC at 1-877-855-3222 regarding this project.

DP 725-62 Schedule A



Schedule B-1 - DP 725-62
Sewerage System Design Plan



SITE PLAN
SCALE: 1:750



FRANKLIN
ENGINEERING LTD.
Jayne Franklin, P.Eng.
250832880
DRAWING NO. 15-031-2

ISSUED FOR IHA FILING

0 3/JUN/2015

THIS DRAWING IS NOT FOR
CONSTRUCTION UNLESS SO SEALED.
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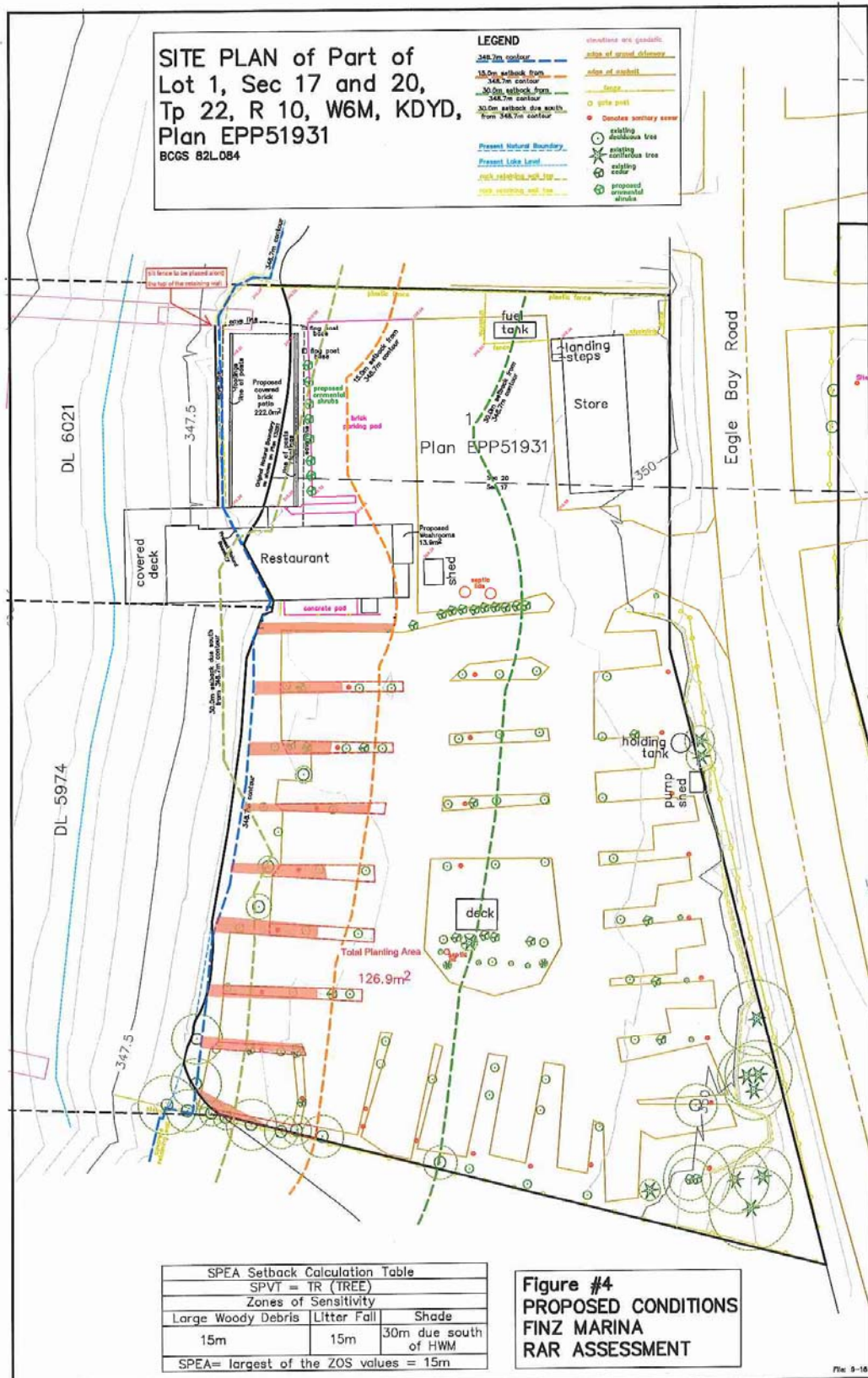
SYSTEM LOCATION

TITLE:

PROJECT: 15-031
SEWERAGE SYSTEM

CLIENT: FINZ RESORT
2001 EAGLE BAY RD

Schedule B-2 - DP 725-62
Site Plan



Schedule C - DP 725-62
Riparian Areas Regulation Report

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Riparian Areas Regulation: Assessment Report

Please refer to submission instructions and assessment report guidelines when completing this report.

Date January 20, 2016

I. Primary QEP Information

First Name	Trina	Middle Name	Anne
Last Name	Koch		
Designation	R.P.Bio.	Company	Western Water Associates Ltd.
Registration #	2631	Email	trina@westernwater.ca
Address	106-5145 26 th street		
City	Vernon	Postal/Zip	V1T 8G4
Prov/state	BC	Country	Canada
Phone #	250-541-1030		

III. Developer Information

First Name	Craig	Middle Name	
Last Name	Russenholt		
Company	Finz Resort Inc.		
Phone #	604-328-6942		
Address	21-2550 Golf Course Drive		
City	Blind Bay	Postal/Zip	V1E 1H1
Prov/state	BC	Country	Canada

IV. Development Information

Development Type	Commercial – addition of washrooms to an existing restaurant and the addition of a roof structure to an existing patio		
Area of Development (ha)	0.013	Riparian Length (m)	100
Lot Area (ha)	0.63	Nature of Development	Construction
Proposed Start Date	January 20, 2016	Proposed End Date	December 1, 2016

V. Location of Proposed Development

Street Address (or nearest town)	2001 Eagle Bay Road		
Local Government	CSRD	City	Blind Bay, BC
Stream Name	Shuswap Lake		
Legal Description (PID)	029-706-955	Region	Columbia Shuswap
Stream/River Type	Lake	DFO Area	Interior BC
Watershed Code	128		
Latitude	50	52	50.13 706
Longitude	119	21	49.50 214

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Table of Contents for Assessment Report

1. Description of Fisheries Resources Values
2. Results of Riparian Assessment (SPEA width)
3. Site Plans - Figure 1, Figure 2 and Figure 3
4. Measures to Protect and Maintain the SPEA
(detailed methodology only).
 1. Danger Trees.....
 2. Windthrow.....
 3. Slope Stability.....
 4. Protection of Trees.....
 5. Encroachment
 6. Sediment and Erosion Control.....
 7. Floodplain.....
 8. Stormwater Management.....
5. Environmental Monitoring
6. Photos
7. Assessment Report Professional Opinion

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 1. Description of Fisheries Resources Values and a Description of the Development proposal

Note: Some content has been highlighted to convey its importance.

1.1. Information Sources

Existing development and fisheries resource values were assessed using information collected from online resources and information documented during a field assessment completed by Trina Koch, R.P.Bio., on January 7, 2016. Site conditions on this day were overcast and cold (about -5°C) with about 12 cm of fresh snow covering the property. The onsite assessment concentrated on the riparian assessment area (RAA) located within 30 m of the high water mark (HWM) of Shuswap lake (348.7 m.a.s.l.). Online resources included Fisheries Inventory Data Queries¹, BC Water Resources Atlas², BC Conservation Data Center³ and the Columbia Shuswap Regional District (CSRD) online mapping application⁴.

Information about the proposed development was provided by Mr. Russenholt. Information on zoning and bylaws was found in the CSRD Official Community Plan (OCP) Bylaw 725 and discussed with Dan Passmore, CSRD Director of Development Services.

1.2 Existing Development

The project area is located at Finz Resort, which has the primary address of 2001 Eagle Bay Road in Blind Bay BC (Figure 1, Photograph 1). The Resort also includes 2000 Eagle Bay Rd, which is located directly across the road from the primary address. The entire property (2001 and 2000) is 0.63 HA in size and has a long rectangular-shape. It is located on the southeastern side of Blind Bay and includes 100 m of Shuswap Lake's shoreline. Foreshore land tenures on the property include #13281 and #10444. The property is zoned as foreshore waterfront commercial.

In 2009, a failing concrete retaining wall was replaced with a retaining wall constructed of large blast rock under a Section 9 *Water Act* notification (Photographs 1 and 4). Because the retaining wall was constructed below the original HWM, its creation established an adjusted HWM as shown in Figures 3 and 4. Within the same year, a brick patio (Photograph 2) surrounded by plexi-glass railings was installed (Photograph 3) between the original HWM and the adjusted HWM. The resulting patio area was 119.5 m² (Figure 3). A row of cedar shrubs lined the patio along its southern boundary (Photograph 2).

In April of 2015, a fuel tank, surrounded by a chain link fence, was installed about 30 m from the HWM near the northern property boundary. The fuel tank was designed by Regal Enviro Safe

¹ a100.gov.bc.ca/pub/fidq/welcome.do

² webmaps.gov.bc.ca/imf5/imf.jsp?site=wrbc

³ env.gov.bc.ca/cdc/

⁴ mapping.csr.d.ca/Html5/?viewer=property

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Manufacturers and has a lockable fill/spill box, drain back valve, capped sounding port and an M&M camlock dust cap.

In June of 2015 the existing sewerage system was upgraded to a Ecofluid Type 3 System. Works were completed under a CSRD DP and the new sewerage system was certified with Interior Health. Work involved decommissioning old septic tanks within the entire property, upgrading lift stations, installing a new main line, tying sanitary sewers into the main line, upgrading a pump chamber and severing connections to the former disposal system.

Existing development within the 15 m SPEA includes the original patio, eight sanitary sewers, eight landscaped campsites, a beach access trail, a restaurant and parking area (Figure 3).

Under RAR, permanent structures within the SPEA are considered 'grandfathered'. The original patio is considered a permanent, grandfathered structure because (1) it was installed below the HWM under the 2009 Section 9 *Water Act* notification for retaining wall installation and (2) installation was prior to CSRD enacting Bylaw 725. Table 1 lists all of the existing structures within the SPEA and provides justification for status as permanent or temporary based on RAR protocol.

Table 1. Permanent and Temporary Structures within the SPEA

Existing Structures inside SPEA	Permanent / Temporary	Justification
Restaurant	Permanent	Compliant with standards required at the time of construction and existing zoning
Brick Patio and Railing	Permanent	Most of the patio works took place below the original HWM, works below the original HWM were permitted under the 2009 <i>Section 9 Water Act</i> Approval application for the retaining wall, patio installation was prior to CSRD enacting the OCP RAR DP requirement
Retaining Wall	Permanent	Works below the original high water mark were permitted under the 2009 <i>Section 9 Water Act</i> Approval application
Parking Area	Permanent	Associated with the permitted restaurant and store
Septic System	Permanent	Authorized use is in compliance with Ministry of Health and CSRD OCP zoning
Camp Sites	Permanent	Complies with CSRD Zoning
Landscaping	Temporary	Landscaping can be improved to provide more natural riparian conditions
Trail	Temporary	Does not have permanent structures associated with it (ramps, bridges)

1.3 Proposed Development

Proposed development is located within 30 m of Shuswap Lake, referred to as the Riparian Assessment Area (RAA) under RAR. It includes the placement of a 222.0 m² roof structure over the

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

119.5 m² original patio area and the addition of a 13.9 m² washroom to the east side of the restaurant. Only the roof structure is located within the 15m SPEA (Figure 4).

Ninety percent of the roof structure was constructed in the Fall and Winter of 2015 which has included the removal of railings and footings, pouring of a concrete tiebeam across existing footings for structural integrity, replacement of a row of cedar shrubs with other ornamental shrubs and erection of wooden framing and stained cedar roofing. Because the roof structure was built without a RAR DP from the CSRD (required under Bylaw 725 as of March 20, 2014), the developer has stopped work until a RAR DP is in place. Remaining roof construction will involve placing metal roofing on the wooden frame and installing rain gutters. The proposed roof structure will manage stormwater by routing it directly to the garden north of the structure.

Construction of the public bathroom facilities will involve tying new plumbing into existing plumbing, adding framing, drywall, electrical and siding to a 13.9 m² area attached to the southeastern corner of the restaurant building located next to the existing electrical room, which is an existing 'lean-to' style addition. New washroom construction is just outside of the SPEA and will not involve cement pouring. The addition will have the same 'lean-to' roof line as the electrical room.

A silt fence will be installed prior to construction works to reduce the possibility of sediment entering Shuswap lake. The proposed location of the silt fence is shown in Figure 4. A schedule of project timing is provided in Table 2.

Table 2. Proposed Project Timing

Action	Timing	Location in Relation to SPEA	Mitigation
Remaining Roof Construction	January 2016	A portion is outside of the grandfathered patio area located within the SPEA	Silt fence along the retaining wall, environmental monitor
Washroom Construction	February 2016	Outside of the SPEA	Silt fence will stay in place during washroom construction, materials and construction will not encroach the SPEA.
Vegetation Mitigation	Sept 2016	Within SPEA	vegetation compensation

Because the newly erected roof structure overlaps the original patio by an area of 102.5 m² within the SPEA, we propose a total compensation area of 126.9 m² where native shrubs should be planted (Figure 4). Planting Plan details are provided in Section 1.5.

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

1.4 Fisheries Resource Values

The assessment of fisheries resources included a review of connectivity to downstream habitats, documented fish species, foreshore fisheries habitat, current riparian and foreshore condition and potential for species at risk. Biophysical conditions of the site were assessed on January 5th 2016.

Shuswap Lake flows into the Thompson River. There is adequate connectivity to the Thompson River so that fish species in the Thompson River (Table 3) have the capacity to enter Shuswap Lake⁵. However, only chinook, whitefish, coho, sockeye, sculpins and redbside shiner are known to commonly inhabit foreshore areas of the lake⁵. Scientific names of the fish species are provided in Table 3.

Table 3. Documented fish species in the Thompson River System

Common Name	Scientific Name	Common Name	Scientific Name
River lamprey	<i>Lampetra ayresi</i>	Chum salmon	<i>O. keta</i>
White sturgeon	<i>Acipenser transmontanus</i>	Pink salmon	<i>O. gorbuscha</i>
Chiselmouth	<i>Acrocheilus alutaceus</i>	Coho salmon	<i>O. kisutch</i>
Lake chub	<i>Couesius plumbeus</i>	Rainbow trout	<i>O. mykiss mykiss</i>
Carp	<i>Cyprinus carpio</i>	Sockeye salmon	<i>O. nerka</i>
Peamouth chub	<i>Mylocheilus caurinus</i>	Chinook salmon	<i>O. tshawytscha</i>
Northern pikeminnow	<i>ptychocheilus oregonensis</i>	Bull trout (char)	<i>Salvelinus confluentus</i>
Longnose dace	<i>Rhinichthys cataractae</i>	Lake trout	<i>S. namaycush</i>
Leopard dace	<i>R. falcatus</i>	Burbot	<i>Lota lota</i>
Redside shiner	<i>Richardsonius balteatus</i>	Lake whitefish	<i>Coregonus clupeaformis</i>
Longnose sucker	<i>Catostomus catostomus</i>	Pygmy whitefish	<i>Prosopium coulteri</i>
Bridgelip sucker	<i>C. columbianus</i>	Mountain whitefish	<i>P. wi/lamsoni</i>
White sucker	<i>C. commersoni</i>	Prickly sculpin	<i>Cottus asper</i>
Largescale sucker	<i>C. macrocheilus</i>	Slimy sculpin	<i>C. cognatus</i>
Mountain sucker	<i>C. platyrhynchus</i>	Torrent sculpin	<i>C. rhotheus</i>
Cutthroat trout (westslope)	<i>Oncorhynchus clarki lewisi</i>		

The Shuswap Watershed Mapping Project⁶ identifies the foreshore along the property as being located within Segment 207, which is 907 m long. Segment 207 was given a high Aquatic Habitat

⁵ T.G. Brown and P. Winchell Fish Community of Shuswap Lake's Foreshore. Canadian Technical Report of Fisheries and Aquatic Sciences 2568. Fisheries and Oceans Canada Science Branch, Pacific Region. Pacific Biological Station Nanaimo, B.C. <http://www.dfo-mpo.gc.ca/Library/287112.pdf>

⁶ Ecoscape. 2011. Shuswap Watershed Mapping Project. http://a100.gov.bc.ca/appsdata/acat/documents/r17784/Shuswap_FIM_1268927125640_e5480e8e83f1b990a513d1f90f08b9e8705af8cf2a9eadc1464bcf3c38e1f419.pdf

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Index (AHI) rating because it is within a fisheries migration corridor and provides habitat for sockeye spawning, char spawning and juvenile rearing⁷.

Foreshore features of the property include a marina consisting of four main floating platforms supported by piers. A hinged walkway connects the floating structure to the eastern end of the property next to a retaining wall constructed of large blast rock located slightly below the high water mark (Photograph 11). The retaining wall separates the existing brick patio from the beach. Beach and foreshore substrate observed on January 7, 2016 consisted of mostly gravel and sand with some small cobble. The seasonal timing of the field assessment limited the extent to which aquatic and riparian vegetation could be observed. Aquatic vegetation and large woody debris were not observed. The natural state of the foreshore at the eastern end of the property appeared highly altered. The foreshore appeared to be in a more natural state where it bordered the lakefront campsites west of the restaurant.

Riparian vegetation observed included native and ornamental vegetation. A row of ornamental shrubs lined the southern boundary of the roof structure adjacent to the patio (Figure 3 and Photograph 10). Riparian vegetation west of the restaurant had been planted to provide delineation of a pathway to the beach and privacy for camp sites (Photograph 18). Large weeping willows (*Salix × sepulcralis*) lined the shoreline and ornamental maples and cedars lined the boundaries of each site (Photograph 15). Two large cottonwood (*Populus trichocarpa*) overhung the water near the property's western boundary closest to the shoreline (Photograph 16).

Endangered species or species at risk were not observed on the property and have not been documented by the BC government within 1 km of property⁸. The closest species at risk is a masked species located 750 m to the west. Masked species are not identified by BC's Conservation Data Centre in order to protect the species from being captured or otherwise disturbed by the public.

1.5 Riparian Planting Plan

The following Riparian Planting Plan should be completed in September or October of 2016. Planting should not occur in June, July or August.

The goal of the planting plan is to densify the planting areas with as many native riparian plantings as possible based on spacing requirements. Annual survivability of the plantings should be at least 90%. A landscape professional should be hired to complete the planting.

Proposed planting areas include the narrow dividing areas between the eight waterfront campsites as shown in Figure 4. The total planting area is 126.9 m² to compensate for the 102.5 m² encroachment that the proposed roof structure overlaps the original patio. The compensation area is larger than the encroachment area since there are already trees planted between the camp sites which use up some of the available planting area.

⁷ Shuswap Lake Watershed Mapping <http://cmnmaps.ca/SHUSWAP/>

⁸ BC Government, Conservation Data Center, <http://www.env.gov.bc.ca/cdc/>

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Because adequate trees already exist within the proposed planting areas we propose the addition of native riparian shrubs and grasses to these areas as shown in Table 4. Suitable riparian shrubs include Saskatoon berry, mountain alder, red-osier dogwood, Oregon-grape, chokecherry, Nootka rose, woods rose, red raspberry, blue elderberry and common snowberry (scientific names provided in Table 4). Shrubs should be a least a 15 cm pot size at the time of planting. The attached *Plant Nurseries and Seed Supplies List* provides information on various native plant and seed suppliers in BC. The landscape professional can choose from the shrubs listed in Table 4 at his or her own discretion based on site conditions.

The landscape professional should visit the site in early Spring (e.g. April) to determine the number and type of plants required and soil conditions. Invasive weeds should be removed from the campsite before planting occurs. Due to deep snow conditions during the site investigation soils were not readily accessible. Soil conditions were assumed to be adequate for the above plantings based on the existing vegetation within the planting areas. However, the landscape professional may require the addition of topsoil to ensure planting success. After the plantings are in place, drought resistant native plant seed should be broadcast in any disturbed areas to discourage invasive plants from establishing. Mulch mats should be placed around the base of each planting to help it retain moisture. Protective wire cages should be placed around each planting or groups of plants to protect them from wildlife browsing (ex. beaver).

Table 4. Suggested Riparian Shrubs and Native Grass Seed

Riparian Shrubs	Common Name	Spacing (m)	Size
<i>Amelanchier alnifolia</i>	Saskatoon berry	2 m o.c.	15 cm pot
<i>Alnus incana ssp.</i>	<i>Tenulifolia</i> Mountain alder	1 m o.c.	15 cm pot
<i>Cornus stolonifera</i>	Red-osier dogwood	1 m o.c.	15 cm pot
<i>Mahonia aquifolium</i>	Oregon-grape	1 m o.c.	15 cm pot
<i>Prunus virginiana</i>	Chokecherry	2 m o.c.	15 cm pot
<i>Rosa nutkana</i>	Nootka rose	1 m o.c.	15 cm pot
<i>Rosa woodsii</i>	Woods rose	1 m o.c.	15 cm pot
<i>Rubus idaeus</i>	Red raspberry	1 m o.c.	15 cm pot
<i>Sambucus cerulea</i>	Blue elderberry	1 m o.c.	15 cm pot
<i>Symphocarpus alba</i>	Common snowberry	1 m o.c.	15 cm pot
Native Grass Seed			
Drought-resistant Shuswap riparian native seed mix			

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 2. Results of Riparian Assessment (SPEA width)

Attach or insert the Form 3 or Form 4 assessment form(s). Use enough duplicates of the form to produce a complete riparian area assessment for the proposed development

--

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Form 3 Detailed Assessment Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

2. Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: January 20, 2016

Description of Water bodies involved (number, type)

Shuswap Lake

Stream

Wetland

Lake

Ditch

Number of reaches

1

Reach #

1

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	<p>Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes</p> <p>I, <u>(name of qualified environmental professional)</u>, hereby certify that:</p> <p>a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>(name of developer)</u>;</p> <p>c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and</p> <p>d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.</p>
Polygon No:	1		Method employed if other than TR
	LC	SH	SPVT is TR (tree)
SPVT Type			X

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	Southeast side of the bay			
LWD, Bank and Channel Stability ZOS (m)	15				
Litter fall and insect drop ZOS (m)	15				
Shade ZOS (m) max	10 m	South bank	Yes	No	X
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)				
Ditch Fish Bearing	Yes	No	If non-fish bearing insert no fish bearing status report		
SPEA maximum	15	(For ditch use table 3-7)			

I, <u>Trina Koch</u> , hereby certify that:	
a)	I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ;
b)	I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenhol</u> ;
c)	I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
d)	In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Form 3 Detailed Assessment Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Comments

Because the property is located on the southeast side of the lake, the shade ZOS results in a irregular shaped shade setback that is about 12 m away from the HWM at its greatest distance (delineated on Figures 2,3, and 4).

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

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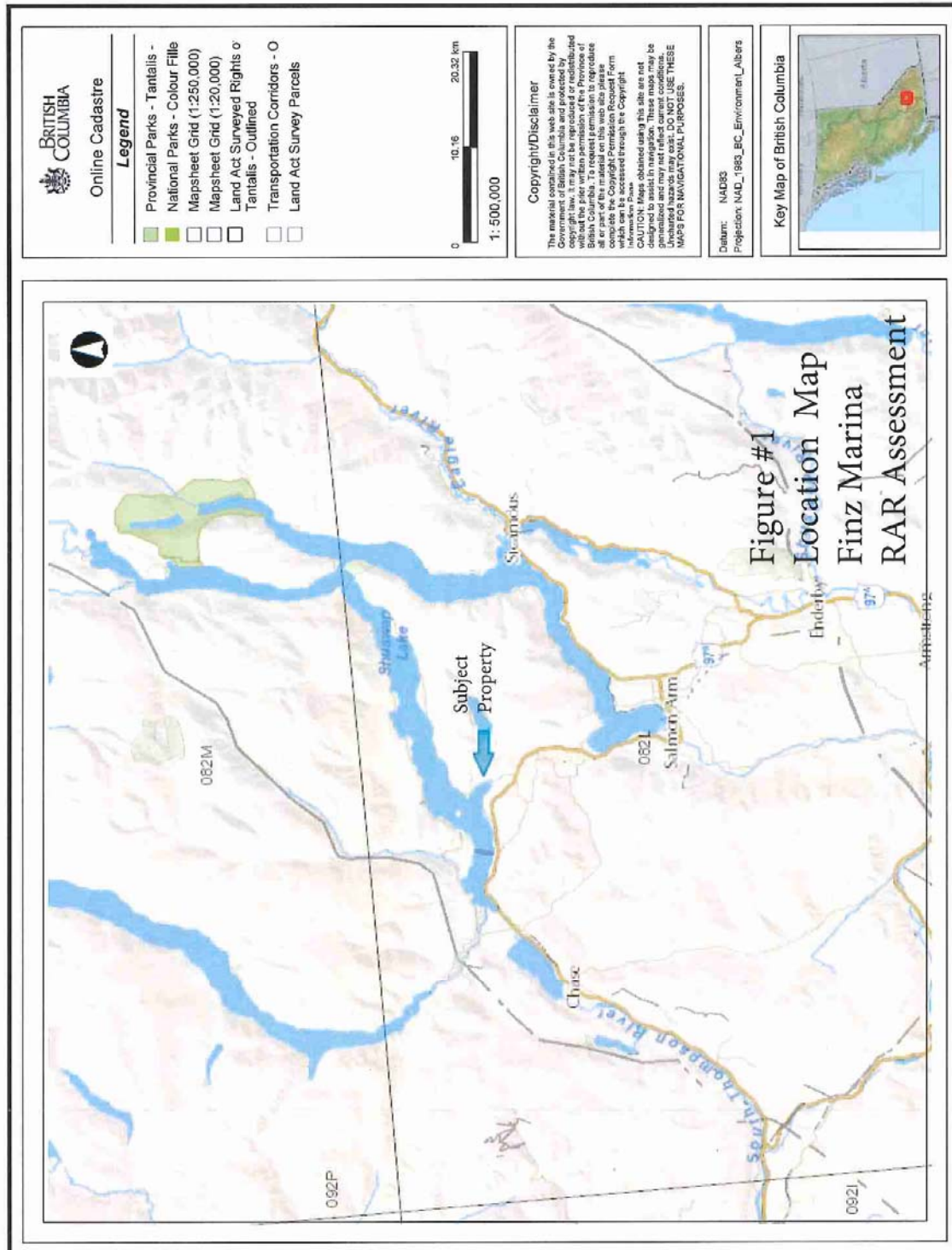
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 3. Site Plan

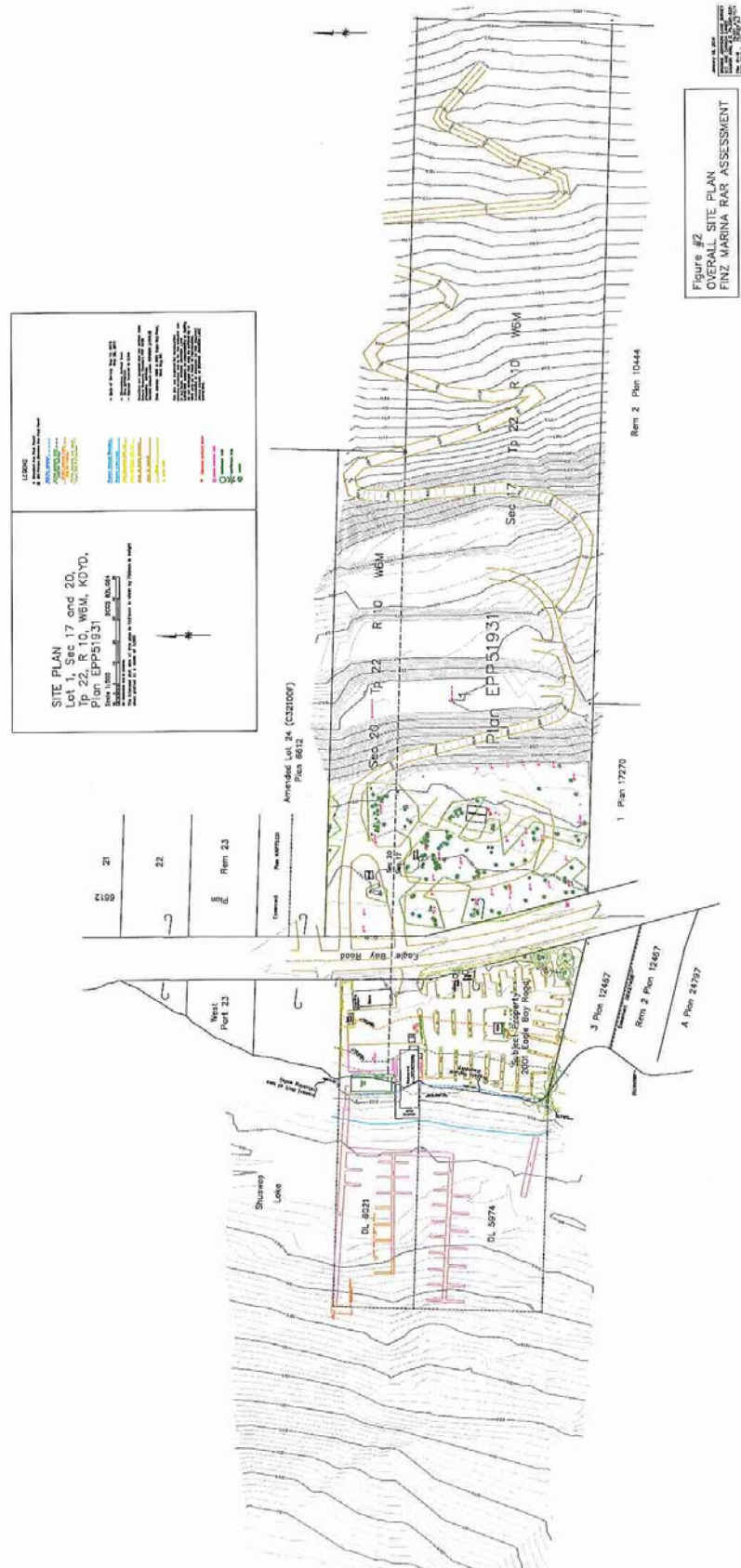
Insert jpg file below

Site Plan

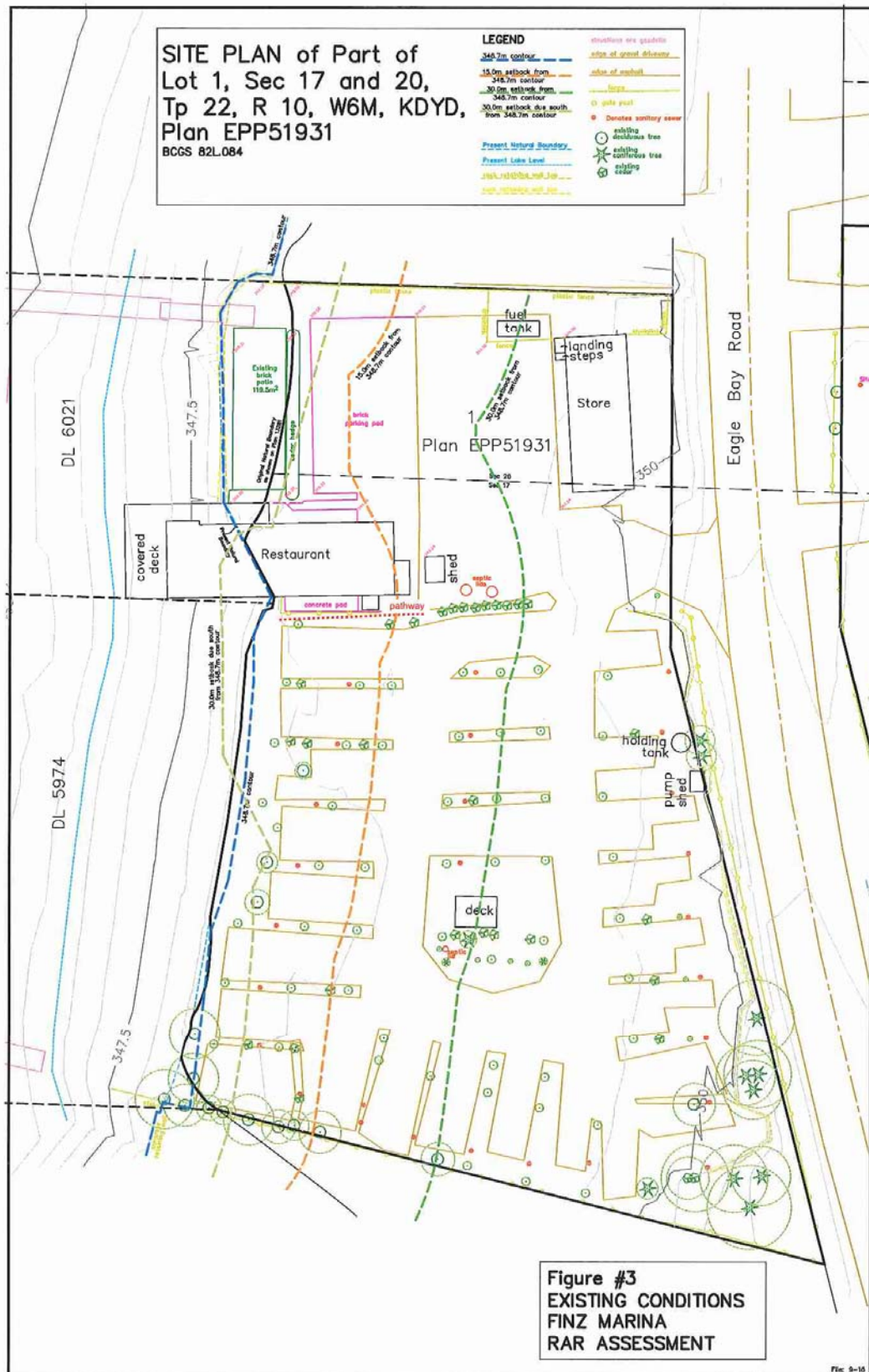
Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 4. Measures to Protect and Maintain the SPEA

This section is required for detailed assessments. Attach text or document files, as need, for each element discussed in chapter 1.1.3 of Assessment Methodology. It is suggested that documents be converted to PDF before inserting into the assessment report. Use your "return" button on your keyboard after each line. You must address and sign off each measure. If a specific measure is not being recommended a justification must be provided.

1. Danger Trees	Total of 0 danger trees were determined to be located on the property. Overhanging cottonwoods are located at the western boundary of the property away from where tents or picnic tables are located.
I, <u>(Trina Koch)</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
2. Windthrow	Windthrow is not a significant safety issue on this property. Although downed branches from the black cottonwood and weeping willows likely occur throughout the growing season they do not present a substantial hazard to campers since most of the windthrow would appear to occur along the beach. The property is well monitored by owners who remove dead branches from the large trees regularly. The windthrow is beneficial to the fisheries habitat as it contributes woody debris to the foreshore.
I, <u>(Trina Koch)</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer, <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
3. Slope Stability	Slope stability is not a concern on the property as the maximum slope within the RAA is about 5%. The area is well vegetated with trees and grass.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
4. Protection of Trees	Trees will be protected by the placement of a silt fence, cautious use of heavy equipment near the SPEA boundary and environmental monitoring during construction near the SPEA. Newly planted trees will be protected with caging to prevent wildlife browsing.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

5. Encroachment	Further encroachment into the SPEA will be avoided by cautious use of heavy equipment near the SPEA boundary and environmental monitoring during construction near the SPEA.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
6. Sediment and Erosion Control	Sediment and erosion control will be completed by the placement of a silt fence just beyond the 15 m SPEA boundary near proposed construction. The environmental monitor will provide mitigative solutions to the contractor if erosion and control situations occur during construction. Work will not take place during heavy rain or high water conditions.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
7. Stormwater Management	Stormwater runoff from the resort building is routed directly to the ground via roof drainage onto splash pads that flow onto vegetation. The proposed roof structure will manage stormwater in the same fashion. Stormwater collected in the eaves will be directed into the garden areas north of the roof structure.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>_____</u> (<u>name of developer</u>) ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
8. Floodplain Concerns (highly mobile channel)	Flooding is not a concern for the proposed development as it is located above the HWM.
I, <u>Trina Koch</u> , hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Craig Russenholt</u> ; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 5. Environmental Monitoring

Attach text or document files explaining the monitoring regimen. Use your "return" button on your keyboard after each line. It is suggested that all document be converted to PDF *before* inserting into the PDF version of the assessment report. Include actions required, monitoring schedule, communications plan, and requirement for a post development report.

5.1 Environmental Monitoring

Environmental monitoring will be required during the completion of the roof structure, during washroom construction and after the planting plan is completed. Environmental monitoring results should be summarized in a memo and shared with the property owner and the CSRD. One year after planting and proposed construction is complete, the environmental monitor will visit the site to assess the survivability of the plantings and report on how the existing development complies with RAR. Results of the site assessment will be included in a RAR Post Development Report and submitted to the RAR Notification System. A suggested environmental monitoring schedule is shown in Table 5.

Table 5. Environmental Monitoring Schedule

Monitoring Task	Description
<i>One visit during roof structure construction</i>	The Environmental Monitor will review mitigation outlined in the RAR Assessment with construction crews and monitor works for RAR compliance.
<i>One visit during washroom construction</i>	Because works are immediately adjacent to the SPEA the Environmental Monitor will monitor works for compliance with RAR.
<i>One visit immediately after the completion of the planting plan</i>	The Environmental Monitor will monitor works for compliance with the RAR Assessment.
<i>One visit one year after the completion of the planting plan and proposed construction</i>	Results of the site assessment will be included in a RAR Post Development Report and submitted to the RAR Notification System.

5.2 Communications Plan

The Environmental Monitor will confirm with the construction manager that work is underway before visiting the site. Contact information will be shared prior to the first monitoring visit.

5.3 Requirements for a Post-Development Report

A post-development report will be completed one year after the proposed construction and plantings are complete. An environmental monitor will inspect the development for compliance with RAR, complete a post-development report based on their findings and submit it to the RAR Notification System.

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 6. Photos

Provide a description of what the photo is depicting, and where it is in relation to the site plan.

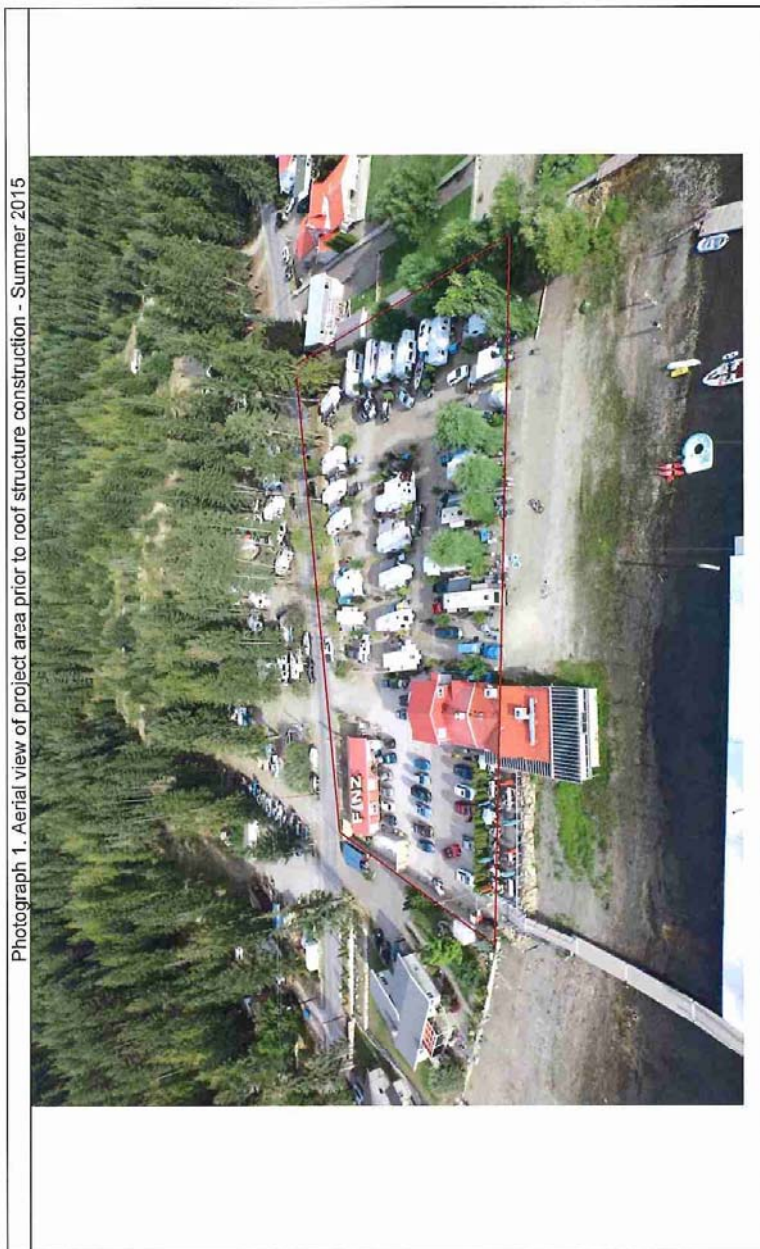
Form 1

Page 15 of 18

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photos



Photos

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Page 1 of 10

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 2 Pre-development patio conditions – Fall 2015



Photograph 3. Patio railing footings are revealed – Fall 2015



Photos
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Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 4. Replacement of patio railing footings with roof structure footings- Fall 2015



Photograph 5. Patio roof construction - Winter 2015



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 6. Roof structure construction - Winter 2015



Photograph 7. Existing restaurant with line work of the proposed washroom footprint including the mechanical room (mech) as well as the men's and women's washroom areas.- Winter 2015



Photos
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Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 8. Footings along the retaining wall - January 2016



Photograph 9. Roof structure – untreated cedar - January 2016



Photos
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Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 10. South side of roof structure – new vegetation has replaced the row of cedar shrubs – January 2016



Photograph 11. Foreshore conditions northeast of the patio and restaurant – January 2016



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 12. Northwestern property boundary roughly within the SPEA - January 2016



Photograph 13. Area outside the SPEA but within the Riparian Assessment Area: a shed, garbage bin and the back of the restaurant where the new washroom is proposed - January 2016



Photos
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Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 14. Two rows of cedar shrubs located west of the restaurant- January 2016

(a)



(b)



Photos
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Folders\Form_5_photos.doc

Page 8 of 10

Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 15. Vegetation in the SPEA closest to the shoreline along eight waterfront camp sites west of the restaurant – January 2016



Photograph 16. Black cottonwood overhangs the water at the western property boundary – January 2016

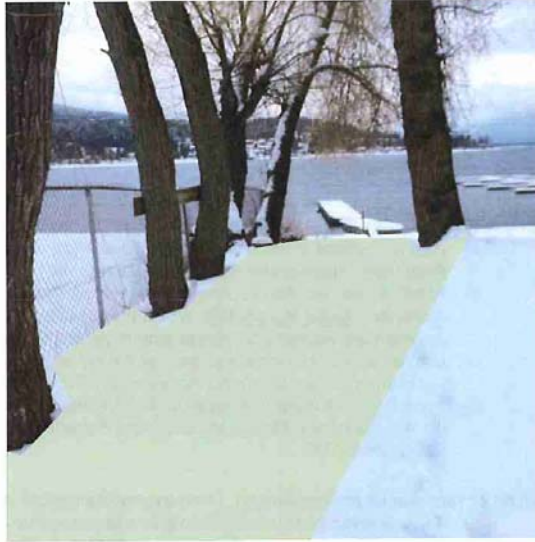


Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

Photo Form

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Photograph 17. Portion of proposed planting area (green shading) at western fenceline – January 2016



Photograph 18. SPEA located west of the restaurant – January 2016



Schedule C - DP 725-62
Riparian Areas Regulation Report (cont'd.)

FORM

1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Section 7. Professional Opinion

Assessment Report Professional Opinion on the Development Proposal's riparian area.

Date January 20
2016

1. I, Trina Koch R.P. Bio

Please list name(s) of qualified environmental professional(s) and their professional designation that are involved in assessment.)

hereby certify that:

- a) I am a qualified environmental professional(s), as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- b) I am/We are qualified to carry out the assessment of the proposal made by the developer, Craig Russenholt, which proposal is described in section 3 of this Assessment Report (the "development proposal");
- c) I have carried out an assessment of the development proposal and my/our assessment is set out in this Assessment Report; and
- d) In carrying out my/our assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation; AND

2. As qualified environmental professional(s), I hereby provide my/our professional opinion that:

- a) if the development is implemented as proposed by the development proposal there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed, OR

(Note: include local government flex letter, DFO Letter of Advice, or description of how DFO local variance protocol is being addressed)

- b) ☒ if the streamside protection and enhancement areas identified in this Assessment Report are protected from the development proposed by the development proposal and the measures identified in this Assessment Report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed.

[NOTE: "qualified environmental professional" means an applied scientist or technologist, acting alone or together with another qualified environmental professional, if

- (a) the individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association,
- (b) the individual's area of expertise is recognized in the assessment methods as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal, and
- (c) the individual is acting within that individual's area of expertise.]

Schedule D - DP 725-62 Hydrogeology Assessment

WGI Project 15-020
CSRD DPA Hydrogeological Evaluation – Finz Resort Property

Mr. W.C. Russenholt, Principal
Finz Resort
2001 Eagle Bay Road
Blind Bay, BC V0E 1H1

June 15, 2015

Via email: crussenh@jetstream.net

Re: CSRD DPA Hydrogeology Assessment – Septic System Upgrades at Finz Resort, Blind Bay, BC

Dear Mr. Russenholt:

Watterson Geoscience Inc. (WGI) understands that domestic septic treatment and disposal system upgrades are to be constructed at the above-referenced resort property. This property is situated at 2001 Eagle Bay Road on the east shore of Blind Bay on Shuswap Lake.

As the planned septic upgrades are situated within 100 m of Shuswap Lake, the Columbia-Shuswap Regional District (CSRD) Development Permit Area (DPA) Bylaw 725 Sections 12.3.8 (c) (d) and (e) requires

- an assessment of site hydrogeological conditions,
- an evaluation of the suitability for site soils to accept stormwater runoff and landscape irrigation,
- an assessment of potential negative environmental impacts on Shuswap Lake water quality resulting from installation and operation of the upgraded septic system, and
- identification of potential impacts on nearby surface water bodies (Shuswap Lake).

This work must be completed by a Qualified Environmental Professional. The intent of this report is to address Bylaw 725 requirements.

SEPTIC DISPOSAL SYSTEM CHARACTERISTICS

Based on information provided by you (Finz) and Mr. Jayme Franklin, P.Eng. with Franklin Engineering Ltd. (Franklin), WGI understands the following:

- The Finz resort includes RV and camping sites, a marina and moorage, a marine gas station with convenience store and a restaurant. Site occupancy is seasonal with little to no use during the winter;
- The existing sewage treatment system consists of numerous single and double chambers, lift stations and infiltration basins. This Type 1 system was first constructed in the 1980s and was last upgraded in 2009. The existing tanks will be removed and the existing lift stations will be upgraded. Based on available information, no system failures such as daylighting effluent or odors have occurred in the infiltration area;
- The resort's daily design flow rate is 22,500 L/day (4,950 IGPD). This flow is based on full occupancy of the 175-seat restaurant at 60 L/seat and 40 RVs at 300 L/day/RV;
- The new septic system will consist of an Ecofluid MBR membrane treatment package plant with two 5,000 IG Leko Precast concrete equalization tanks. This system will produce Type 3 quality

685 Pheasant Road, Vernon, BC V1B 3B1 | Ph: 250-550-8560
www.wattersongeoscience.com | dan@wattersongeoscience.com

Watterson Geoscience Inc.
Groundwater Consulting Services

Schedule D - DP 725-62 Hydrogeology Assessment (cont'd.)

WGI Project 15-020
CSRD DPA Hydrogeological Evaluation – Finz Resort Property

effluent with 5-day Biological Oxygen Demand (BOD₅) and Total Suspended Solids (TSS) concentrations less than 10 mg/L, and fecal coliform concentrations less than 400 CFU/100 mL;

- The treated waste water will be dispersed to ground into eight (8) rapid infiltration basins (RIBs) as shown in Figure 1. Each basin is approximately 3.7 m wide by 3.7 m wide by 2.5 m deep, with a capacity of at least 13.7 m³ each. Total RIB volume is approximately 110 m³ and the total basal infiltration area is approximately 110 m². Based on maximum daily flow, the maximum hydraulic loading rate (HLR) will be less than 0.2 m³/day per m² of infiltration area, or about 2.8 m³/day or about 0.4 IGPM per RIB. In addition, this low HLR conservatively does not account for any infiltration from the RIB sides; and
- The new treatment system will be located on the east side of Blind Bay Road and the RIBs are distributed throughout the RV and camping area (Figure 1). The treatment tanks are located approximately 70 m and the infiltration areas are located between 90 m and 130 m from the lake High Water Mark (HWM), respectively (Figure 1).

PROPERTY CHARACTERISTICS

No publicly published information regarding overburden geology characteristics is readily available for the resort area, however in 2007 Horizon Engineering Inc. (Horizon) completed an extensive geotechnical investigation of the entire property (2007, Horizon). This investigation included drilling 25 geotechnical test holes, documenting subsurface soil characteristics and observing depth to groundwater. Seven (7) boreholes were completed in the proposed treatment and infiltration area (Figure 1).

In general, the Horizon subsurface investigation in the treatment and RIB area encountered topsoil overlying sand and silty sand, with trace to some gravel to about 9 m below ground surface (bgs). Although silt was encountered in two boreholes located west of Eagle Bay Road, deep fine to medium sand was consistently present throughout most of the property.

Soils in the proposed septic treatment and infiltration area were further observed during a site visit conducted by Franklin and WGI on May 5, 2015. Three test pits were excavated in the western part of the treatment and infiltration area (Figure 1). The test pits extended to between 1.2 and 1.6 m bgs, and encountered fill soil overlying former topsoil and brown fine sand. This sand was damp with increasing density with depth. A dense silt and clayey silt layer was encountered at the bottom of each test pit, likely the same horizon as that encountered in the drilling program. Bedrock was not observed in the resort area during the field observations nor by the drilling and test pit program.

No groundwater was observed in the test pits however the near-surface soil included scattered red-brown mottling, indicative of seasonal saturated conditions. Groundwater was encountered in the infiltration area boreholes between approximately 3.2 and 3.6 m bgs, which is below the silt and clay layer encountered in the test pits.

The ground surface in the infiltration area slopes down to the west towards Shuswap Lake at an approximately 5% slope. As such, shallow groundwater flow likely follows surface topography with flow to the west towards Shuswap Lake.

Schedule D - DP 725-62 Hydrogeology Assessment (cont'd.)

WGI Project 15-020
CSRD DPA Hydrogeological Evaluation – Finz Resort Property

Importantly, no evidence of groundwater seepage or standing water was observed in the infiltration area nor along the lake beach front which should be the local groundwater discharge area. This finding indicates good infiltration characteristics.

Field observations, and test pit and drilling findings indicate that although clay and silty clay was encountered at relatively shallow depths west of the infiltration area, this horizon was not encountered in the remainder of the infiltration area which suggests it is not continuous across the property and thus should not affect RIB performance.

Although no information regarding soils into which the RIBs were constructed is available, based on the test pit and borehole findings the RIBs are designed to discharge into deep sand which will have excellent infiltration characteristics. This finding explains why seepage or odors from the Type 1 effluent have not historically been observed at the ground surface in the RV or downgradient area.

Based on information provided by Finz, potable water for the property is obtained from two surface water sources located offshore in water at least 12.5 m deep. The adjacent properties to the north and south also obtain potable water from Shuswap Lake. Online water supply mapping provided by the BC Ministry of Environment (MoE) shows only one surface point of diversion (POD) (Z123769) located off the resort shore. This POD was apparently submitted to support a heat exchanger and was refused. POD F01561 is shown for the adjacent property to the north, while two PODs, both listed as F038737, are shown for the adjacent property to the south.

Using records available from the online MoE water well database, the closest water well (Well ID 82694) is located approximately 115 m south and hydraulically cross-gradient to the resort property. This well was drilled to about 26.5 m below ground surface (bgs) and encountered silty sand, sand and gravel with rocks. Bedrock was not encountered. Static water level in this well was reported at 9.1 m bgs and the well was reported to produce about 1.5 L/s (25 US GPM). The next closest well is located approximately 173 m south of the resort. Well 27157 was drilled to 18.3 m bgs and encountered shale bedrock at 17.4 m bgs. This sand and gravel well produced approximately 0.6 L/s (10 US GPM) however the static water level was not reported.

No overburden aquifers have been mapped by MoE for the resort area, however bedrock Aquifer 233 is mapped for the hillside east of the resort area. This low productivity, low demand and moderate vulnerability aquifer is primarily used for domestic purposes.

SEPTIC AND STORMWATER DISPOSAL SYSTEM EFFECTS ON POTABLE AND LAKE WATER QUALITY

As noted above, septic effluent produced by the proposed Ecofluid Type 3 system will be of very high quality with BOD₅ (5-day biological oxygen demand) and TSS (total suspended solids) concentrations at 10 mg/L or less. The advance treatment system will also reduce fecal coliform concentrations to less than 400/ mL. Any remaining coliforms in the effluent will commonly bind to soil particles, fine-grained materials, and organic matter within the first meter or two from the surface (Brown, et al 1979). Numerous studies have shown that coliforms do not survive longer than a few weeks in groundwater (Health Canada, 2006).

Schedule D - DP 725-62 Hydrogeology Assessment (cont'd.)

WGI Project 15-020
CSRD DPA Hydrogeological Evaluation – Finz Resort Property

The most significant constituents in sewage effluent from properly constructed and operated Type 3 onsite treatment and disposal systems include low concentrations of nitrogen (as nitrate) and phosphorus along with small concentrations of biological and other constituents. Most phosphorus is retained in activated waste sludge and is effectively removed by settling and subsequent tank pumping. Phosphorus that is discharged to the environment is quickly precipitated or adsorbed in soil, such that most to almost all discharged phosphorus is eliminated from effluent no more than a few meters from the infiltration area, even after years of effluent disposal (Scope, 2006). Concentrations of other waste water constituents commonly decline due to aerobic and anaerobic biodegradation and by adsorption onto mineral surfaces in the unsaturated zone and in groundwater.

The proposed septic system's concrete treatment and equalization tanks will be constructed without seams joining the tank's sides and floor. This construction method significantly minimizes the potential for leakage. The only potential pathway for leaks would be from cracks through the tank wall or from piping connections, which are highly unlikely to occur under normal operating conditions.

In the unlikely event that effluent leakage occurs, the aerated silty sand soil will limit any negative effects on lake water quality as the treatment and disposal system's distances from Shuswap Lake are well beyond the 30 m minimum setback distance stipulated in SPM Ver. 3 Table II-19.

Stormwater runoff from the resort building roofs is routed directly to ground via roof drains, which then discharge to splash pads. Construction of a small treatment building (Figure 1) will not significantly increase the stormwater runoff volume. As this runoff originates solely from building roofs, this runoff is not contaminated and no potential effects on Shuswap Lake water quality is expected from infiltration of this runoff.

CONCLUSIONS

Therefore, although the upgraded septic system will be situated within the 100 m distance stipulated in CSRD Bylaw 725, it is my professional opinion that construction, installation and operation of the treatment system upgrades will not negatively impact Shuswap Lake water quality.

Proper septic system design and operation, very high quality effluent, low hydraulic loading rate, good soil characteristics, relatively deep groundwater, seasonal occupancy, good residential housekeeping practices and long distance to the lake shoreline will ensure that local groundwater and downgradient lake water will not be affected by septic operation and no health or environmental impacts will result from long-term treated effluent disposal into ground.

It is important to note that over time, operation of the proposed membrane treatment system will substantially improve groundwater quality in the resort area vicinity. Concentrations of all potential contaminants will decline as "cleaner" water gradually displaces the older, poorer quality water. As this water eventually migrates to and discharges from the westerly lake shore, lake water quality adjacent to the resort will gradually improve.

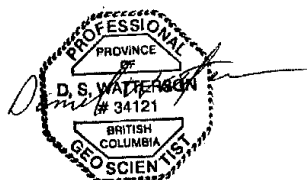
Schedule D - DP 725-62 Hydrogeology Assessment (cont'd.)

WGI Project 15-020
CSRD DPA Hydrogeological Evaluation – Finz Resort Property

In addition, the minimal increase in runoff volume and implementing proper stormwater management and disposal practices should minimize the potential for stormwater to compromise local groundwater and downslope surface water quality.

Please be advised that I am a member in good standing in the Association of Professional Engineers and Geoscientists of British Columbia (APEGBC) and I am acting within my area of expertise. This assessment has been carried out in accordance with generally accepted engineering and environmental practice. In preparing this analysis I have relied in good faith on information provided by others, the accuracy of which I cannot attest. Please contact the undersigned if you have any questions or wish to discuss any aspect of this report.

Watterson Geoscience Inc.



Daniel Watterson, P.Geo. (BC, AB), LHG (WA)
Principal Hydrogeologist

References

BC Ministry of Environment. BC Water Resources Atlas.

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BC Onsite Sewage Association. Sewerage System Standard Practice Manual Version 2. September 2007, updated 2010.

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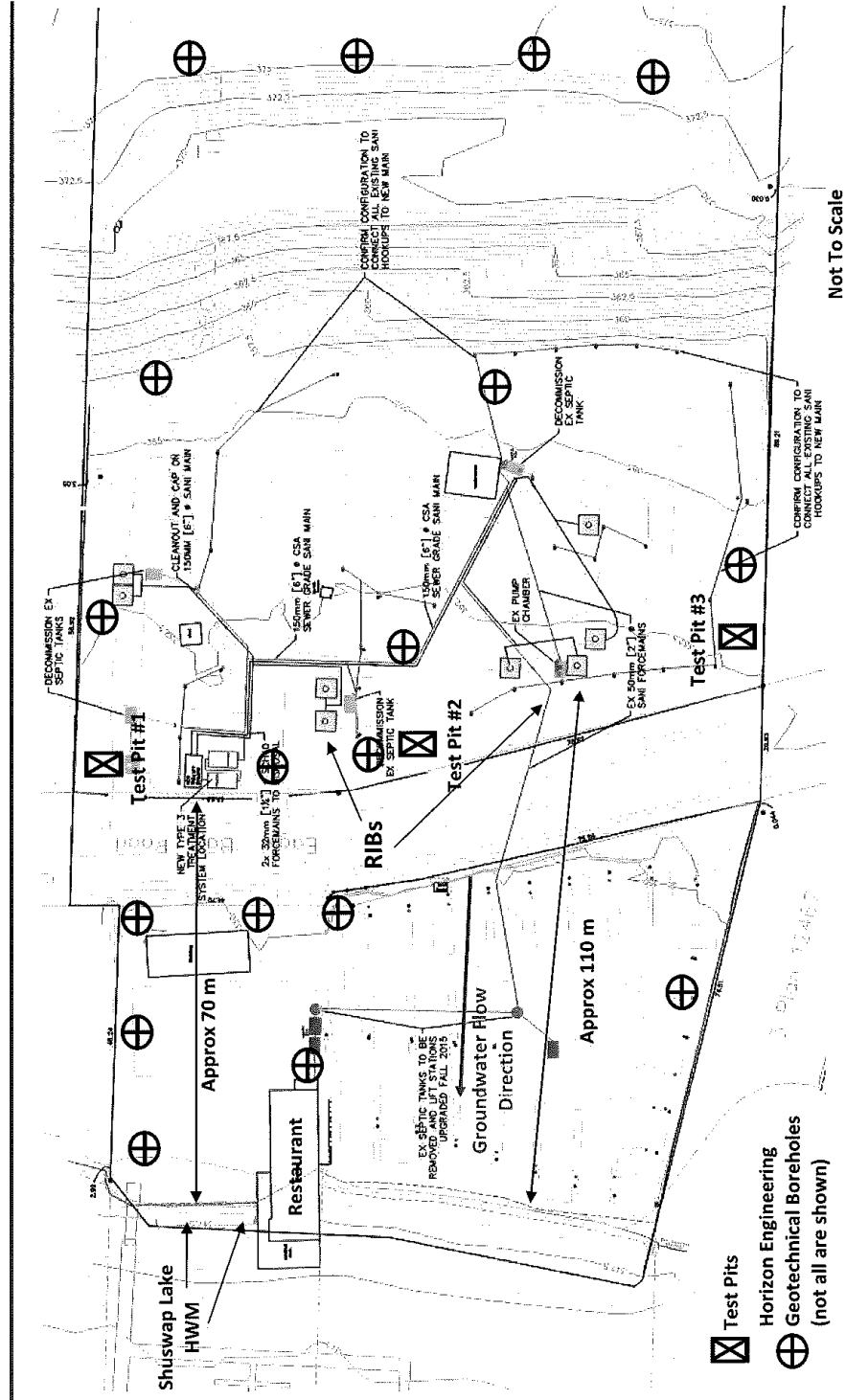
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685 Pheasant Road, Vernon, BC V1B 3B1 | Ph: 250-550-8560
www.wattersongeoscience.com | dan@wattersongeoscience.com

Watterson Geoscience Inc.
Groundwater Consulting Services

Schedule D - DP 725-62
Hydrogeology Assessment (cont'd.)



Waterson Geoscience Inc. Groundwater Consulting Services	CSRD DPA Hydrogeological Assessment Onsite Treatment and Disposal System Upgrades	Site Layout Project No. 15-020 Figure 1
Source: Franklin Eng. Drawing No. 15-031-2	Client: Finz Resort	

Schedule E - DP 725-62
Sewerage System Design Brief and Plans

FRANKLIN ENGINEERING LTD.

PO Box 2590, 420A 4th Street NE
Salmon Arm, BC V1E 4R5
Phone 250.832.8380

June 4, 2015

FINZ RV RESORT DESIGN BRIEF

RE: Sewage Disposal System for 1992 Eagle Bay Road, Blind Bay, BC

Roll #: 20-789-08185.000

Legal: Lot 1, Plan KAP10444, Sec 17, Twp 22, R 10 W6M LD 25 exc plan 13281

Note: This filing is for upgrades to on-site pre-treatment, from Type 1 to Type 3.

A. Design Daily Flow for the Site = 22500 LPD or 4950 IGPD based on a 175-seat restaurant @ 60 LPD per seat and 40 RV sites @ 300 LPD per site.

B. General characteristic of the site: A large, treed and open campground at the foot of a steep hillside, across Eagle Bay Rd from Shuswap Lake.

C. Soils Assessment:

Soil Profile #1:

- 0 to 500mm – Topsoil, loam with organics, roots of grasses and shrubs, structureless, dry.
- 500mm to 2000mm – Sand of a fair structure and consistence.

Soil Profile #2:

- 0 to 500mm – Topsoil, loam with organics, roots of grasses and shrubs, structureless, dry.
- 500mm to 1500mm – Sand of a fair structure and consistence.

D. Pre-treatment consists of a Type 3 Membrane Bioreactor manufactured by Toray, installed by EcoFluid.

Anticipated effluent quality standards:

BOD: <10 mg/L

TSS: <10 mg/L

FC: <400 CFU/100mL

E. Distribution System to consist of eight existing infiltration basins to disperse of Type 3 treatment effluent.

Infiltration basins meet the latest US EPA Class V standards, under specification 40 CFR 144.81 of 2004.

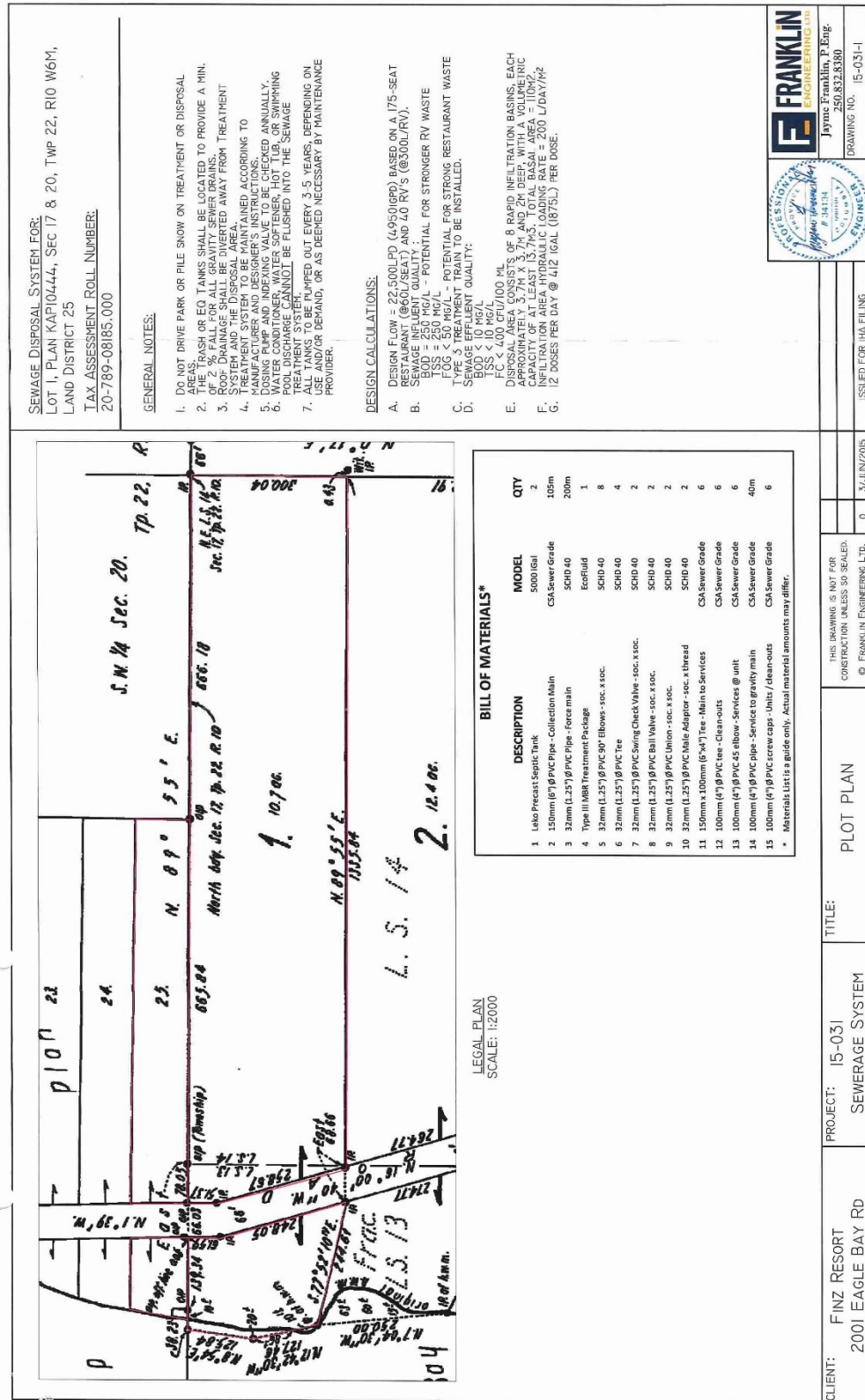
F. Storm Water Management: Drawing Notes address requirements for drainage to be diverted away from system and disposal area.



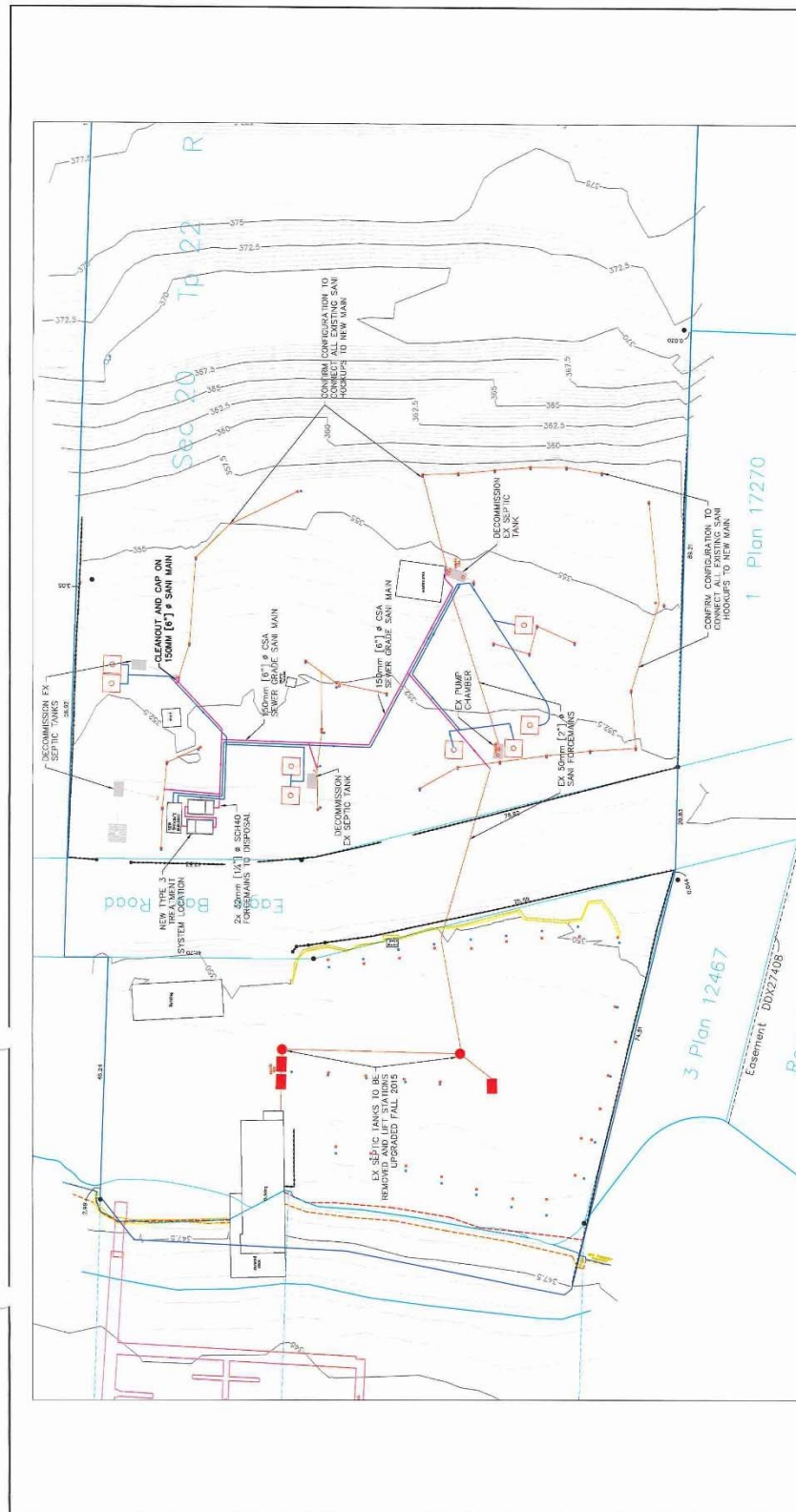
Jayme Franklin, P.Eng.
Franklin Engineering Ltd.

Job No. 15-031-S

Schedule E - DP 725-62
Sewerage System Design Brief and Plans (cont'd.)



Schedule E - DP 725-62
Sewerage System Design Brief and Plans (cont'd.)



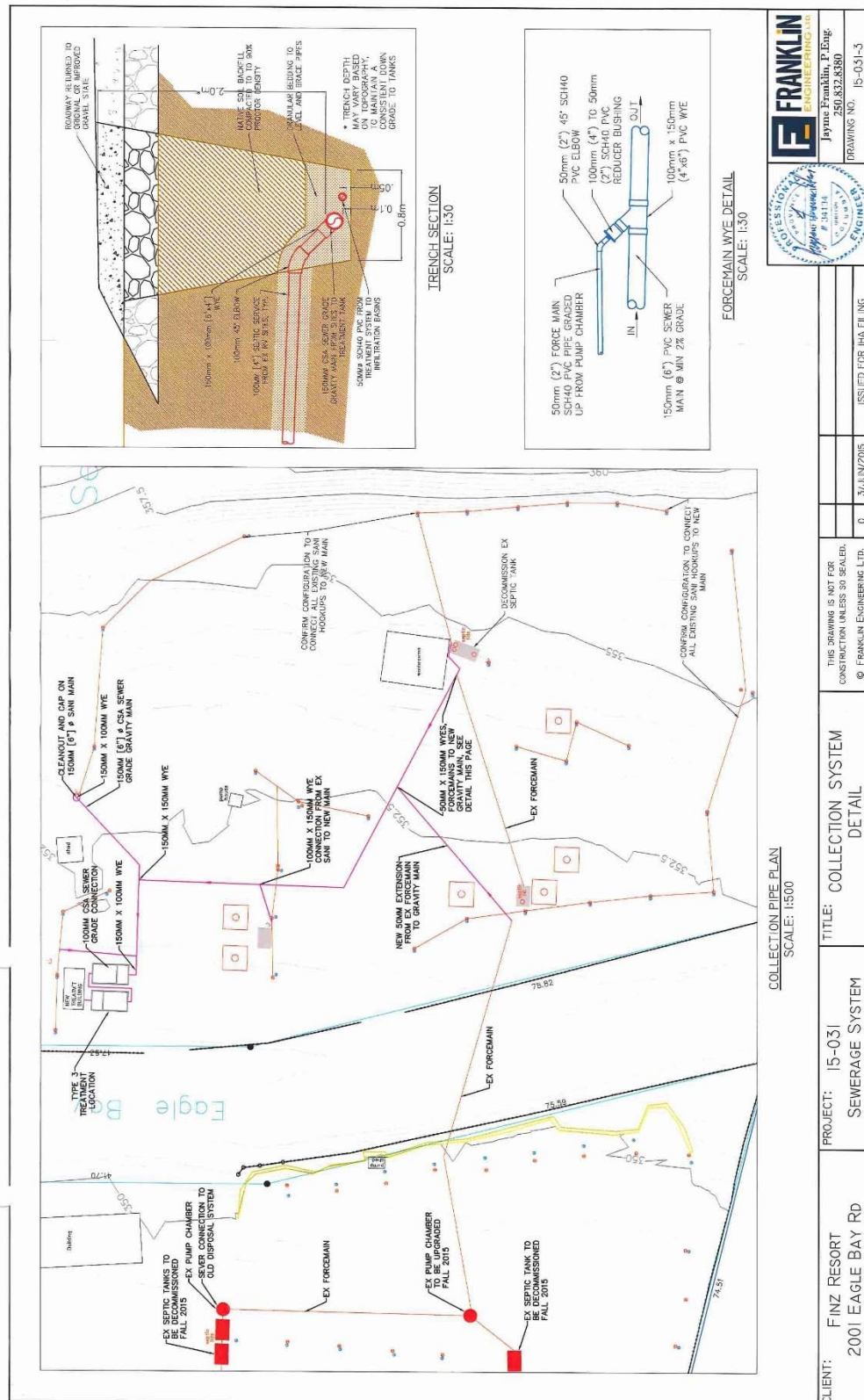
SITE PLAN
SCALE: 1:750



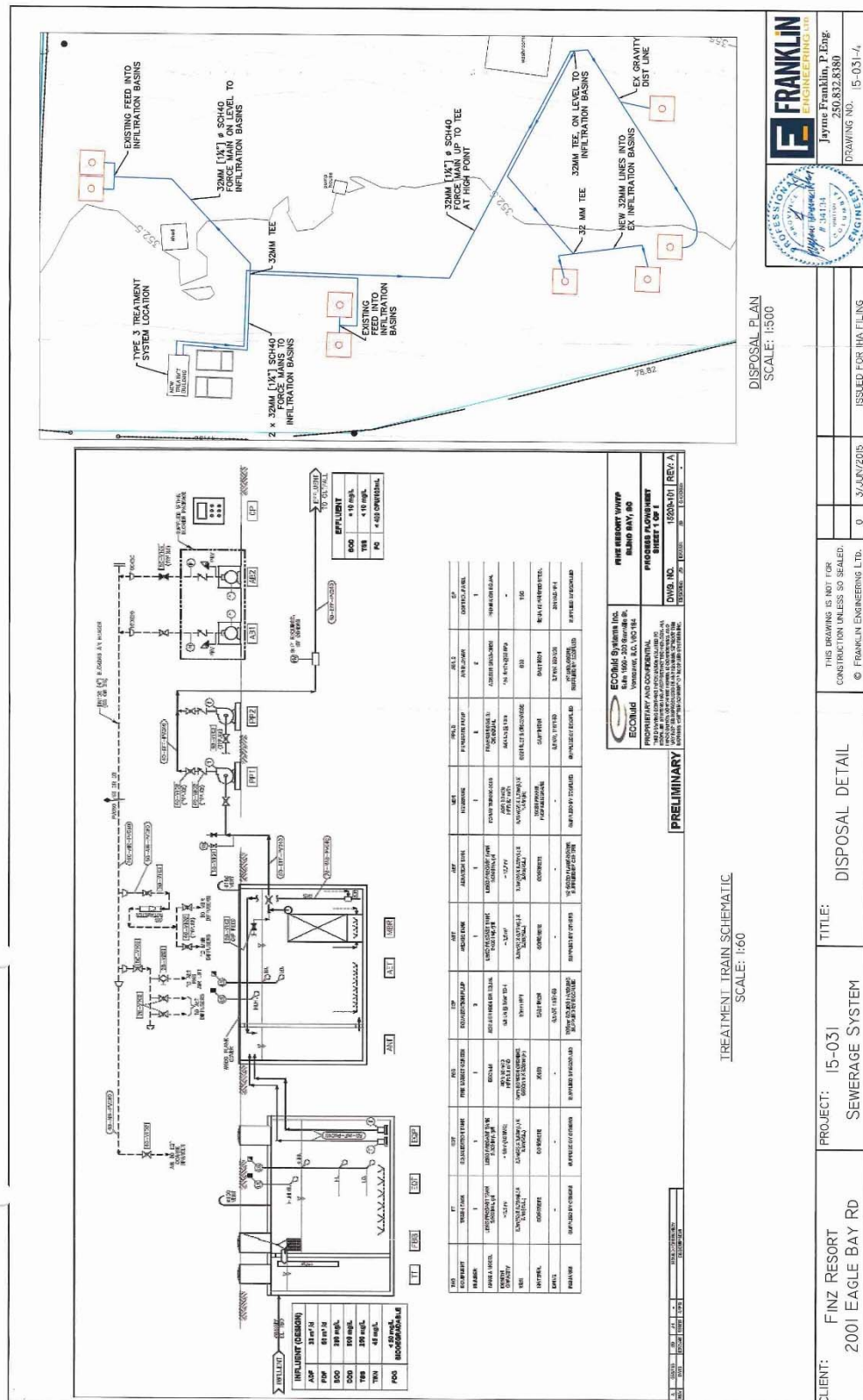
FRANKLIN
ENGINEERING LTD.
Jayme Franklin, P. Eng.
250,832,8380
DRAWING NO. IS-031-2

CLIENT: FINZ RESORT 2001 EAGLE BAY RD	PROJECT: IS-031 SEWERAGE SYSTEM	TITLE: SYSTEM LOCATION	THIS DRAWING IS NOT FOR CONSTRUCTION UNLESS SO SEALED © FRANKLIN ENGINEERING LTD.	0	3/JUN/2015	ISSUED FOR IHA FILING
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Schedule E - DP 725-62
Sewerage System Design Brief and Plans (cont'd.)



Schedule E - DP 725-62
Sewerage System Design Brief and Plans (cont'd.)





PO Box 2590, 416A 4th Street NE
 Salmon Arm, BC, V1E 4R5
 Phone 250.832.8380

Dan Passmore
 Columbia Shuswap Regional District
 555 Harbourfront Drive NE
 Salmon Arm, BC
 V1E 3M1

March 5th, 2019

RE: Comments regarding sewer capacity and cabin siding (Email dated February 20, 2019)

Dear Mr. Passmore,

Please accept this letter as a formal response to your questions via email on February 20, 2019. This letter will answer your questions regarding septic capacity, proposed siding on the new cabins, and the time of construction for the retail store.

The current septic system is a Type II treatment system by means of a Membrane Bio-Reactor (MBR) that was filed under the Sewerage System Regulation (SSR) in 2015. The allotted flowrate for that system is 22.5 m³/day. With flow data that is currently available to us, we are confident in saying that the current infrastructure at FINZ Resort is well under the allotted flowrate. The proposed addition of nine new duplex cabins will not exceed this threshold. Based on flow data from 2017 in the peak months (July and August), the average daily flowrate was 14.00 m³/day with a peak flow of 17.20 m³/day. Recently, there were 12 trailer sites removed. At 170 L/day/site, we can remove 2 m³/day from the daily contribution. With a remaining average daily flow of 10.5 m³/day, we can divide that amongst 18 units to leave 583 L/day per unit. This is equivalent to 194 L/day per person with 3 people to a home. The allotted amount for a cabin, as per the SSR is 225 L/day/person. To keep within our current filing conditions, we propose phasing the development by constructing the lower bench with 10 units first. Adding these 10 units will increase daily flow to 18.75 m³/day (calculated). Once these units are contributing to the daily sewerage flowrate, we can use the data collected to verify if we can finish the other eight units without going over the daily limit of 22.5 m³/day. Based on experience, the SSR is often over conservative and we are confident that all 18 units can be accommodated by the current system.

To answer your questions regarding the cabin finishing; the materials will be fir timber and Hardy Board with asphalt shingles.

The retail store building/office was constructed (prefabricated) in 2011/12.



PO Box 2590, 416A 4th Street NE
Salmon Arm, BC, V1E 4R5
Phone 250.832.8380

Please let me know what your thoughts are, and if you have any questions or comments you can send them to mike@franklinengineering.ca. Thank you.

Prepared by,

A handwritten signature in blue ink that reads 'Mike Casol'.

Mike Casol

Reviewed by,

A handwritten signature in blue ink that reads 'Jayme Franklin' is written over a circular professional engineer stamp. The stamp contains the text 'PROFESSIONAL ENGINEER', 'BRITISH COLUMBIA', and the number '#34134'.

Jayme Franklin, P.Eng

Dan Passmore

From: DA Salmon Arm TRAN:EX <DA.SalmonArm@gov.bc.ca>
Sent: Friday, February 22, 2019 4:07 PM
To: Dan Passmore
Subject: FW: DVP 701-88 (Finz) MoT file(s) 2017-04749 & 2017-06413
Attachments: 701-88 APCreport.pdf; Revised Access Permit-Finz Resort.pdf; 2017 Oct 3 (Finz) Site plan by Franklin Eng.pdf; 2017-06413 Commercial Access Permit for Finz

Hi Dan,

Sorry for the delay in responding. Thank you for the referral email, I will add this to our existing files:
 2017-04749 – CSRD Bylaw Text amendment
 2017-06413 – commercial access permit (revised permit & plan attached to permit AND fyi original permit & plan attached)

All new structures must be located outside of the provincial setback of the 4.5m from the road/property line. Any existing structures located within this setback must submit a *Provincial Public Highway Permit Application*
<http://www.th.gov.bc.ca/permits/Apply.asp>
 Information <http://www.th.gov.bc.ca/permits/Structures%20Permits.asp>

It is the land owners responsibility to contact the Ministry and submit a revised proposal for an access permit should the land use or layout be different then the existing Permit. The land owner must ensure they receive an access permit for the intended land use.
 Information <http://www.th.gov.bc.ca/permits/Highway%20Access%20Permits.asp#Commercial%20Access>

Please ensure your applicant is advised of the ministry requirements.

Thanks, Tara

If you have any questions please feel free to contact either
 Tara Knight 250-833-3374
 Elizabeth Keam 250-833-7404

Salmon Arm Development Approvals Team | BC Ministry of Transportation & Infrastructure
 850C - 16 Street NE | Box 100 Salmon Arm BC V1E 4S4 | T: 250-503-3664 | F: 250-833-3380
 E: DA.SalmonArm@gov.bc.ca | W: http://www.th.gov.bc.ca/Development_Approvals/home.htm

From: Dan Passmore [mailto:dpassmore@csrd.bc.ca]
Sent: Thursday, January 31, 2019 2:41 PM
To: Keam, Elizabeth TRAN:EX; Knight, Tara TRAN:EX
Subject: DVP 701-88

Good Afternoon;
 I have attached a brief report on a development variance permit application we have received from Finz Resort. You will note that the DVP is to reduce the front parcel line setback along the west side of Eagle Bay Road, for the existing store to 4.0 m.
 I wonder if you could provide referral comments on this DVP proposal.

Regards

Dan Passmore | Senior Planner


Development Services

Columbia Shuswap Regional District

T: 250.833.5915 | F: 250.832.3375 | TF: 1.888.248.2773

E: dpassmore@csrd.bc.ca | W: www.csrd.bc.ca



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This e-mail is CONFIDENTIAL. If you are not the intended recipient, please notify me immediately and delete this communication, attachment or any copy. Thank you.



**BRITISH
COLUMBIA**

Ministry of Transportation
and Infrastructure

Permit/File Number: 2017-06413

Office: Salmon Arm Area Office

PERMIT TO CONSTRUCT, USE, AND MAINTAIN ACCESS TO A PROVINCIAL PUBLIC HIGHWAY

PURSUANT TO TRANSPORTATION ACT AND/OR THE INDUSTRIAL ROADS ACT AND/OR THE MOTOR VEHICLE ACT AND/OR AS DEFINED IN THE NISGA'A FINAL AGREEMENT AND THE NISGA'A FINAL AGREEMENT ACT.

BETWEEN:

The Minister of Transportation and Infrastructure
Salmon Arm Area Office
Bag 100
850C – 16th Street NE
Salmon Arm, BC V1E 4S4

("The Minister")

AND:

Finz Resort Inc.
2001 Eagle Bay Road
Blind Bay, BC V0E 1H1

("The Permittee")

WHEREAS:

- A. The Minister has the authority to grant permits for the auxiliary use of highway right of way, which authority is pursuant to both the Transportation Act and the Industrial Roads Act, the Motor Vehicle Act, as defined in the Nisga'a Final Agreement and the Nisga'a Final Agreement Act;
- B. The Permittee has requested the Minister to issue a permit pursuant to this authority for the following purpose:

The installation, operation, and maintenance of two (2) nine metre commercial accesses for a 45 site campground on the east side of Eagle Bay Road and two (2) 9 metre "restricted" commercial accesses for 9 RV Sites, 110 slip Marina and 214 Seat Restaurant/Patio on the west side of Eagle Bay Road to serve property legally described as Lot 1, Sec. 17 & 20, Tp.22, R.10, W6M, KDYD, Plan EPP51931 located at 2000 and 2001 Eagle Bay Road, as shown on drawing 16-134 SP-01 Rev. 1., dated October 3, 2017, prepared by Franklin Engineering Ltd.

- C. The Minister is prepared to issue a permit on certain terms and conditions;

ACCORDINGLY, the Minister hereby grants to the Permittee a permit for the Use (as hereinafter defined) of highway right of way on the following terms and conditions:

1. The Minister shall designate an official ("the Designated Ministry Official") who shall act as the Minister's agent in the administration of this permit in the manner hereinafter set out.
2. The Use shall be carried out according to the reasonable satisfaction of the Designated Ministry Official.
3. The Permittee will at all times indemnify and save harmless Her Majesty the Queen in Right of the Province of British Columbia, as represented by the Minister of Transportation and Infrastructure, and the employees, servants, and agents of the Minister from and against all claims, demands, losses, damages, costs, liabilities, expenses, fines, fees, penalties, assessments and levies, made against or incurred, suffered or sustained by any of them, at any time or times (whether before or after the expiration or termination of this permit) where the same or any of them are sustained in any way as a result of the Use, which indemnity will survive the expiration or sooner termination of this permit.
4. The Permittee shall make diligent attempts to determine if there are other users of the right of way in the vicinity of the Permittee's location whose use may be affected. It shall be the responsibility of the Permittee to contact any such users before exercising any of the rights granted hereunder and to attempt to reach an accommodation.
5. The Minister shall take reasonable care to do as little damage or interference, as possible, to any Use authorized by this permit in the carrying out of the construction, extension, alteration improvement, repair, maintenance or operation of any work adjacent thereto, but the Minister shall not be responsible for any damage regardless.



6. The Minister at the absolute discretion of the Minister may, at any time, cancel this permit for any reason upon giving reasonable notice; provided, however, that in the case of default by the Permittee or in the case of an emergency no notice shall be necessary. The Minister shall not be liable for any loss incurred as a result of permit cancellation.
7. Placing of speed arresters on the access (or accesses) or in the Permittee's property without the prior consent in writing of the Designated Ministry Official shall render the permit void.
8. The Permittee shall be responsible for replacing any survey monuments that may be disturbed or destroyed by the Use. Replacement must be by a British Columbia land surveyor at the Permittee's expense.
9. The Permittee shall remove any mud, soil, debris, or other foreign material tracked onto the highway from the access authorized herein. Such removal shall be at the Permittee's expense and shall be done at any time the material unduly inconveniences traffic and, in any event, daily.
10. The Permittee acknowledges that the issuance of this permit by the Minister is not a representation by the Minister that this permit is the only authority needed to carry out the Use. The Permittee shall give deference to any prior permission given for use of the right of way in the vicinity of the permit area, shall obtain any other permission required by law, and shall comply with all applicable laws regardless of their legislative origin.
11. At the end of the term of this permit, or when the permit is cancelled or abandoned, the Permittee shall, if so requested by the Minister, remove all installations and shall leave the site as near as reasonably possible in the condition it was in before this permit was issued or such other condition as shall reasonably be required by the Designated Ministry Official. If the Permittee refuses to comply with these obligations, the Minister may perform them as required and the Permittee shall be liable to the Minister for the costs of doing so.
12. The rights granted to the Permittee in this permit are not assignable without the consent of the Minister.
13. As a condition of this permit, the permittee unconditionally agrees with the Ministry of Transportation and Infrastructure that the permittee is the prime contractor or will appoint a qualified prime contractor, as described in Section 118 of the Workers Compensation Act, for the purposes of the work described by this permit, at the work location described in this permit, and that the permittee or designated prime contractor will observe and perform all of the duties and obligations which fall to be discharged by the prime contractor pursuant to the Workers Compensation Act and the Occupational Health and Safety Regulation.
14. The permittee is advised and acknowledges that the following hazards may be present at the work location and need to be considered in co-ordinating site safety: overhead hazards, particularly electrical or telecommunications lines; buried utilities, particularly electrical, telecommunication, and gas lines; traffic, danger trees, falling rocks, and sharp or infectious litter.
15. Any works within the Ministry right-of-way that fall within the scope of "engineering" under the Engineers and Geoscientists Act will be performed by a Professional Engineer, and shall comply with this Ministry's "Engineer of Record and Field Review Guidelines". The Guidelines can be viewed on the Ministry's website at <http://www2.gov.bc.ca/assets/gov/driving-and-transportation/transportation-infrastructure/engineering-standards-and-guidelines/technical-circulars/2009/t06-09.pdf>
16. The permittee is responsible for preventing the introduction and spread of noxious weeds on the highway right-of-way as defined by the British Columbia Weed Control Act and Weed Control Regulation.
17. The Use shall be carried out according to the following drawings and specifications, which are attached and shall be considered to be part of this permit:

Drawing 16-134 SP-01 Revision 1, dated October 3, 2017 prepared by Franklin Engineering and Sketch Plan submitted on May 10, 2018.
18. (a) The rights granted under this permit shall not be exercised before June 4, 2018.
(b) The Construction and Installations must be completed on or before September 4, 2018.

A. LOCATION

19. Finz Resort - Lot 1, Sec. 17 & 20, Tp.22, R.10, W6M, KDYD, Plan EPP51931 located at 2000 and 2001 Eagle Bay Road.

B. CONSTRUCTION AND INSTALLATIONS:

20. The Permittee shall take all reasonable precautions to attempt to ensure the safety of the public in connection with the Use. In particular, but not so as to limit this obligation, the Permittee shall, if so required by the Designated Ministry Official on reasonable grounds, prepare and implement a traffic control plan. The contents of the plan and the manner in which it is implemented must meet the reasonable satisfaction of the Designated Ministry Official.
21. The Permittee shall, at his cost, supply, erect, and maintain standard traffic control devices in accordance with the Ministry of Transportation and Infrastructure Traffic Control Manual for Works on Roadways and Occupational Health and Safety Regulation.



BRITISH
COLUMBIA

Ministry of Transportation
and Infrastructure

Permit/File Number: 2017-06413

Office: Salmon Arm Area Office

22. That before opening up any highway or interfering with any public works, written notice of intention to do so must be given to the Designated Ministry Official at least two (2) weeks before the work is begun.
23. The accesses on the west side of Eagle Bay Road shall be graveled to an extent satisfactory to the Designated Ministry Official to prevent the tracking of mud and soil onto the highway surface.
24. The access to the east side of Eagle Bay Road shall be paved to the satisfaction of the Designated Ministry Official.
25. The access (or accesses) shall be constructed with a 450mm culvert pipe (if and when required) manufactured to CSA or ASTM standards and laid at ditch invert elevation. Maintenance and periodic cleaning of this culvert is the responsibility of the Permittee.
26. The profile of the access (or accesses) shall not exceed 2% grade from the ditchline for a distance of at least 10 metres as measured away from the highway along the centerline of the access.
27. The Permittee shall provide off-street parking in the amount of 159 stalls.
28. Access to be constructed at 90 degrees to the highway for a distance of 10 metres from the highway shoulder.

C. AUTHORIZED ACTIVITIES

The accesses on the west side of Eagle Bay Road shall be restricted to the following movements only – **Right In Only (north access) and Right/Left Out Only (south access)** and the Permittee shall construct and erect all necessary channelization, signs, and other traffic-control devices at his cost.

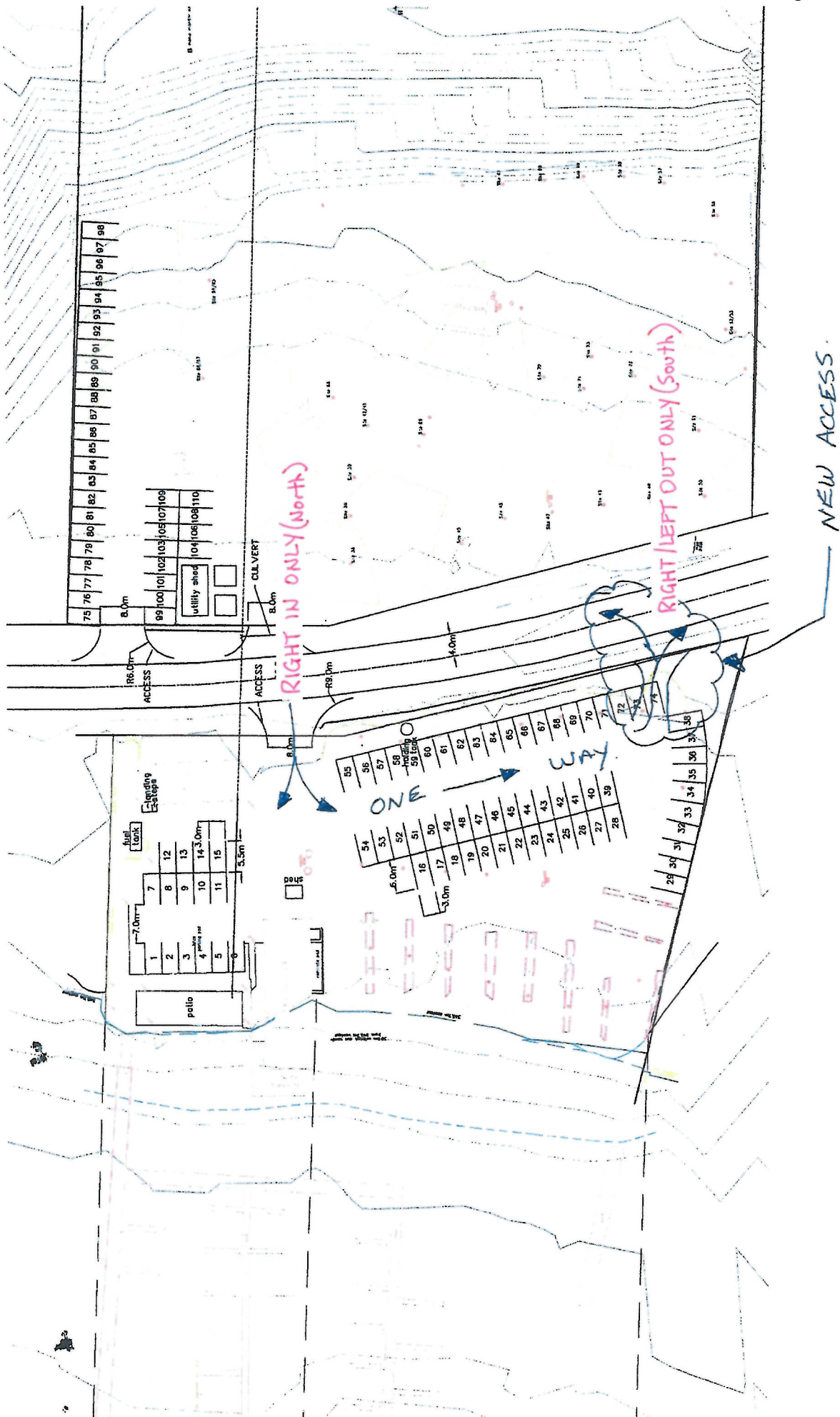
D. OPERATION AND MAINTENANCE

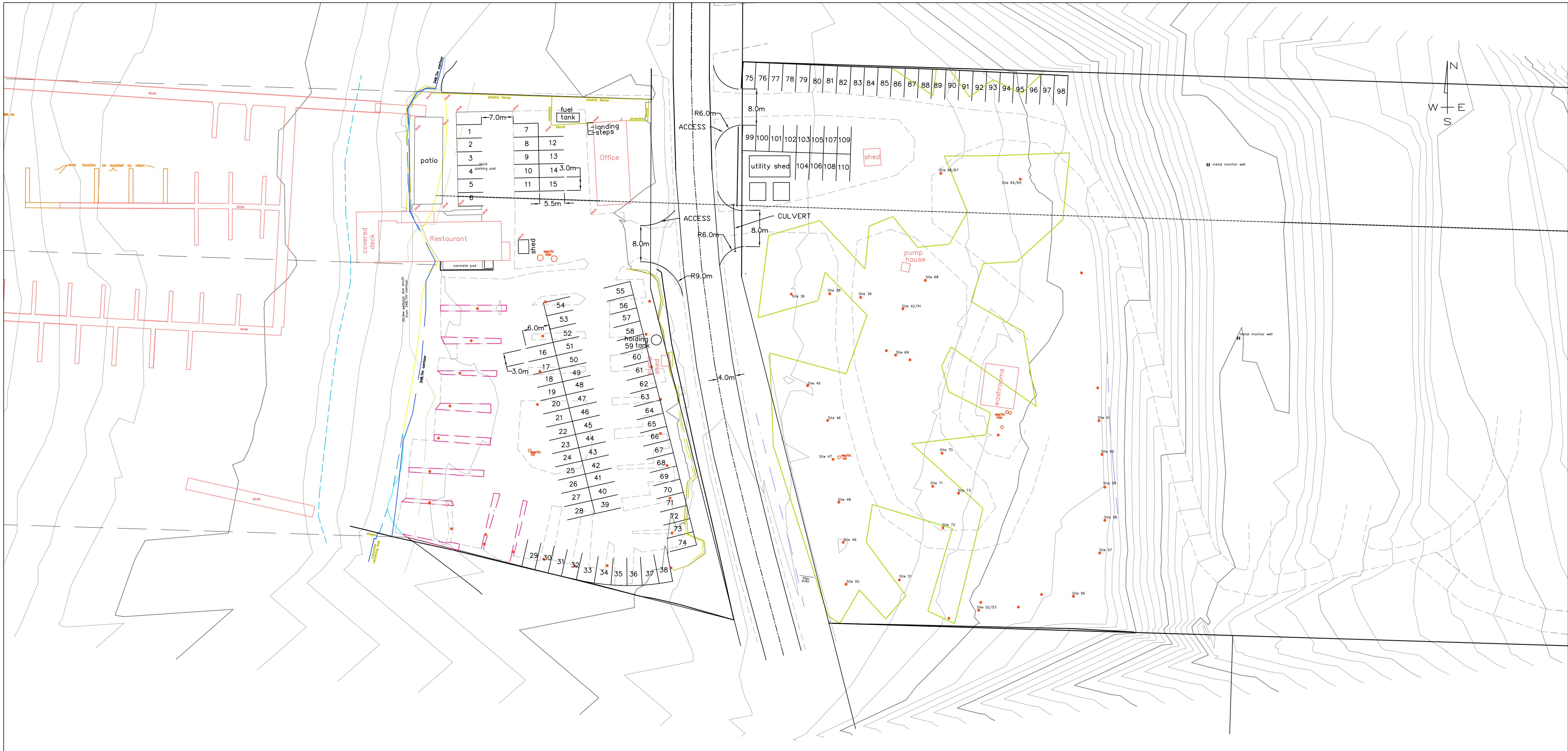
29. The Permittee will ensure that the works do not, impair, impede or otherwise interfere with;
 - I. public passage on the Highways;
 - II. the provision of highway maintenance services by the Province, or by its servants, contractors, agents or authorized representatives of the Province in connection with the Highways; or
 - III. the operation of the Highways;
30. That where the said works are in the proximity of any bridge, culvert, ditch or other existing work, such work shall be properly maintained and supported in such manner as not to interfere with its proper function, and on the completion of the said works any bridge, culvert, ditch or other existing work interfered with shall be completely restored to its original condition.
31. That when necessary all excavations, materials, or other obstructions are to be efficiently fenced, lit, and watched, and at all times every possible precaution is to be taken to ensure the safety of the public.

The rights granted to the Permittee in this permit are to be exercised only for the purpose as defined in Recital B on page 1.

Dated at Salmon Arm, British Columbia, this 4th day of June, 2018


On Behalf of the Minister of Transportation & Infrastructure





PARKING REQUIREMENTS		
FUNCTION	CSRD (REQUIRED)	DESIGN
RESTAURANT	1 per 10 m2 gross leasable area = 45 spots (446 m2).	55
MARINA	1 per 2 berths = 55 spots (110 berths).	55
CAMPING	1 per site = 48 spots (spot included in campsite).	48
TOTAL	148	159

LEGEND

EXISTING

HYDRO/TELEPHONE POLE

HYDRO/TELEPHONE POLE C/W DAVIT

TELEPHONE POLE

HYDRO POLE

HYDRO POLE C/W TRANS.

POST TOP STREET LIGHT

GUY

STORM MANHOLE

CATCH BASIN

GATE VALVE

SAN SANITARY SEWER

FORCE MAIN

WATER MAIN

GAS

UNDERGROUND TELEPHONE

FENCE

DECIDUOUS/EVERGREEN

HEDGE

ELEVATION

PROPOSED ELEVATION

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN

GATE VALVE

STM INSPECTION CHAMBER

SANI INSPECTION CHAMBER

SANITARY SEWER

STORM SEWER

WATER MAIN

GAS

TEL & CABLE TV

HYDRO

FIRE HYDRANT

FORCE MAIN

END CAP

WHEEL CHAIR RAMP

DRIVEWAY LETDOWN

SIGN BASE

CANADA POST MAIL BOX

BLOW OFF VALVE

WATER RUNOFF PATH

1	3/OCT/2017	ISSUED FOR INFORMATION	DMC	JJF
0	3/OCT/2017	ISSUED FOR INFORMATION	DMC	JJF
NO.	DATE	DESCRIPTION	BY	APP'D

REVISIONS

DESIGN: DMC

DRAWN: DMC

DATE: OCT 3 2017

CHECKED: JJF

SEAL

P.ENG: JAYME FRANKLIN

SCALE: 0 HORIZ. = 1:500 25.0

FRANKLIN ENGINEERING LTD.

250.832.8380 ■ www.franklinengineering.ca

FINZ

PROPOSED PARKING
PRELIMINARY SITE PLAN
LOT 1, PLAN EPP51931

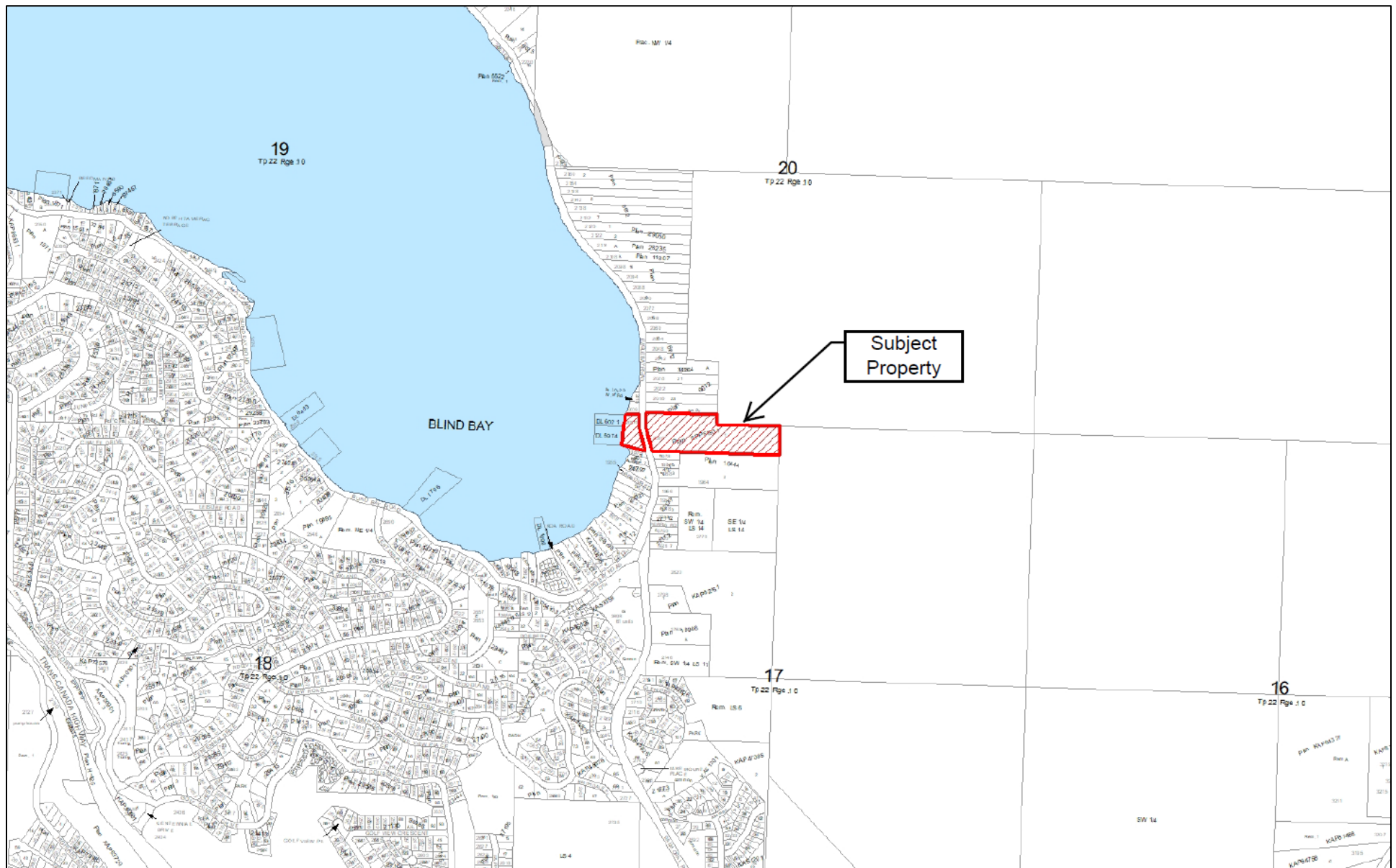
PROJECT No. 16-134

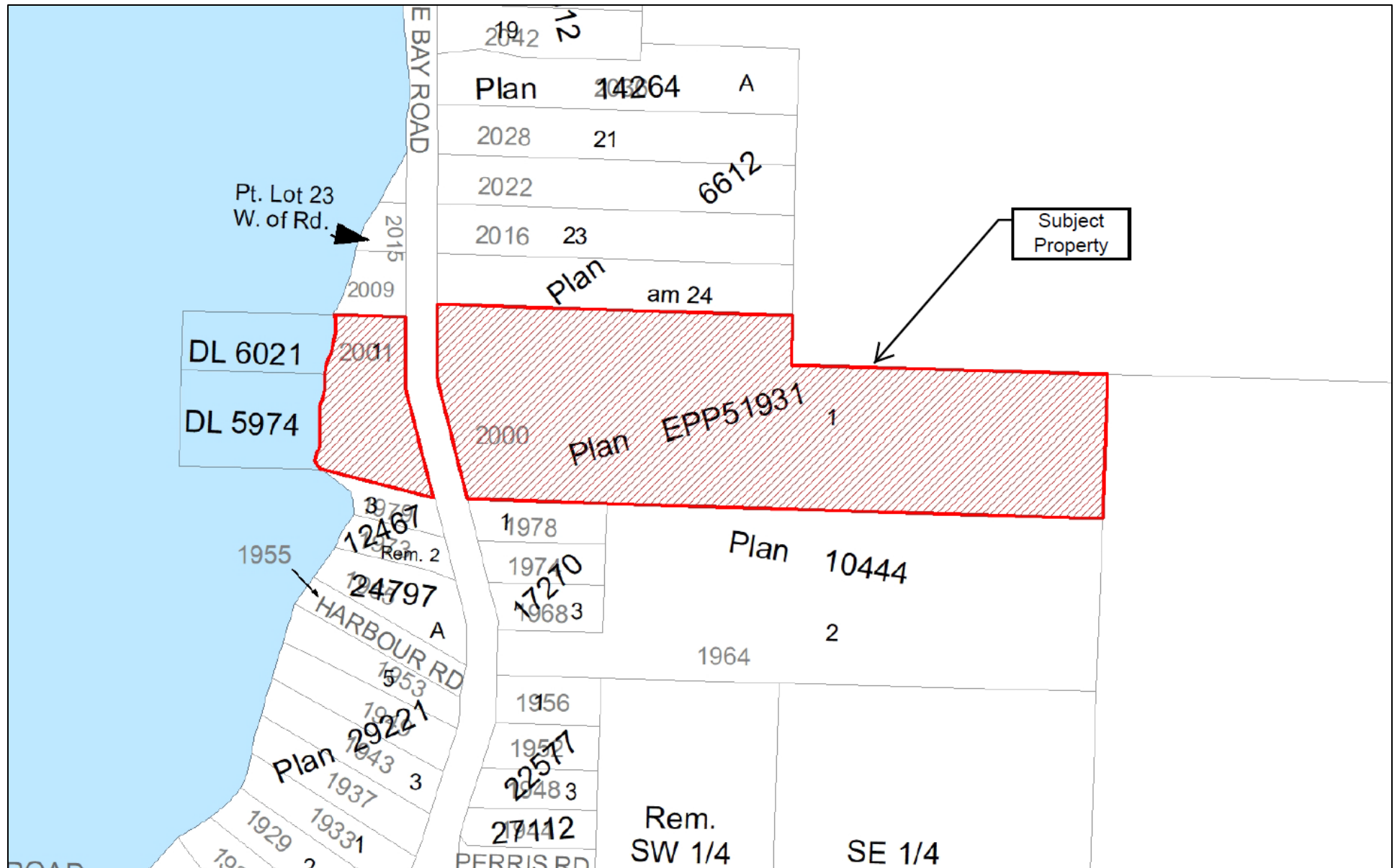
SHEET 1 OF 1

DWG. No. SP-01

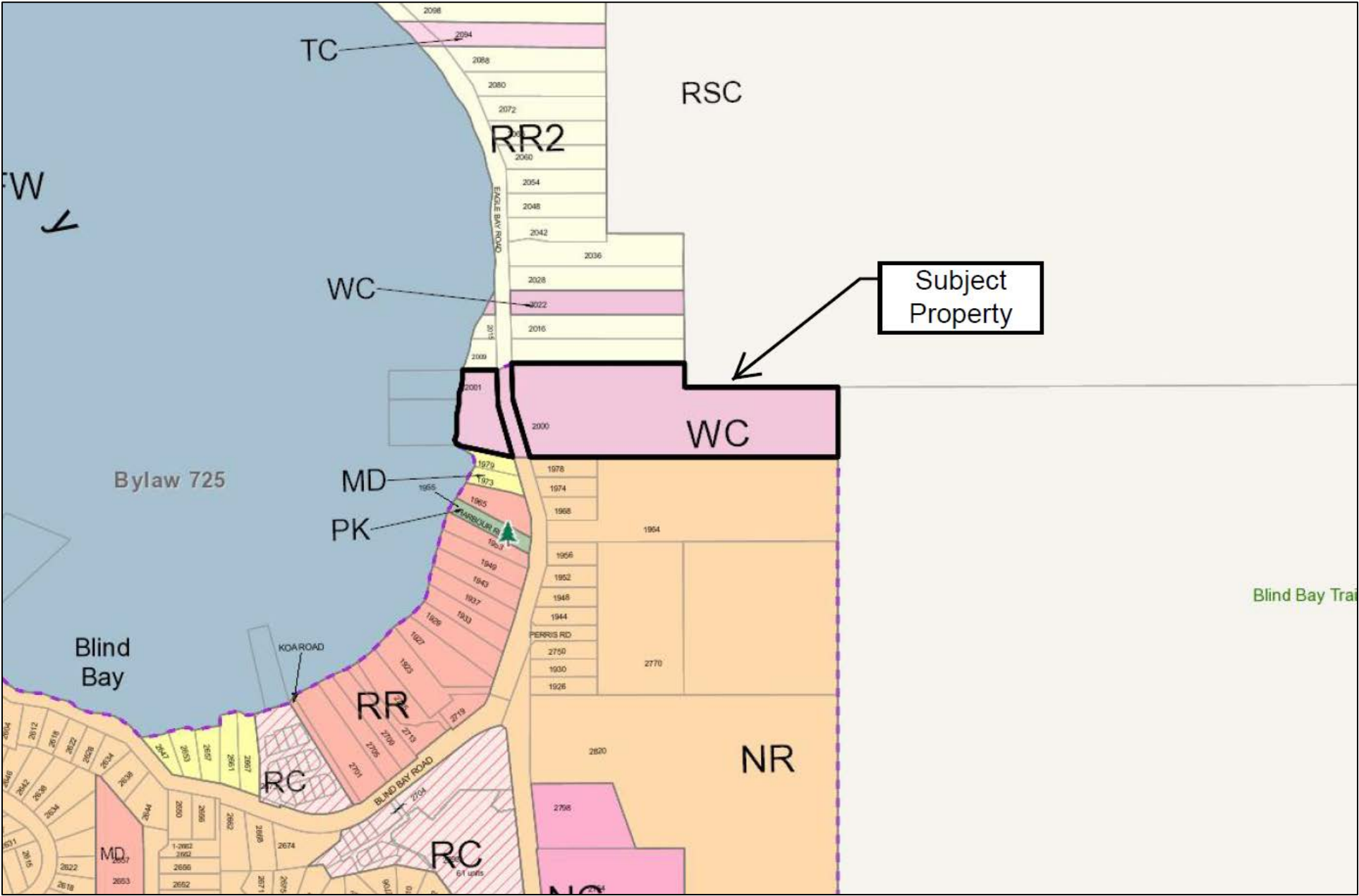
REV. No. 1

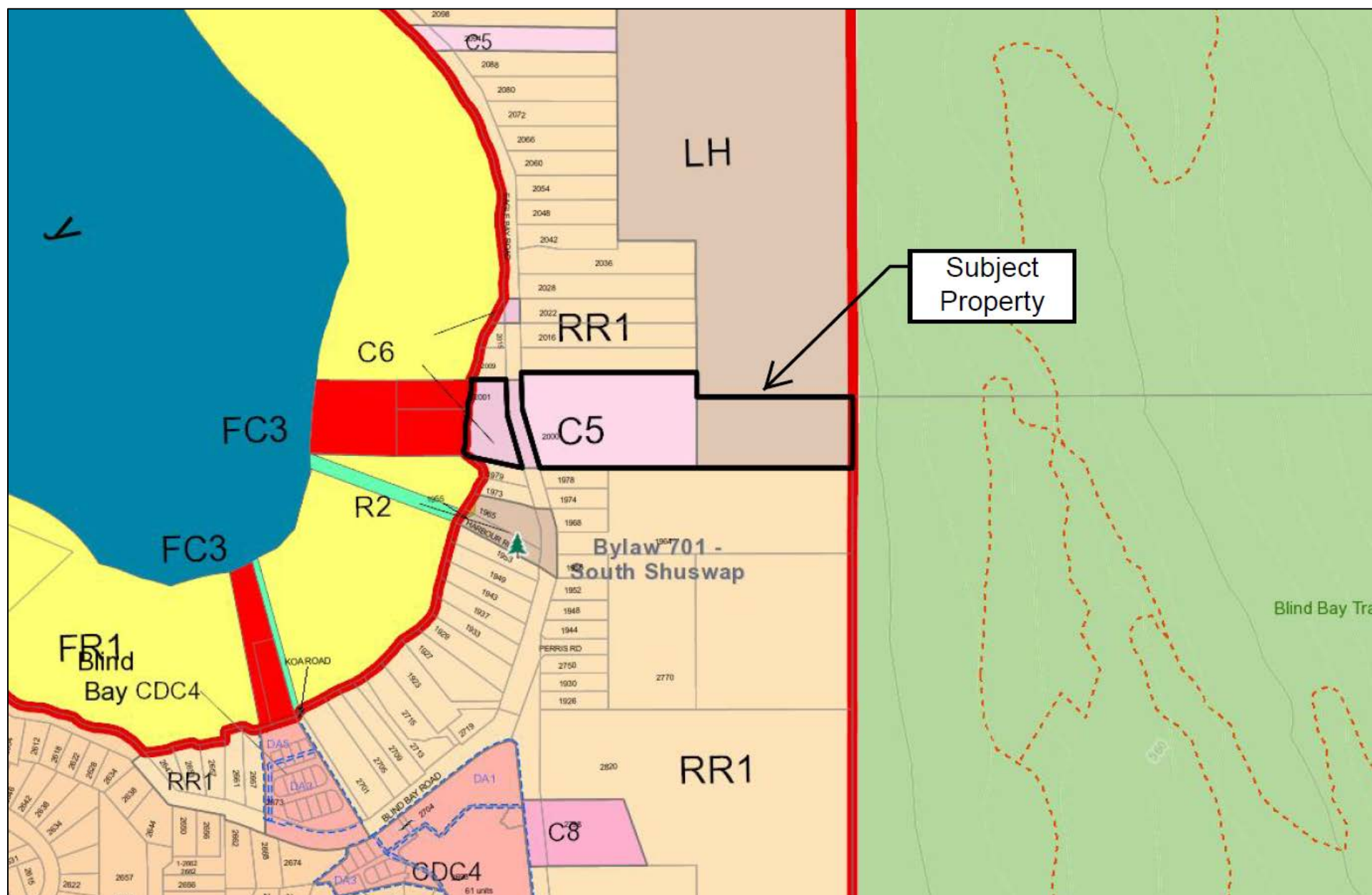
Location



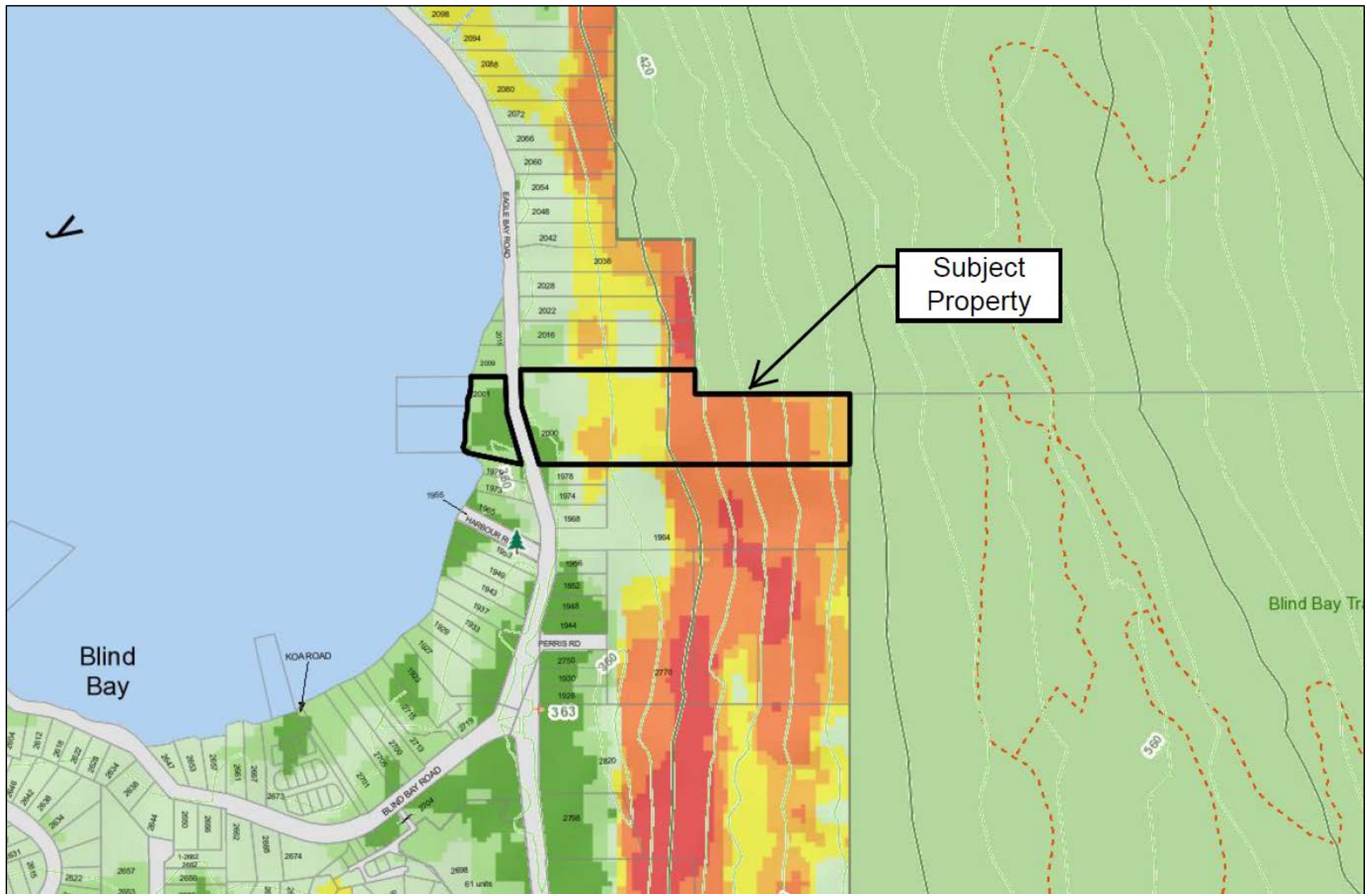


Electoral Area C Official Community Plan Bylaw No. 725

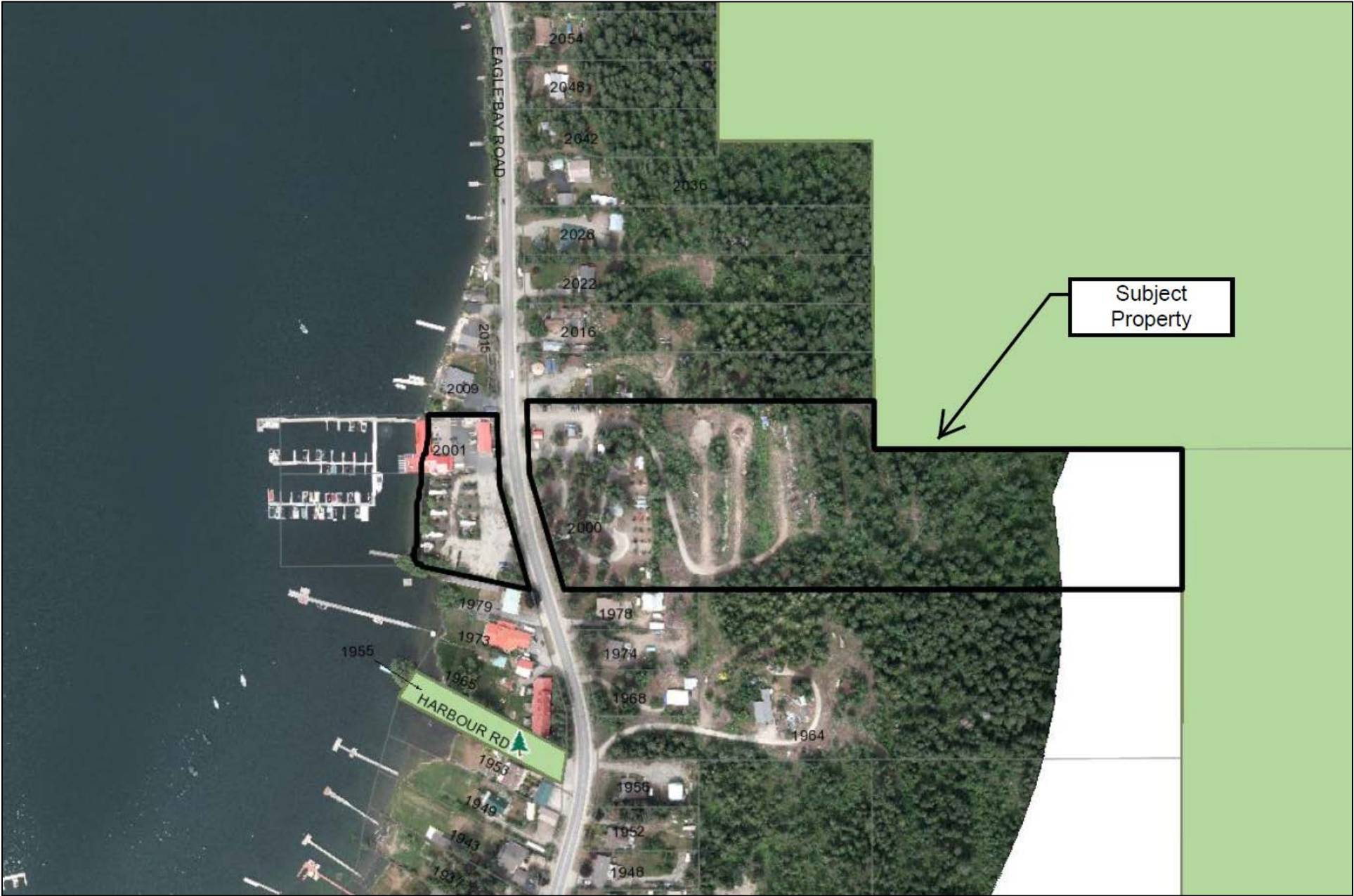




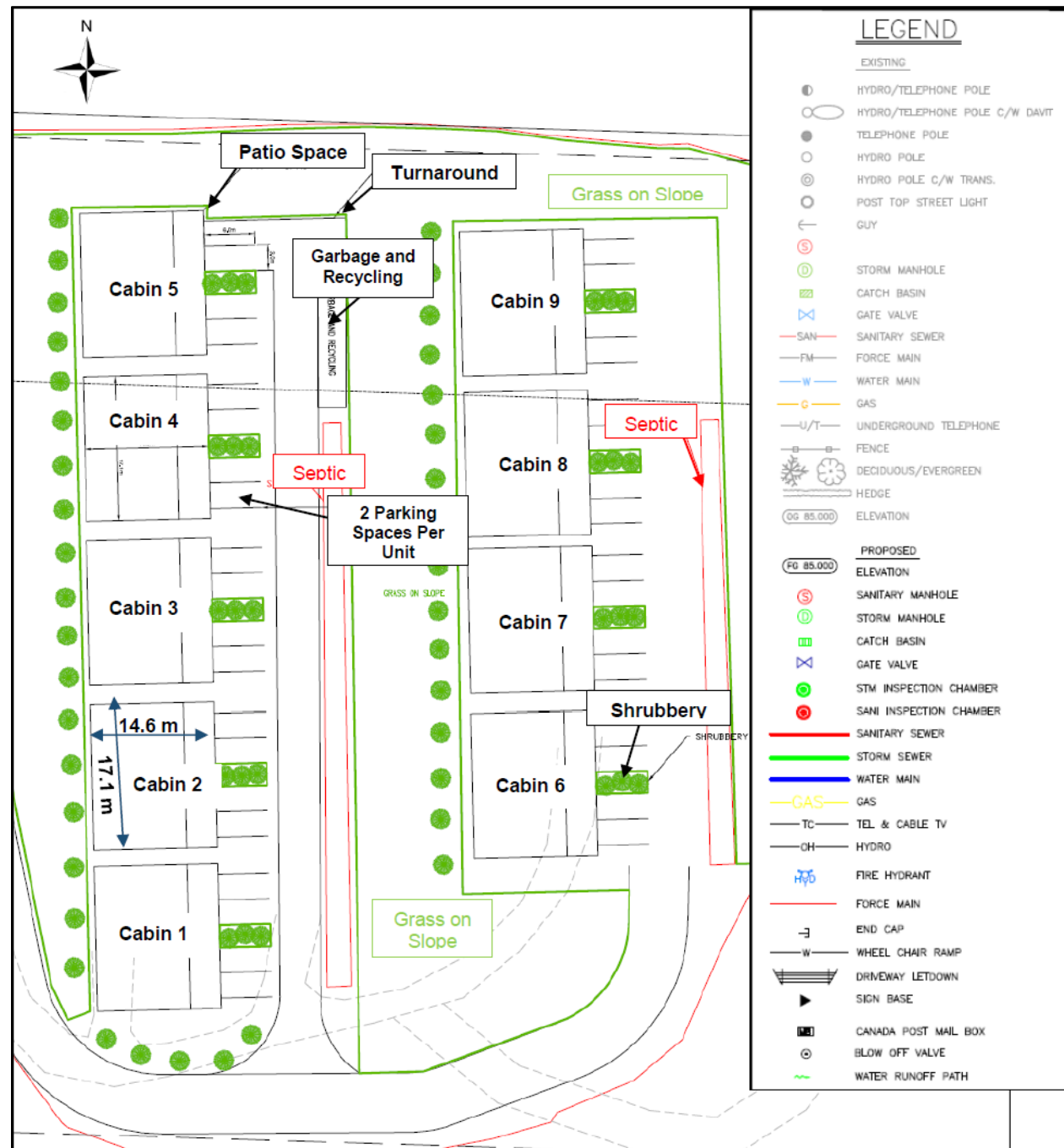
Slopes – 20 m Contours



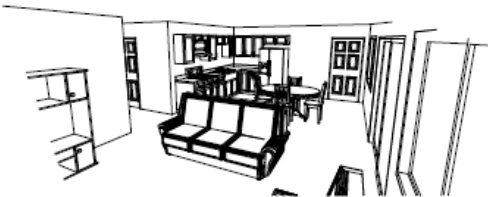
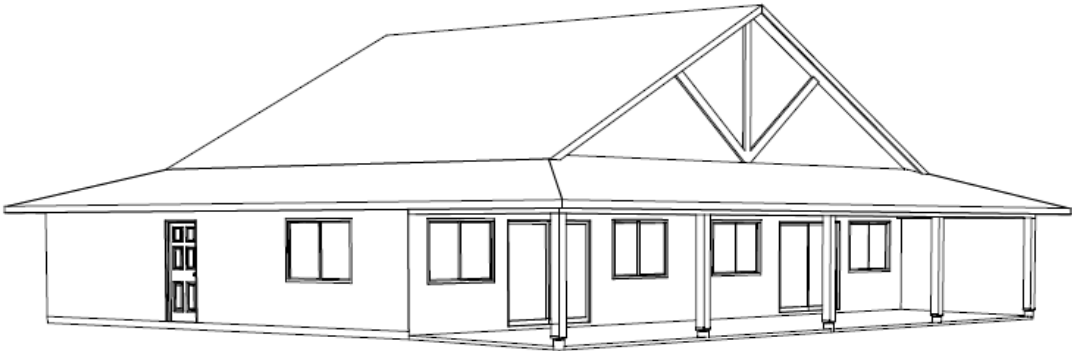
2018 Orthophoto



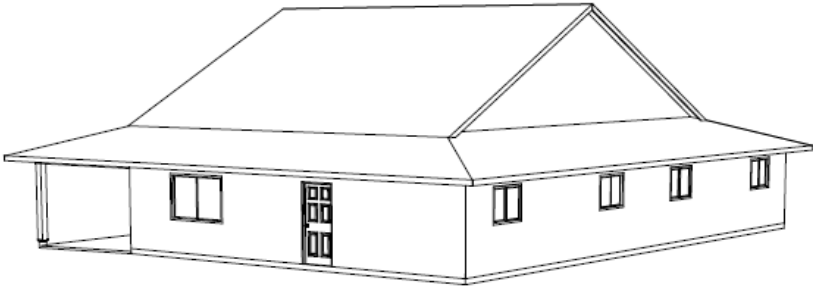
DP725-176 - Proposed Site Plan - Tourist Accommodation Cabins



DP725-176 - Perspective Plan



Perspective Views



					Sheet: 01
Finz "Bay View" Cabin's					
arch: N/S		Bay: 00-Finz bay view cabin-rev			
Finz Resort 2001 Eagle Bay Rd.					
01	industrial roof	Nov 5 16	Perspective view		Nov 5 16
No.	Revision/Note	Date	Design by: Finz Resort	Drawn by: Ron Inyang	

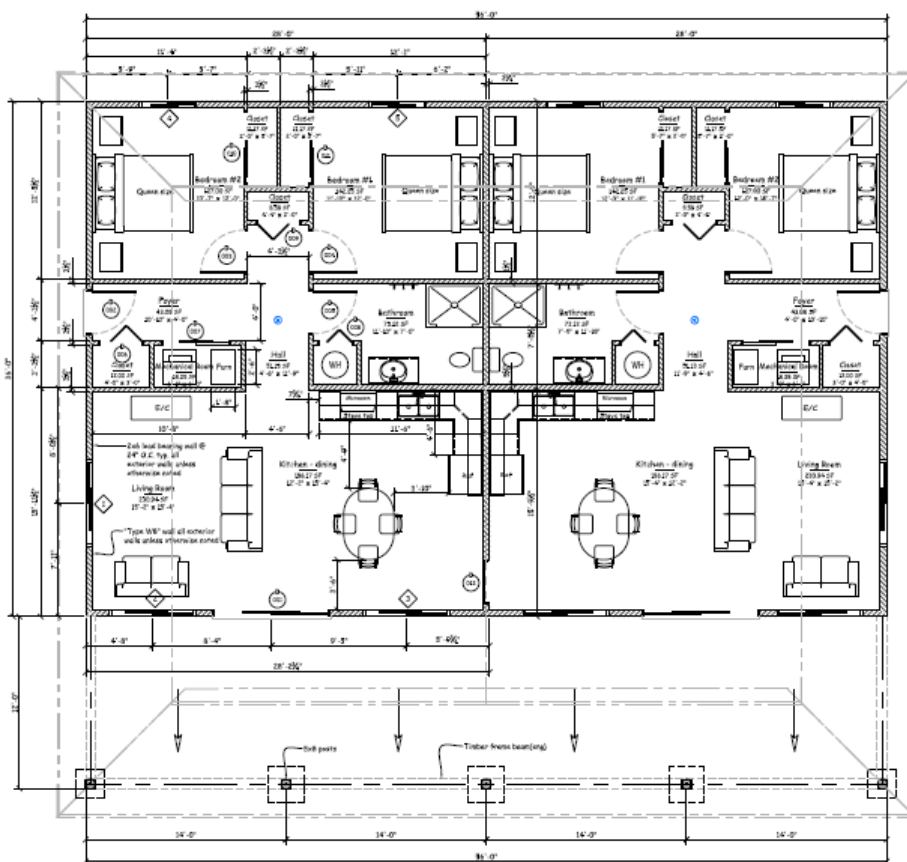
DP725-176 - Building Floor Plans



Approx total finished sq. ft. = 3829.72 sq ft
 Total sq footage of building (ext. dimensions) = 2016 sq ft
 Total sq footage of decks = 672 sq ft

Finishing notes:
 -all flooring sizes are based on a min. of 1/8" deflection (1500 psf bearing pressure)
 -soft clay, loose sand, or loose gravel will need to be reclassified

See sheet 06 for legend, misc details, and RSI calculations

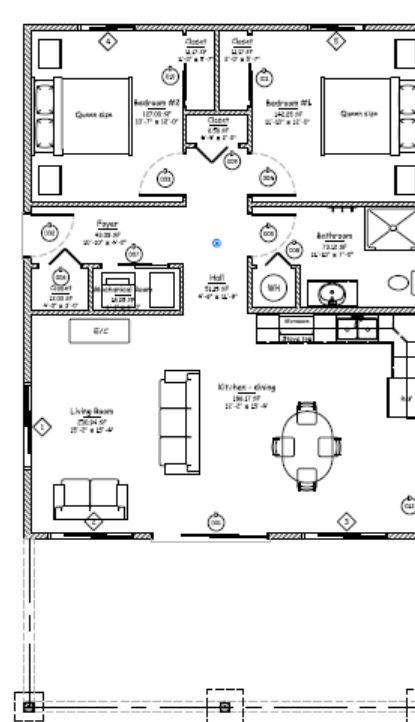


Main Floor Plan

Door Schedule					
Mark	Size (WxH)	THK	Remarks	Material	Finish
001	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
002	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
003	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
004	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
005	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
006	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
007	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
008	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
009	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
010	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
011	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
012	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
013	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
014	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
015	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
016	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
017	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
018	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
019	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
020	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---

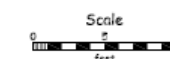
Window Schedule					
Mark	Size (WxH)	THK	Remarks	Material	Finish
001	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
002	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
003	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
004	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
005	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
006	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
007	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
008	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
009	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
010	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
011	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
012	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
013	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
014	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
015	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
016	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
017	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
018	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
019	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---
020	3'-0" x 7'-0"	1 1/2"	Exterior	Steel - coated metal	---

See sheet 06 for legend, misc details, and RSI calculations



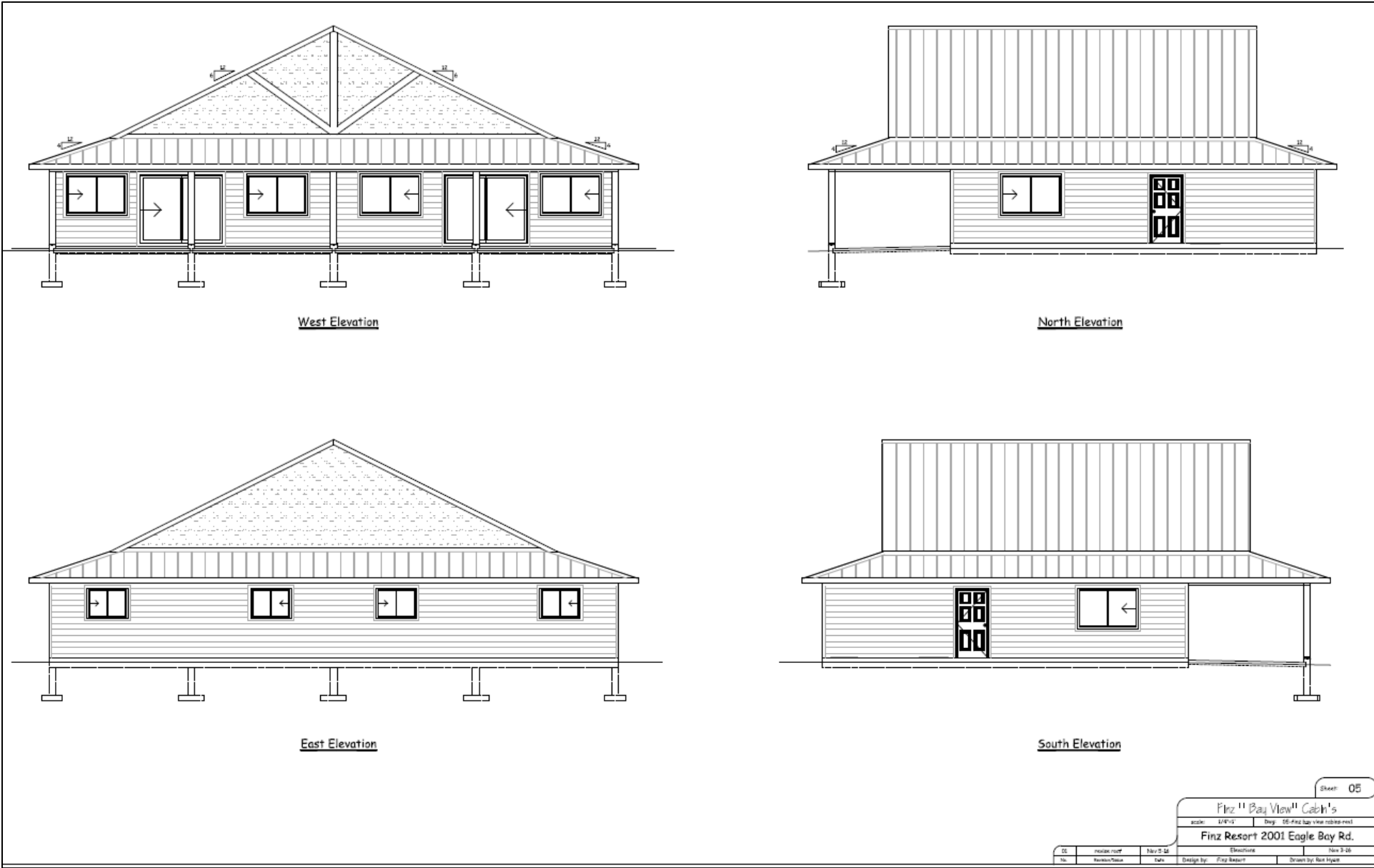
Individual suite Plan

- Notes:
- all measurements to rough framing unless otherwise noted
 - all lumber to be S-P-F, #2 & better unless otherwise noted
 - all flooring ply to be glued
 - window sizes are rough opening
 - window headers @ 5'-10" unless otherwise noted
 - doors sizes are the size of the door slab
 - sliding glass patio door sizes are rough opening
 - bi-fold closet doors are approx. finished openings
 - flashing above all unprotected openings
 - min. of 3" drop onto exterior decks
 - water heaters not in basement/crawl to have drain pan under, plumbed to septic
 - slope all exterior decks min 1/2" per foot unless deck surface is spaced lumber
 - garage doors to have a min. RSI value of 1.1
 - all exhaust fans & hood fans to exhaust to outside of building
 - all smoke alarms to be hard wired together to work in unison
 - window and doors to have a max U-factor of 1.4
 - if these insulation values are in use less of batt insulation, drywall must be ceiling board or 5/8" in thickness
 - mechanical ventilators/fresh air intake to be installed on per 9.32, 3.3 IRC (9.32, 3.7 for crawl spaces)



Scale		0 5 10 feet	
Finz "Bay View" Cabin's			
scale: 1/4"=1'	by: C. P. Bay View Cabin's		
Finz Resort 2001 Eagle Bay Rd.			
05	revised: none	drawn: SA	checked: none
No.	Revised: none	Date:	Drawn by: Ron Ingham

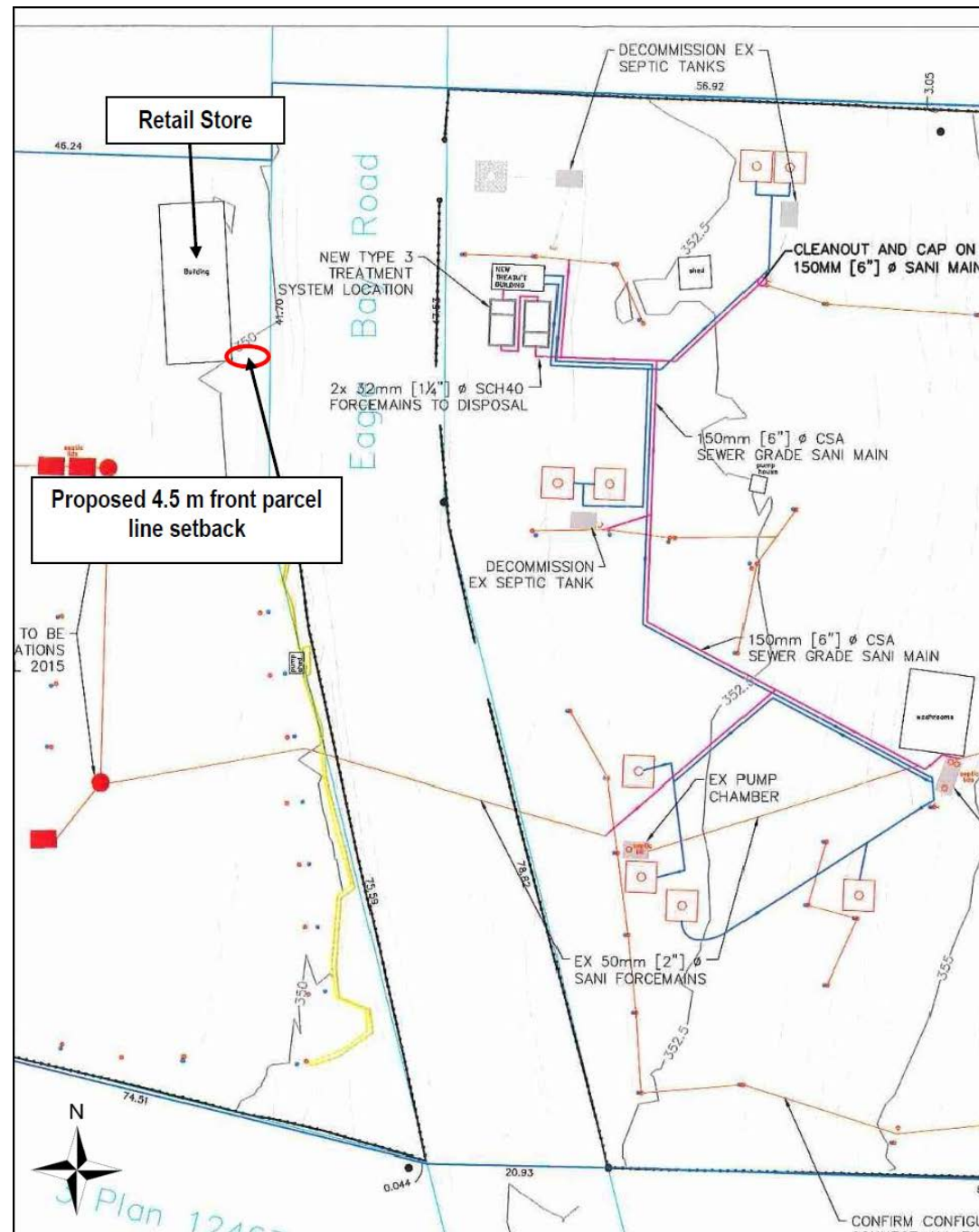
DP725-176 - Building Elevation Plan



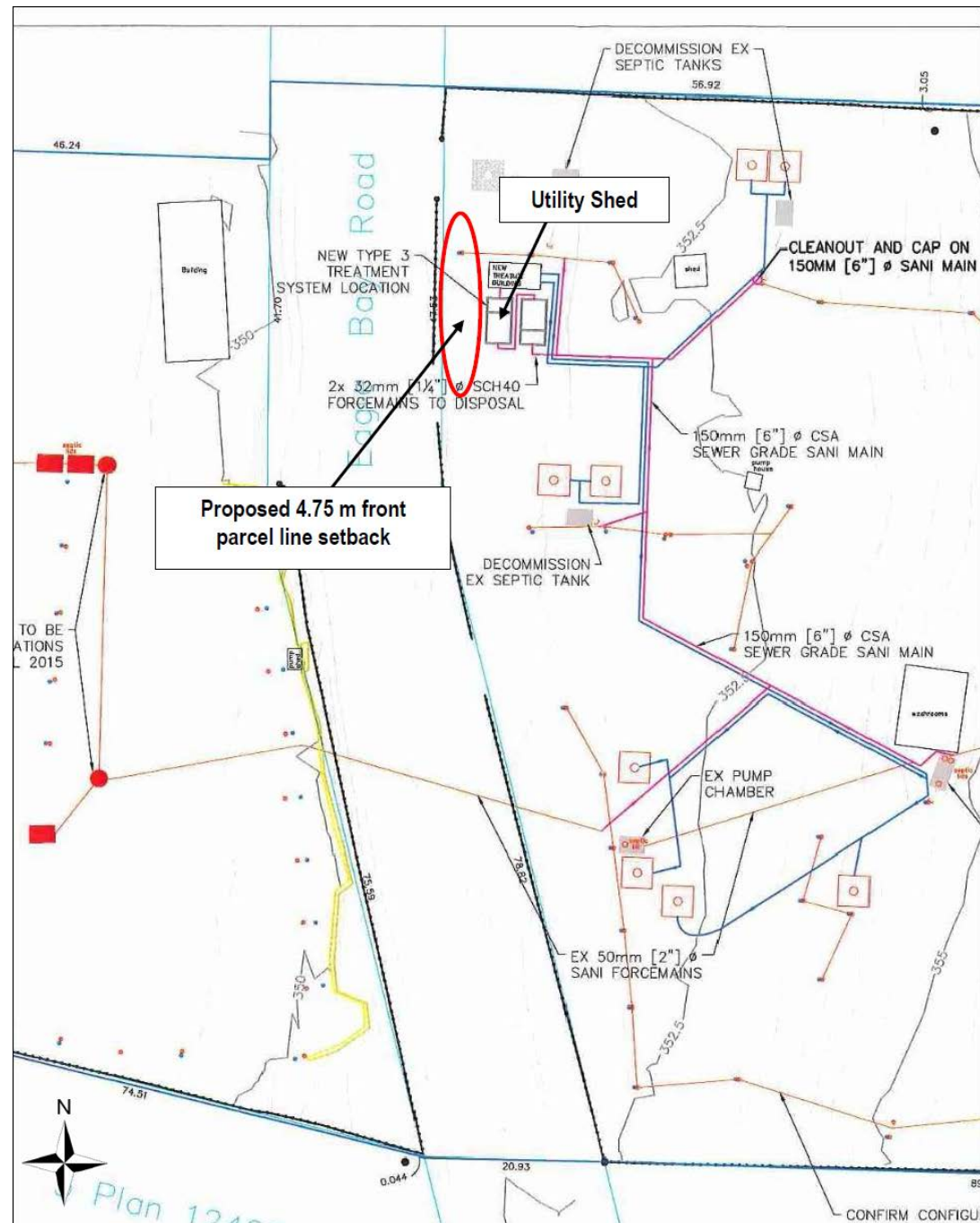
Original Survey Plan



DVP 701-88 - Proposed Site Plan – Setbacks



DVP 701-88 - Proposed Site Plan – Setbacks





BOARD REPORT

TO:

Chair and Directors

File No: DP830-256 PL20190004

SUBJECT:

Electoral Area F: Development Permit 830-256 (K4 Ventures Ltd.)

DESCRIPTION:

Report from Christine LeFloch, Planner II, dated April 2, 2019.
 1252 Jordan Way, Scotch Creek

RECOMMENDATION:

THAT: in accordance with Section 490 of the Local Government Act, Development Permit No. 830-256 for Lot 15, Section 27, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP57704, be approved this 18th day of April, 2019;

AND THAT issuance of DP830-256 be conditional upon receipt of written confirmation from Interior Health that their requirements under the Drinking Water Protection Act and Sewerage System Regulation have been satisfied.

SHORT SUMMARY:

The applicant is proposing to construct a mini storage facility on the subject property located at 1252 Jordan Way in Scotch Creek. The storage complex will contain 3 buildings with a total of 34 units which will be developed as a phased building strata. As the property is designated Village Centre within the Scotch Creek Primary Settlement Area, there is a requirement for a Village Centre Development Permit. This Development Permit Area contains guidelines for form and character.

VOTING:

 Unweighted
 Corporate

☐

 LGA Part 14
 (Unweighted)

☒

 Weighted
 Corporate

☐

 Stakeholder
(Weighted)
☐
BACKGROUND:

REGISTERED OWNER:
 K4 Ventures Ltd.

APPLICANT:
 Blaine Kitzul

AGENT:
 Dave Cunliffe

ELECTORAL AREA:
 F

LEGAL DESCRIPTION:

Lot 15, Section 27, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP57704

PID:

023-545-160

CIVIC ADDRESS:

1252 Jordan Way, Scotch Creek

SURROUNDING LAND USE PATTERN:

North = Vacant commercial

South = Commercial

East = Residential

West = Commercial mini-storage facility, Home Hardware

CURRENT USE:

Vacant

PROPOSED USE:

34 unit mini storage facility

PARCEL SIZE:

1.24 ha

DESIGNATION:

VC – Village Centre

ZONE:

C1 – Commercial 1

SITE COMMENTS:

The subject property is situated in the Scotch Creek Village Centre. The property is relatively flat and has recently been cleared of trees in preparation for development. Note that the orthophoto was flown prior to land clearing activity.

POLICY:

Please see "BL830_BL825_Excerpts_DP830-256.pdf" (attached).

FINANCIAL:

There are no financial implications for the CSRD as a result of this application.

KEY ISSUES/CONCEPTS:

The proposal is to construct a mini-storage facility consisting of three buildings. Two of the buildings would house 11 storage units, while the third building would house 12 storage units. 22 of the units will be 25 x 50 feet, while the remaining 12 units will be 25 x 60 feet. Each unit will be accessed by a bay door and man door. Mini storage is defined in Scotch Creek Zoning Bylaw No. 825 as: "the *use* of land, *buildings* and structures to provide separate, individual self-storage units inside a *building*, each with a separate entrance designed to be rented or leased to the general public for private storage of personal goods, materials or equipment".

This development requires a Village Centre Development Permit to address form and character features for development within the Village Centre of Scotch Creek. The proposed development will be a modern, secure entry storage facility which will be constructed and sold as a building strata in three phases, similar to the storage facility located across the road. Strata units may be rented or leased so staff consider that the use remains consistent with the definition noted above. Photos of the Scotch Creek Mini-Storage facility located across the road are included in Maps_Plans_Photos_DP830-256.pdf.

The applicant has indicated that the proposed buildings will have light grey siding with dark grey trim in a combination of modern steel cladding, hardy plank siding or painted fibreboard, cultured stone and asphalt roofing. The property is intended to be graveled and fenced and there will be adequate parking provided. The applicant has no intention to permit any outdoor storage on the property and is aware that it is not permitted as per the definition of mini storage.

Staff recognize that the proposed new buildings are not situated along Squilax Anglemont Road and, therefore, many of the pedestrian accessibility guidelines of the OCP for form and character of development are not applicable to this project. Also, as the mini-storage facility does not include commercial retail or residential units the guidelines regarding weather protection and pedestrian sidewalks are not necessary. Outdoor parking on site will be short term only, when owners are visiting their storage unit. Parking is not proposed in the front yard area, therefore landscaping requirements do not apply. The applicant has made an effort to design the mini storage facility in a way that will be aesthetically pleasing, in keeping with the overall neighbourhood, and will look clean and modern. This is a good example of the use of creative building design elements to improve the overall aesthetics of what could otherwise be a visually uninteresting development and will become a benchmark for future development in Scotch Creek. Staff are satisfied that this generally meets the applicable DP guidelines for form and character of development of this type.

The proposed buildings meet the required setback, height and parcel coverage regulations for the C1 Zone. The CSRD Building Regulation function will further ensure compliance with zoning regulations and the BC Building Code, through the building permit process.

The development will be serviced by a groundwater well and septic system. Staff have received confirmation that a Record of Sewerage System for the property has been filed with Interior Health. Drawings for the proposed septic system show the field area located near the western fence line. Referral comments from Interior Health include concerns that the area may be impacted by vehicles driving over it. They also have concerns regarding the lack of an identified back up field area. Further, they have noted that because the proposed use is commercial there are requirements under the Drinking Water Protection Act which must be met. Staff is, therefore, recommending that the Development Permit include a condition that the septic system be protected from vehicle traffic through the use of concrete barriers or other protective works. This condition is included in the permit. It is further recommended that issuance of the Development Permit be conditional upon confirmation from Interior Health that requirements under the Drinking Water Protection Act and Sewerage System Regulation have been satisfied.

SUMMARY:

This application is for a Development Permit for a new mini-storage facility to be located in Scotch Creek. As the proposal generally meets the applicable guidelines for form and character of development staff recommend that the Board consider approval of this Development Permit, and it is also

recommended that issuance of DP830-256 be conditional upon written confirmation from Interior Health that requirements under the Drinking Water Protection Act and Sewerage System Regulation have been satisfied.

IMPLEMENTATION:

If the Board issues DP830-256 the owners will be notified of the decision and documentation will be forwarded to the Land Title Office for registration against the title of the property. A development permit must be issued before the owners can obtain a building permit for the proposed buildings.

COMMUNICATIONS:

Property owners and tenants in occupation within 100 m of the subject property were given notification a minimum of 10 day prior to the April 18, 2019 CSRD Board meeting. All interested parties have had an opportunity to provide comments regarding this application prior to the Board meeting.

The application was referred to the following agencies:

Agency	Comments
Interior Health Authority	Suggest applicant contact Drinking Water EHO about requirements under the Drinking Water Protection Act. The sewerage system seems squished against the property line with possibility to be driven over. Improvements/protection are suggested. There also isn't any back-up area depicted. Suggest that a ROWP be engaged to determine a suitable back up field area and that this area be protected by covenant.
CSRD Operations Management	Property is within the boundaries of the Scotch Creek Lee Creek Fire Protection Area. Confirmation of compliance with access requirements as per MOTI guidelines required. FireSmart principles and practices to be encouraged. Recommend the proponent reach out to the local fire department for a site visit and to facilitate the development of a pre-incident fire plan.

Ministry of Transportation and Infrastructure	<p>As the property is located further than the controlled area as outlined in Section 505(1) of the Local Government Act this Ministry's endorsement of the proposed Development Permit is not required. The land owner should be made aware of the following: The land owner is required to apply for an access permit for any access (existing or proposed) to Jordan and/or Morgan Road for any land use other than one single family dwelling. A Provincial Public Highway Permit application can be obtained from our office or on line at http://www.th.gov.bc.ca/permits/Apply.asp</p> <p>All new structures must be located outside of the provincial setback of 4.5 m from the road/property line. Any existing structures located within this setback must submit a Provincial Public Highway Permit Application.</p>
---	---

DESIRED OUTCOMES:

That the Board endorse the staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*


LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area F Official Community Plan Bylaw No. 830
2. Scotch Creek Zoning Bylaw No. 825
3. Application

Report Approval Details

Document Title:	2019-04-18_Board_DS_DP830-256_K4VenturesLtd.docx
Attachments:	<ul style="list-style-type: none">- DP830-256.pdf- BL830_BL825_Excerpts_DP830-256.pdf- Agency_Referral_Responses_DP830-256.pdf- Maps_Plans_Photos_DP830-256.pdf
Final Approval Date:	Apr 5, 2019

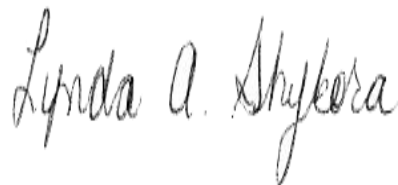
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 2, 2019 - 11:46 AM



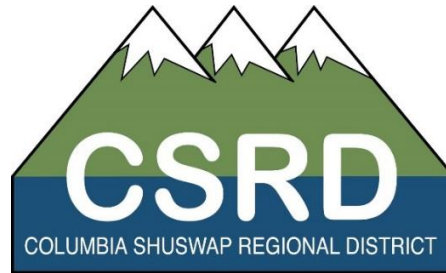
Gerald Christie - Apr 4, 2019 - 9:56 AM



Lynda Shykora - Apr 5, 2019 - 11:55 AM



Charles Hamilton - Apr 5, 2019 - 2:09 PM



DEVELOPMENT PERMIT NO. DP830-256

OWNERS: K4 Ventures Ltd.
2198 Francis Street
VERNON, BC V1B 3A5

1. This Village Centre Development Permit is issued subject to compliance with all the Bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies only to the lands described below:

Lot 15, Section 27, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP57704 (PID: 023-545-160), which property is more particularly shown outlined in bold on the Location Map attached hereto as Schedule A.
3. This Permit is issued pursuant to Section 13.5 of the "Electoral Area F Official Community Plan Bylaw No. 830, as amended," for construction of a mini-storage facility as more particularly shown on the Site Plan attached hereto as Schedule B.
4. The form and character of the proposed development will be in keeping with the building elevation drawings attached hereto as Schedule C; and the proposed buildings shall be finished using a combination of modern steel cladding, hardy plank siding or painted fibreboard as finishing materials, and the colour scheme is to be light grey siding and dark grey trim.
5. The septic system and dispersal field shall be protected from vehicular traffic through the placement of concrete barriers or similar protective materials.
6. An amendment to the Permit will be required if development is not in substantial compliance with this Permit.
7. It is understood and agreed that the Regional District has made no representation, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developers other than those in the permit.

8. This Permit shall inure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.
9. This Permit is NOT a building permit.

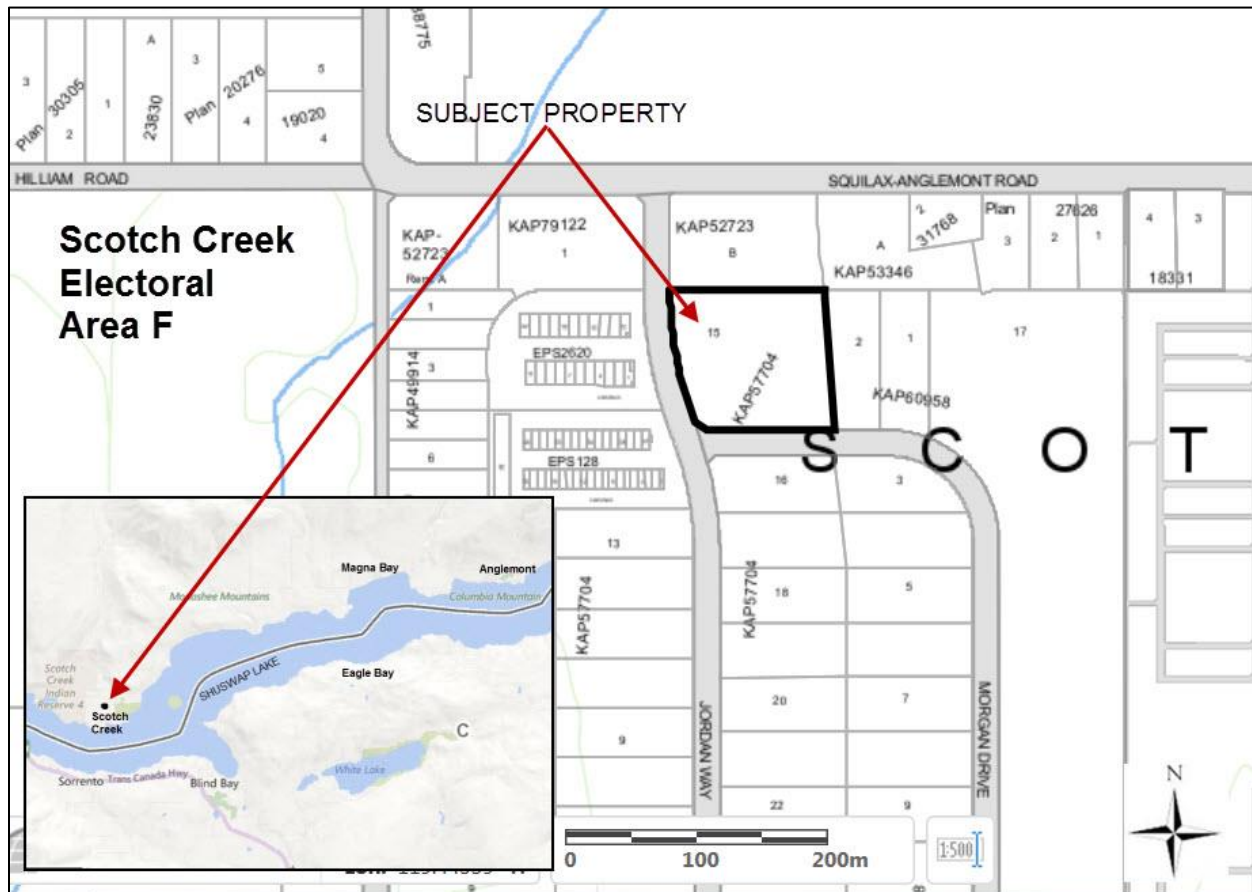
AUTHORIZED AND ISSUED BY RESOLUTION NO. 2019-_____ of the Columbia Shuswap Regional District Board on the _____ day of _____, 2019.

Corporate Officer

PLEASE NOTE:

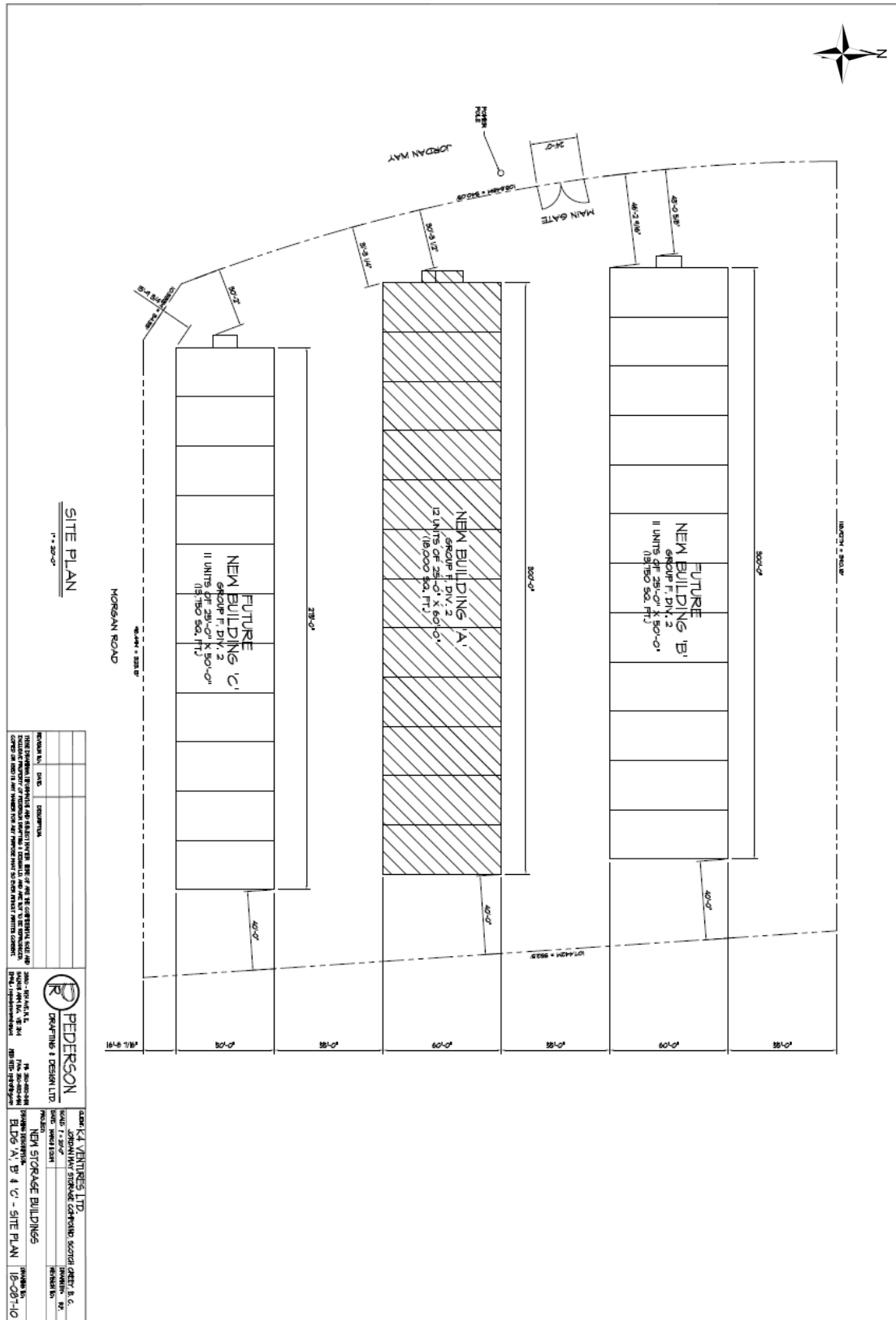
- 1) Pursuant to Section 504 of the *Local Government Act*, if the development of the subject property authorized by this permit is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

Schedule A Location Map

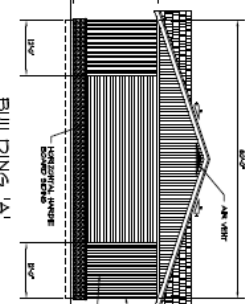
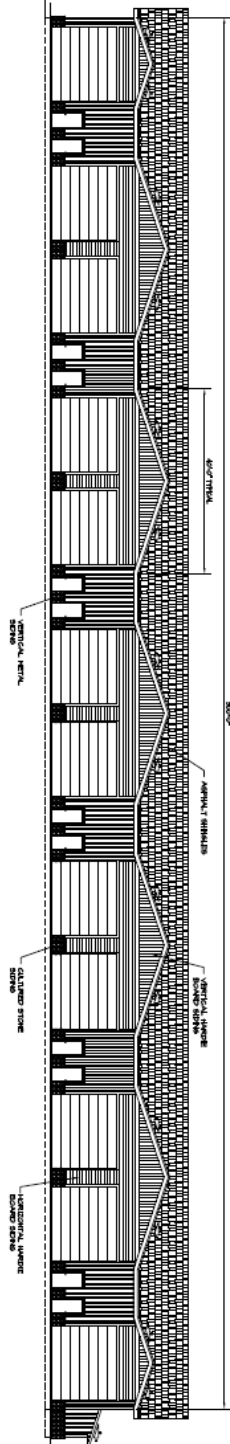


Schedule B

Site Plan



BUILDING 'A'
EAST ELEVATION


$$9/52^3 = 1/4^3$$


BUILDING 'A'
NORTH ELEVATION

[illegible]

**Relevant Excerpts from Electoral Area F Official Community Plan Bylaw No. 830
and Scotch Creek Zoning Bylaw No. 825**

(See Bylaw Nos. 830 and 825 for all policies and land use regulations)

Electoral Area 'F' Official Community Plan Bylaw No. 830

Scotch Creek Primary Settlement Area

The Area 'F' OCP Section 11.1 directs future higher density development to the Primary and Secondary Settlement Areas. The subject property is within the Scotch Creek Primary Settlement Area. Policies in respect of this are as follows:

12.2 Principles

Principle 1

Encourage the development of a livable community that provides a high quality of life within its unique environmental setting by:

- a) Ensuring that there is an appropriate range of community services, amenities and open spaces for all;
- b) Striving for a balance of residential, recreational, commercial and light industrial uses, and ensure that adjacent uses are compatible;

Principle 2

Strive for an economically and socially sustainable community by:

- c) Identifying opportunities for economic development that would support the local population and address needs; and
- d) Encouraging the development of employment opportunities, especially year-round permanent jobs.

Principle 3

Identify community needs and develop strategies to provide a complete range of buildings, services, amenities and infrastructure by:

- a) Aiming for a high quality Scotch Creek core area that can function as the community centre;
- b) Providing direction for a secondary node that supports tourism and recreation, and reflects the seasonal population patterns;

Principle 5

Ensure that the community develops within the limits of its resources and maintains its rural lakeshore character by:

- a) Developing a land use plan that results, over time, in the best distribution and development densities for Scotch Creek;
- b) Encouraging the development of community character and identity through built form and landscape that expresses rural and lakeshore qualities, and develop

guidelines for fences and other landscape features that reflect the community character;

- c) Encouraging high quality of design and construction;
- d) Determining the development forms, massing and density to support the desired character and quality of life of Scotch Creek;
- e) Discouraging light pollution and noise pollution, in keeping with the rural environment

12.3 Scotch Creek Settlement Structure

The Plan recommends aiming for compact, interconnected land development, and infilling existing areas where possible, so that the environmental character and resources, as well as the remaining agricultural land uses, will be better protected. In this way, a more vibrant and walkable community, and one that is more economical to service and maintain, can be created. Some potential areas for new residential development are also identified.

Increasing the range of housing types and the population diversity (to include year round residents as well as tourists, and to include all age groups) will help to make Scotch Creek a viable and sustainable year-round community. Guidelines for growth are essential so that the character and quality of life of Scotch Creek are maintained and enhanced.

12.4 Village Centre (VC)

Objective 1

The intent of this land use designation is to support and strengthen the existing Scotch Creek commercial area as the village core, and to expand the range of dwelling types to include mixed use commercial/residential and multi-unit residential development.

Policy 1

Permitted land uses within the Village Centre include: retail including food services, business and personal services, community and health-related services, institutional uses, recreation, arts and cultural activities, and residential, including multi-unit residential.

Policy 2

A maximum building height of three storeys is permitted.

Policy 3

New development in the form of pedestrian-oriented mainstreet building types or infill that creates enclosed nodes/courtyards rather than auto-oriented strip malls are strongly encouraged.

Policy 4

Live-work units are permitted and encouraged.

Policy 5

Additional population around the Village Centre core will support businesses and services and help to create a more vibrant community. Resilient “mainstreet” building types are encouraged that allow development of a mix of uses (retail, office, residential) that can be adjusted in response to market demands.

Policy 8

Much of the existing development along Squilax-Anglemont Road is in the form of large commercial buildings oriented towards a front or side parking lot, or strip development with parking in front. New development within the Village Centre should contribute to the development of a series of compact and pedestrian-friendly nodes, rather than independent auto-oriented shopping strips.

Policy 10

All parcels designated as Village Centre are also designated as Development Permit Areas. The DPA guidelines provide additional direction for development regarding form and character, and they should be considered together with the general land use guidelines.

Section 13 Development Permit Areas

The *Local Government Act* provides the Regional District with the authority to establish a development permitting system. It also makes provision for local governments to require applicants for development approvals to undertake impact studies. Variances may also be considered for inclusion within a Development Permit (DP) in accordance with applicable guidelines as per the authority granted under the Local Government Act.

DPs are one of the most effective legal tools for the protection of environmentally sensitive areas, avoiding development in hazardous conditions, and setting out expectations regarding “form and character” of development. Local governments may designate Development Permit Areas (DPAs) in an Official Community Plan. When an area is designated, the local government must describe the special site conditions or objectives that justify the designation, and specify guidelines to achieve those objectives.

Where land is subject to more than one DPA designation, a single DP is required. The application will be subject to the requirements of all applicable DPAs, and any DP issued will be in accordance with the guidelines of all such Areas. Unless the proposed development is clearly less than the sizes stated in the DPAs, or outside the DPA, the development area, size, and/or distance shall be determined accurately by survey, at the owner's expense, to determine whether a DP application is required.

This section sets out a number of DPAs for the North Shuswap, and provides the justification for their designation.

The Regional District may designate DPAs under Section 919.1(1) (a) of the *Local Government Act* and applicable provisions of the Community Charter for the following purposes:

- Protection of the natural environment, its ecosystems and biological diversity;
- Protection of development from hazardous conditions;
- Protection of farming;
- Revitalization of an area in which a commercial use is permitted;
- Establishment of objectives for the form and character of intensive residential development;
- Establishment of objectives for the form and character of commercial, industrial, or multi-family residential development;
- Establishment of objectives to promote energy conservation;
- Establishment of objectives to promote water conservation;
- Establishment of objectives to promote the reduction of greenhouse gas emissions.

13.5 Village Centre (VC) Development Permit Area

(Scotch Creek)

13.5.1 Area

This DPA applies to the areas shown on Schedule F.

13.5.2 Guidelines

- (a) New development in the form of pedestrian-oriented mainstreet building types or infill that creates enclosed nodes/courtyards rather than auto-oriented strip malls are strongly encouraged.
- (b) The primary pedestrian entrance to all units and all buildings should be from the street, or, if from the parking area, a pedestrian sidewalk should be provided. Entries should be visible and prominent.
- (c) Buildings on corners should have entries, windows and an active street presence on the two public facades to avoid the creation of blank walls in prominent locations.
- (d) Natural building materials, such as wood, rock or stone, are encouraged. Faux materials, including faux siding, are discouraged.
- (e) Weather protection in the form of awnings or canopies should be provided overall grade level entries to residential and retail units.
- (f) Design of signage and lighting should be integrated with the building facade and with any canopies or awnings.
- (g) Driveways that intrude into the pedestrian realm are discouraged. Shared parking and access are encouraged.
- (h) Front parking is only supported in cases where landscaping provides a buffer between the parking and the street. Site plans should be submitted for review by the Regional District.
- (i) Provision for services and deliveries should be at the rear yards with appropriate screening to adjacent properties and public space. Where service entries are required

at the fronts of buildings, care should be taken not to compromise the pedestrian environment.

- (j) Residential dwelling units in mixed use buildings may be located either above or behind a commercial unit, and may be accessed from the front, rear or side(s) of the building. This form of residential development is intended to contribute to variety in housing size and affordability in Scotch Creek.
- (k) Development of a civic public space within the village core is strongly recommended. Until such time as a dedicated community centre is possible, opportunities to add landscape, benches and other amenities to a centrally located parking lot so that it may also serve other uses, for example as public gathering space, farmer's market, or space for special events, are encouraged.

Scotch Creek/Lee Creek Zoning Bylaw No. 825

MINI STORAGE is the *use of land, buildings and structures to provide separate, individual self-storage units inside a building, each with a separate entrance designed to be rented or leased to the general public for private storage of personal goods, materials or equipment.*

Current Zone: C1 – Commercial 1

Principal Uses:

- (a) *Amusement establishment*
- (b) *Campground*
- (c) *Convenience store*
- (d) *Day care*
- (e) *Marina*
- (f) *Mini storage*
- (g) *Motel*
- (h) *Office*
- (i) *Outdoor sales*
- (j) *Personal services*
- (k) *Plant nursery and services*
- (l) *Pub*
- (m) *Public assembly facility*
- (n) *Recycling drop-off facility*
- (o) *Rental shop*
- (p) *Restaurant*
- (q) *Retail store*
- (r) *Service station*
- (s) *Single family dwelling*
- (t) *Tourist cabin*
- (u) *Library*

Secondary Uses:

- (a) *Accessory use*
- (b) *Owner/operator dwelling*


COLUMBIA SHUSWAP REGIONAL DISTRICT

P.O. Box 978 SALMON ARM, BC V1E 4P1
 Telephone: 1-250-832-8194 Fax: 1-250-832-1083

FILE NO.

PL20190000004

DATE RECEIVED:

March 1, 2019

OPERATIONS MANAGEMENT

Comments: Marianne

Terry Langlois Team Leader Utilities	No concerns
Derek Sutherland Team Leader Protective Service	No Concerns
Sean Coubrough Fire Services Coordinator	This property is within the boundaries of the Scotch Creek Lee Creek Fire Protection Area. Confirmation of compliance with access requirements as per MOTI guidelines required. FireSmart principles and practices to be encouraged. Recommend the proponent reach out to the local fire department for a site visit and to facilitate the development of a pre-incident fire plan.
Ben Van Nostrand Team Leader Environmental Health	No Concerns
Ryan Nitchie Team Leader Community Services	No Concerns
Darcy Mooney Manager Operations Management	no concerns

From: eDAS@gov.bc.ca
To: [Planning Public Email address](#)
Subject: Application Correspondence - File #2019-01041 (Task Id: 10076892)
Date: Wednesday, March 06, 2019 11:36:11 AM

Date: 2019-Mar-06

Hello, The Ministry of Transportation and Infrastructure Approval Application 2019-01041 is available for the next step and your action. You can access the file at <https://posse.th.gov.bc.ca/DAP/Default.aspx?PossePresentation=ApprovalApplication&PosseObjectId=10049633&PossePane=Tasks>

Thank you for the above noted referral.

As the property is located further than the controlled area as outlined in Section 505(1) of the Local Government Act this Ministry's endorsement of the proposed Development Permit is not required.

The land owner should be made aware of the following:

The land owner is required to apply for an access permit for any access (existing or proposed) to Jordan and/or Morgan Road for any land use other than one single family dwelling. A Provincial Public Highway Permit Application can be obtained from our office or on line at <http://www.th.gov.bc.ca/permits/Apply.asp>

All new structures must be located outside of the provincial setback of the 4.5m from the road/property line. Any existing structures located within this setback must submit a Provincial Public Highway Permit Application <http://www.th.gov.bc.ca/permits/Apply.asp>
Information <http://www.th.gov.bc.ca/permits/Structures%20Permits.asp>

If you have any questions please feel free to contact me.

Sincerely,

Tara Knight, District Development Tech.
(250) 833-3374
Tara.Knight@gov.bc.ca



April 1, 2019

Christine LeFloch,
Development Services Assistant
Columbia Shuswap Regional District
P.O. Box 978, 555 Harbourfront Dr. NE
Salmon Arm, BC, V1E 4P1
clefloch@csrd.bc.ca

Dear Christine LeFloch:

**RE: Development Permit No.: P830-256
1252 Jordan Way, Scotch Creek
Lot 15, S27, T22, R11, W6M, KDYD, Plan KAP57704 (PID: 023-545-160)**

Thank you for the opportunity to provide comments on the above referenced referral. It is my understanding this application is for a development permit for 36 mini-storage units with a washroom including toilet and sink serviced by well and onsite sewerage system.

Onsite Sewerage System:

Reviewing the provided proposed site layout the area identified for sewerage disposal may be impacted by vehicular traffic while navigating around the buildings. Care must be taken to ensure the driveway will not overlap the sewerage dispersal area because vehicles will compact the soil and potentially cause the soil to be less permeable and less able to 'accept' effluent. Over time this can cause the sewerage system to fail pre-maturely. In addition, all onsite sewerage systems will fail at some point. The estimated half-life is 35 years; meaning 50% of all systems will fail by year 35.

To support the long-term self-sufficiency of the subject lot **it is recommended prior to approval**, the applicant retain the services of an Authorized Person under the *B.C. Sewerage System Regulation* (B.C. Reg. 326/2004) to **confirm, with the proposed site layout, there will be adequate space and conditions including protection from vehicular traffic to install a primary and reserve sewerage disposal system** for the proposed daily sewage design flow. This area(s) may require protection, such as a covenant.

Water System:

Although the intention of the proposed water system is only to service a sink and toilet, it meets the definition of a drinking water system under the Drinking Water Protection Act as it is servicing a commercial building. As such, the requirements for source water approval, and construction and operating permits apply. The provided proposed site layout has the well located immediately adjacent to a building. This is not best practice, and would likely not receive source/well construction approval. Therefore, **it is suggested prior to approval the property owner demonstrates IH approval for the location of the well on the proposed site plan.** Also note, given the limited drinking water use of this

Christine LeFloch, CSRD

Page 2 of 2

April 1, 2019

domestic water, a request could be made to consider less requirements if there are other mitigating measures, such as signage.

To discuss requirements and the process for construction and operating permits contact Ms. McNamara or Ms. Porter (they job share), Environmental Health Officers with our Drinking Water Team at (250) 851-7410. They are both located in our Kamloops office. In addition, the [IH webpage about drinking water permits, approvals and plans](#) has information.

If you have any questions or concerns please feel free to contact me directly at 250-833-4114.

Sincerely,



Anita Ely, BSc, BTech, CPHI(C)
Specialist Environmental Health Officer
Healthy Communities - Population Health

c Katie McNamara, EHO
katharine.mcnamara@interiorhealth.ca

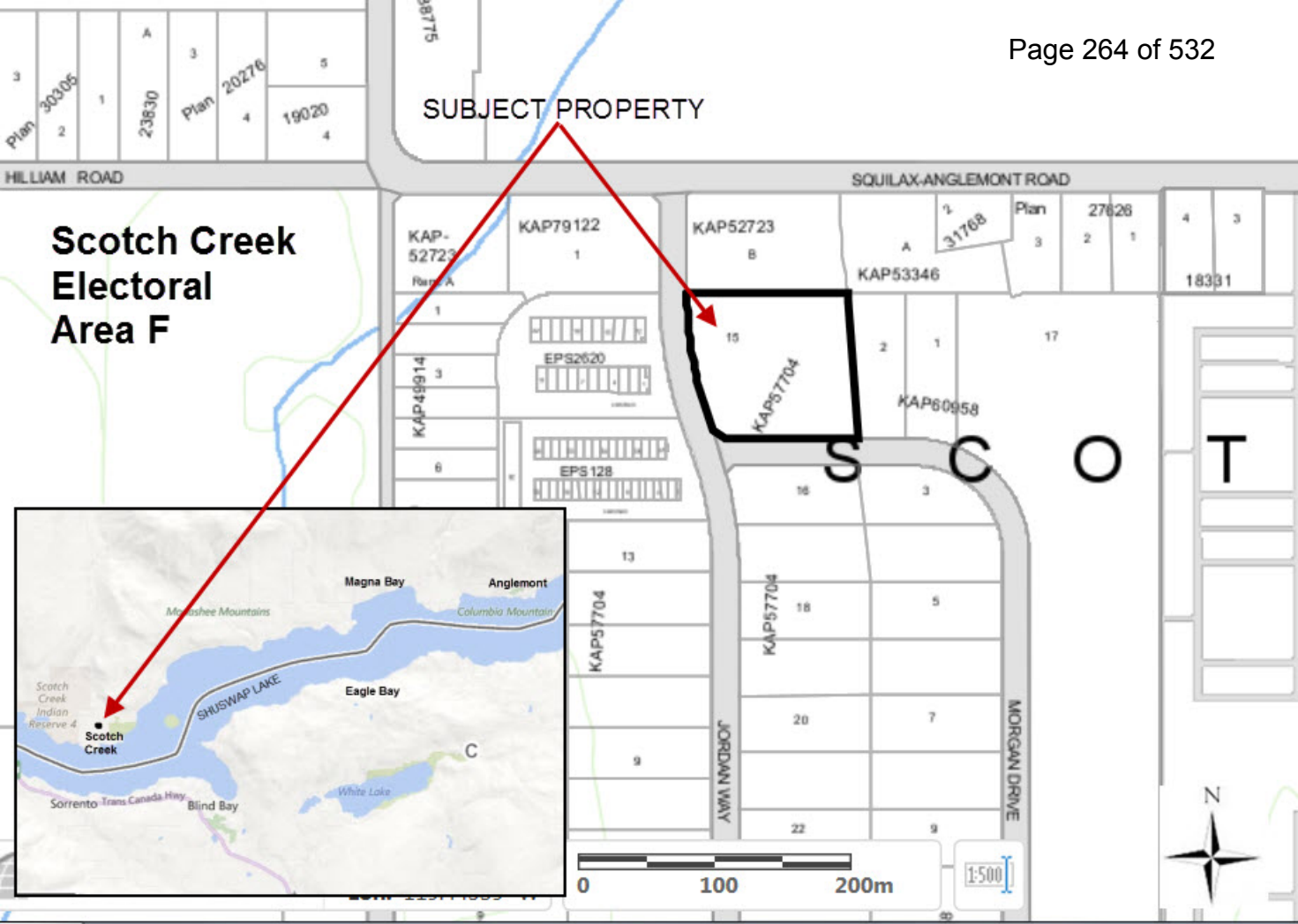
Kim Porter, EHO
kimberly.porter@interiorhealth.ca

Resources:

IH – Drinking Water – Permits, Approvals and Plans:
<https://www.interiorhealth.ca/YourEnvironment/DrinkingWater/Pages/Permits.aspx>

SUBJECT PROPERTY

Scotch Creek Electoral Area F



AM ROAD

AG

SUBJECT
PROPERTY

Scotch
Creek

MD

VC

AG

RT

SQUILAX-ANGLEMONT ROAD

VC

VC

LD

Bylaw 830

NR

RT

JORDAN WAY

MORGAN DRIVE

367 units
(main area)



WKID: 4326 Lat/Long ▲

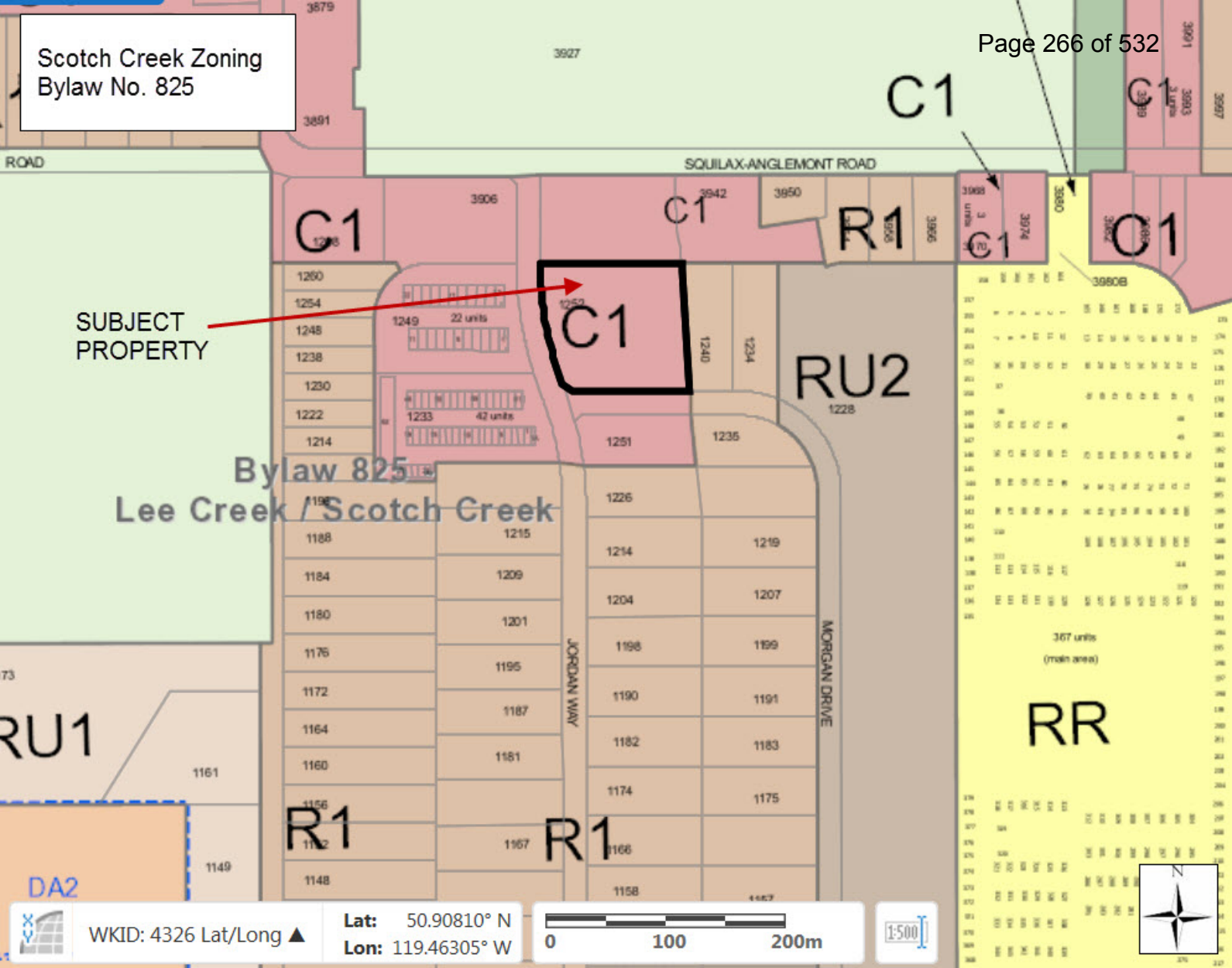
Lat: 50.90647° N

Lon: 119.44359° W

0 100 200m

1:500





Google Earth Imagery
August 9, 2018
*Property has since
been cleared of trees



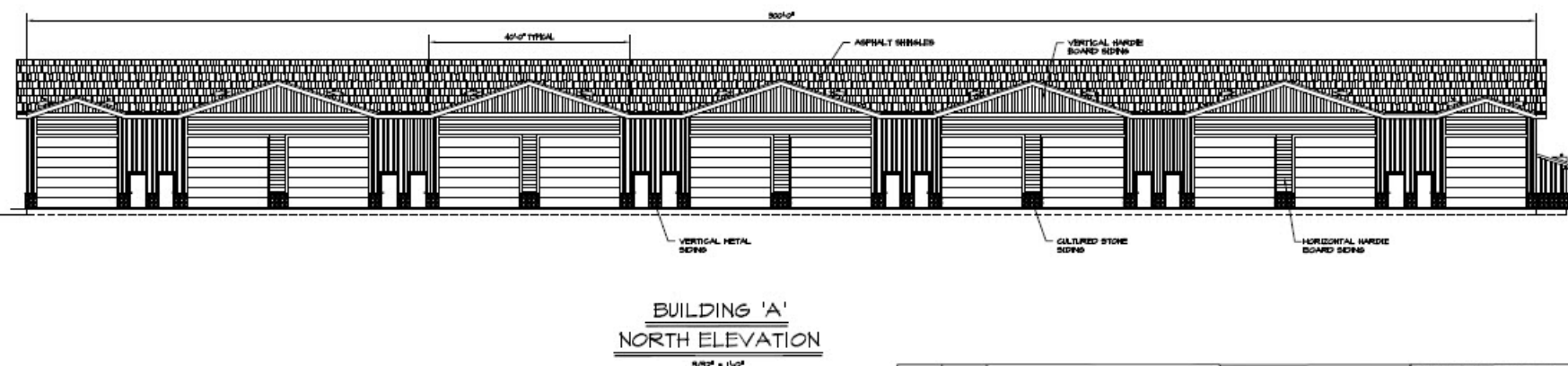
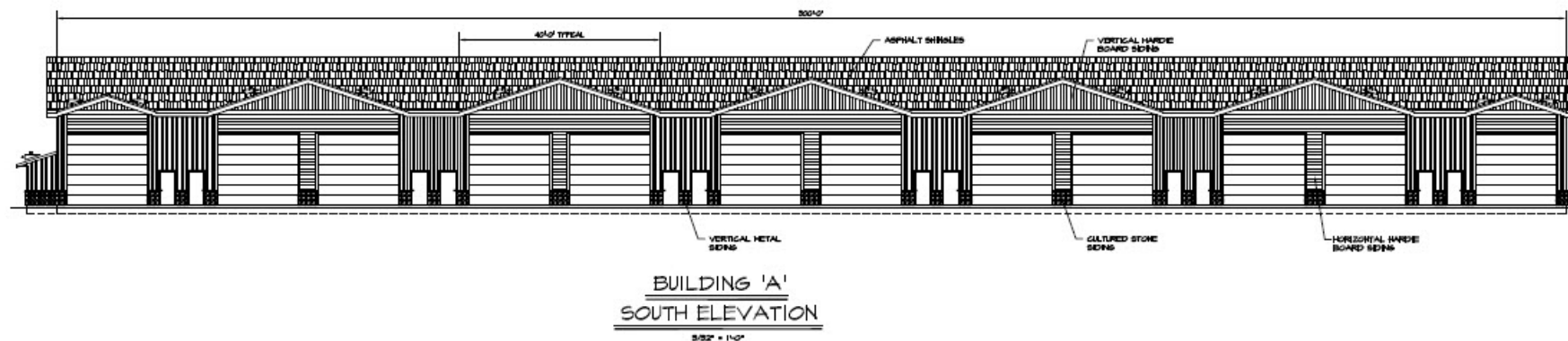
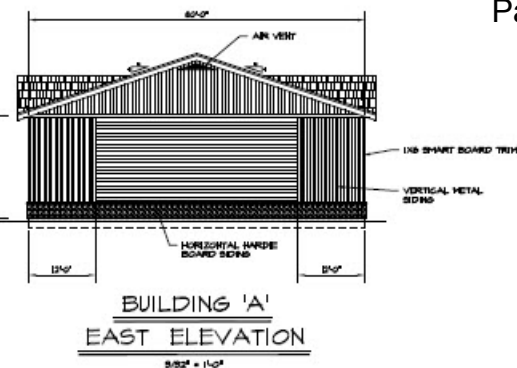
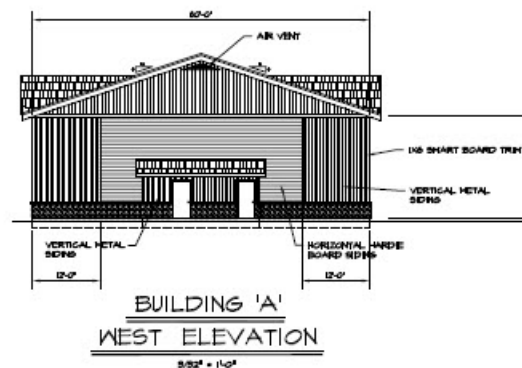
Image © 2019 DigitalGlobe





PEDERSON
DRAFTING & DESIGN LTD.

CLIENT: K4 VENTURES LTD.		JORDAN HAY STORAGE COMPOUND, SCOTCH CREEK, B. C.	
SCALE: 1" = 20'-0"		DRAWN BY: R.P.	
DATE: MARCH 1994		REVISION NO:	
PROJECT:			
NEW STORAGE BUILDINGS			
DRAWING DESCRIPTION:		DRAWING NO:	
BLDG'S 'A', 'B' & 'C' - SITE PLAN		18-087-10	



REVISION NO.	DATE	DESCRIPTION



3800 - 8TH AVE. N.E.
SALMON ARM, B.C. V1E 3S4
CAN. 1-800-461-2822
FAX 250-452-4968
AND 250-452-4969

CLIENT: K4 VENTURES LTD. JORDAN HAY STORAGE COMPOUND, SCOTCH CREEK, B.C.	DRAWING: 18-001-01
SCALE: 3/32" = 1'-0"	REVISIONS:
DATE: MARCH 2021	
PROJECT: NEW STORAGE BUILDINGS	
DRAWING DESCRIPTION: BUILDING 'A' - ELEVATIONS	

Photos of Scotch Creek
Mini-Storage across the
road from subject property.
Proposed development will
look similar



11/30/2018 16:00





BOARD REPORT

TO:

Chair and Directors

File No: DV701-84 PL20180205
--

SUBJECT:

Electoral Area C: Development Variance Permit No. 701-84 (Clark)

DESCRIPTION:

 Report from Laura Gibson, Planner I, dated March 26, 2019.
 711 Viel Road, Cruikshank Point

RECOMMENDATION:

THAT: in accordance with Section 498 of the Local Government Act, Development Variance Permit No. 701-84 for Lot 10, Section 19, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan 14328, varying South Shuswap Zoning Bylaw No. 701 as follows:

Section 11.2.4 Minimum setback from:

- the north interior side parcel line (adjacent to Shuswap Lake) from 2 m to 0 m only for the retaining wall and to 1.71 m only for the terrace;
- the west interior side parcel line from 2 m to 0 m only for the retaining wall and to 1.63 m only for the single family dwelling;
- the rear (east) parcel line from 5 m to 0.18 m only for the retaining wall, to 0.92 m only for the sleep out shed, and to 0.48 m only for the garage; and,
- the south interior side parcel line from 2 m to 0.26 m only for the garage with attached covered area.

be approved for issuance this 18th day of April, 2019.

SHORT SUMMARY:

The subject property is located at 711 Viel Road in the Cruikshank Point area of Sorrento, in Electoral Area C, and is waterfront to Shuswap Lake. The owners have replaced the previously existing masonry and gabion retaining walls with an engineered rock retaining wall. Retaining structures that are 1.2 m or greater in height are required to meet the zoning bylaw setback requirements. The new retaining wall is up to 1.92 m in height and requires a variance from the rear and interior side parcel line setbacks. A terrace was also reconstructed within the north interior side parcel line setback and requires a variance. Additionally, the owners are proposing to recognize the location of the other pre-existing buildings and structures on the property, including the single family dwelling with attached carport and deck, the sleep out shed, and the garage with attached covered area, which are located within various parcel line setbacks but are currently considered lawful non-conforming as they predate the South Shuswap Zoning Bylaw No. 701.

VOTING:

 Unweighted
Corporate

☐

 LGA Part 14
(Unweighted)

☒

 Weighted
Corporate

☐

 Stakeholder
(Weighted)

☐
BACKGROUND:

REGISTERED OWNERS:

Frederick and Eleanor Clark

ELECTORAL AREA:
C

LEGAL DESCRIPTION:

Lot 10, Section 19, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan 14328

PID:
009-034-129

CIVIC ADDRESS:
711 Viel Road

SURROUNDING LAND USE PATTERN:

North: Shuswap Lake
South: Residential/Agriculture
East: Residential
West: Residential

CURRENT USE:

Single family dwelling with attached carport and upper deck, terrace, detached garage with attached covered area, sleep out shed, and a rock retaining structure along foreshore.

PROPOSED USE:

To recognize the location of the new retaining wall within the rear and interior side parcel line setbacks, the location of the new terrace within the north interior side parcel line setback, and the locations of the pre-existing development, including: the single family dwelling, the detached garage with covered area, and the sleep out shed, which are also located within various parcel line setbacks but are currently considered lawful non-conforming as they predate the South Shuswap Zoning Bylaw No. 701.

PARCEL SIZE:
0.185 ha (0.47 acres)

DESIGNATION:
Electoral Area C Official Community Plan Bylaw No. 725
RR2 - Rural Residential 2

ZONE:
South Shuswap Zoning Bylaw No. 701 (Bylaw No. 701)
RR1 – Rural Residential

SITE COMMENTS:
See "Maps_Plans_Photos_DVP701-84.pdf" attached.

The subject property is at the end of Viel Road, near Cruikshank Point in Sorrento, and is adjacent to Shuswap Lake. The property is relatively flat with no slopes over 30% grade.

SERVICING:

Sorrento Water System (located in Waverly Park Water Upgrade area).
On-site sewage disposal system.

ACCESS:

Viel Road.

See "Maps_Plans_Photos_DVP701-84.pdf" attached.

POLICY:**South Shuswap Zoning Bylaw No. 701**Section 1 - Definitions

SETBACK means the required minimum distance between a structure, building or use and each of the respective property lines.

STRUCTURE means any construction fixed to, supported by or sunk into land or water but not concrete or asphalt paving or similar surfacing.

Section 7.2 – RR1 – Rural Residential Regulations

.5 Minimum Setback from:

Front parcel line	5 m
Exterior side parcel line	4.5 m
Interior side parcel line	2.0 m
Rear parcel line	5 m

FINANCIAL:

If DVP701-84 is not approved by the Board, the CSRD will have to consider what bylaw enforcement action to take to correct the infractions as the retaining wall and terrace have already been reconstructed.

KEY ISSUES/CONCEPTS:Parcel Lines

See "Maps_Plans_Photos_DVP701-84.pdf" attached.

Often for waterfront properties, the rear parcel line is the parcel line adjacent to the lake. However, the subject property's front parcel line is the west parcel line providing access from Viel Road, and as the rear parcel line is defined as the boundary which lies the most opposite to and is not connected to the front parcel line, the rear parcel line is the east parcel line. Subsequently, the parcel line adjacent to Shuswap Lake is an interior side parcel line, with a setback of 2.0 m rather than 5.0 m, and the east parcel line, which would typically be an interior side parcel line with a setback of only 2.0 m, has a

setback of 5.0 m. All other parcel lines for the subject property are side parcel lines with setbacks of 2.0 m.

Development Variance Permit

Retaining structures that are 1.2 m or greater in height are required to meet the zoning bylaw setback requirements. The new retaining wall varies in height from 1.23 m to 1.92 m. The applicant has applied for variances to the setbacks from the rear and interior side parcel lines to the proposed retaining wall. Additionally, the terrace was reconstructed within the rear parcel line setback and requires a variance. The terrace is a wood platform that is built into the gentle slope to the south and raised 0.61 m off the ground to the north.

As part of this application, the owners are also proposing to recognize the pre-existing development, which is located within various parcel line setbacks, including the single family dwelling, the sleep out shed, and the garage with attached covered area.

The applicant is proposing to vary Section 7.2.5 of Bylaw No. 701:

- Minimum setback from the north interior side parcel line (adjacent to Shuswap Lake) from 2 m to 0 m only for the retaining wall and to 1.71 m only for the terrace;
- Minimum setback from the west interior side parcel line from 2 m to 0 m only for the retaining wall and to 1.63 m only for the single family dwelling;
- Minimum setback from the rear (east) parcel line from 5 m to 0.18 m only for the retaining wall, to 0.92 m only for the sleep out shed, and to 0.48 m only for the garage; and,
- Minimum setback from the south interior side parcel line from 2 m to 0.26 m only for the garage with attached covered area.

BC Building Code

Staff note that the existing buildings located within 2.4 m of the parcel lines may not meet current BC Building Code requirements for spatial separation. However, these buildings are existing and were constructed prior to the requirement of Building Permits by the CSRD. If in the future the property owners propose to rebuild in the same location, there will be specific requirements for any portions of the buildings within 2.4 m of a parcel line. This will be confirmed through Building Permits as Building Regulation Bylaw No. 660 is now in effect in Electoral Area C.

Floodplain Exemption

Bylaw No. 701 establishes floodplain regulations, including the Flood Construction Level, defined as 351.0 metres Geodetic Survey of Canada Datum (GSC Datum) for the land adjacent to Shuswap Lake, and the Floodplain Setback, defined as 15 metres from the mean annual high water mark of Shuswap Lake. A floodplain exemption is required as the new retaining wall and terrace are constructed within the floodplain setback and the terrace is constructed below the flood construction level. The floodplain exemption application also includes the existing house with attached carport and the attached upper deck and staircases. If approved, the floodplain exemption will decrease the Flood Construction Level from 351.0 metres GSC Datum to:

- 350.59 m GSC Datum, only for the existing terrace;
- 350.13 m GSC Datum, only for the existing single family dwelling; and,
- 350.01 m GSC Datum, only for the footings of the existing upper deck and the attached stairs.

If approved, the floodplain exemption will decrease the Floodplain Setback from 15 metres from the high water mark of Shuswap Lake to:

- 0 m from the mean annual high water mark of Shuswap Lake, only for the existing retaining wall and attached stairs;
- 1.71 m from the mean annual high water mark of Shuswap Lake, only for the existing terrace;
- 7.63 m from the mean annual high water mark of Shuswap Lake, only for the existing single family dwelling; and,
- 5.31 m from the mean annual high water mark of Shuswap Lake, only for the footings of the existing upper deck and the attached stairs.

Staff are in receipt of a flood hazard assessment by Onsite Engineering Ltd. (OEL), dated March 13, 2018, which addresses the floodplain regulation and exemption requirements in Bylaw No. 701. OEL's report concludes that provided the retaining wall is constructed as per the design parameters outlined in their report, it is their determination that the retaining wall will be safe for its intended use with respect to the flood hazards presented by Shuswap Lake. OEL's report also states that the existing house, upper deck and staircases and the reconstructed lower deck (terrace) are safe for their intended uses with respect to flood hazards presented by Shuswap Lake.

Staff are processing the floodplain exemption concurrently with the Development Variance Permit. Approval of technical permits such as these has been delegated to the Manager of Development Services. If the development variance permit is approved by the Board, the Manager will be able to consider issuing the floodplain exemption.

Development Permit

A Riparian Area Regulation (RAR) Development Permit is required as the development is within 30 m of the high water mark of Shuswap Lake. Staff are processing the RAR Development Permit application concurrently with the Development Variance Permit. Approval of this technical permit has been delegated to the Manager of Development Services.

Staff are in receipt of a Riparian Areas Assessment completed by Qualified Environmental Professional (QEP), Bill Rublee, R.P. Bio, of Triton Environmental Consultants Ltd., dated July 24, 2018. In their report, the QEP recognizes that all work has been completed, but based on the work done, there is no evidence of environmental harm associated with the completed works. The QEP includes planting recommendations in their report. If the development variance permit is approved by the Board, the Manager will be able to consider issuing the development permit.

SUMMARY:

The owners of the subject property have reconstructed the retaining wall and terrace on the property. These new structures require a Development Variance Permit. This variance permit also proposes to recognize the locations of the pre-existing buildings and structures, including the single family dwelling, the shed, and the detached garage.

Development Services Staff are recommending that the Board consider issuance of Development Variance Permit No. 701-84 for the following reasons:

1. Staff are in receipt of a flood hazard assessment by Onsite Engineering Ltd., which states that significant scour was observed below part of the original retaining wall and the retained yard behind another portion of the wall had been undermined. The report states that the new retaining wall has been set back from the original wall's position in some locations, and the new design accounts for the potential impacts from wave action and flooding that could occur during a future high water event on Shuswap Lake;

2. The flood hazard assessment indicates that all of the newly constructed and pre-existing buildings and structures on the property will be safe for their intended use with respect to the flooding hazard presented by Shuswap Lake;
3. The new terrace is a relatively minor structure, as it is built into the slope at the south end and is a maximum height of 0.61 m at the north end. Additionally, the terrace is only 0.29 m closer to the parcel line than what is currently permitted by Bylaw No. 701, the variance for the terrace is for a parcel line adjacent to the lake, and therefore will not impact another property owner, and the new terrace location is set back further from the lake and parcel line than the old terrace was.
4. The other setback variances should have minimal impact on the surrounding properties, as the existing buildings have been present for many years, there are no nearby structures on adjacent properties.

IMPLEMENTATION:

If Development Variance Permit 701-84 is approved by the Board, staff will prepare a notice to be sent to the Land Title and Survey Authority of British Columbia (LTSA) for registration on title. The Manager of Development Services will be able to consider issuance of the RAR Development Permit and the Floodplain Exemption.

COMMUNICATIONS:

Property owners and tenants in occupation within 100 m of the subject property will be given notification a minimum of 10 days prior to the CSRD Board of Directors considering this application. All interested parties will have the opportunity to provide written comments regarding this application prior to the Board Meeting. Copies of the written submissions are provided to the Board of Directors.

The Electoral Area C Advisory Planning Commission reviewed the application at their March 25, 2019 meeting and passed a resolution in support of the application.

DESIRED OUTCOMES:

That the Board support the staff recommendation to approve issuance of DVP 701-84.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

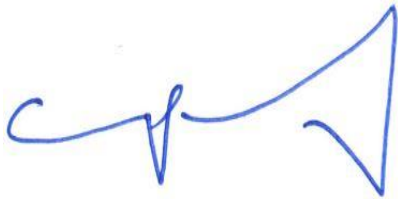
1. South Shuswap Zoning Bylaw No. 701
2. Electoral Area C Official Community Plan Bylaw No. 725

3. Electoral Area C Advisory Planning Commission Minutes March 25, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_DVP701-84_Clark.docx
Attachments:	- DVP701-84.pdf - Maps_Plans_Photos_DVP701-84.pdf
Final Approval Date:	Apr 5, 2019

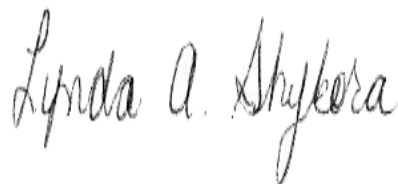
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 2, 2019 - 12:20 PM



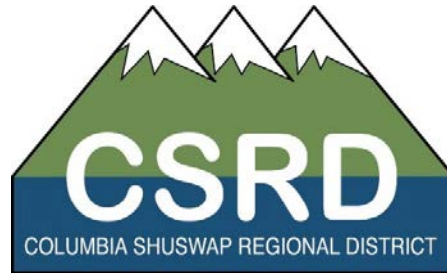
Gerald Christie - Apr 4, 2019 - 10:30 AM



Lynda Shykora - Apr 5, 2019 - 3:44 PM



Charles Hamilton - Apr 5, 2019 - 3:50 PM



DEVELOPMENT VARIANCE PERMIT NO. 701-84

1. OWNERS: Frederick John Stephen Clark
Eleanor Jane Clark
[REDACTED]
[REDACTED]
[REDACTED]
As Joint Tenants

2. This permit applies only to the land described below:

 Lot 10, Section 19, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan 14328, (PID: 009-034-129), which property is more particularly shown outlined in bold on the Location Map attached hereto as Schedule A.

3. The South Shuswap Zoning Bylaw No. 701, is hereby varied as follows:
 - a. Section 11.2.4 Minimum setback from the north interior side parcel line (adjacent to Shuswap Lake) from 2 m to 0 m only for the retaining wall and to 1.71 m only for the terrace;
 - b. Section 11.2.4 Minimum setback from the west interior side parcel line from 2 m to 0 m only for the retaining wall and to 1.63 m only for the single family dwelling;
 - c. Section 11.2.4 Minimum setback from the rear (east) parcel line from 5 m to 0.18 m only for the retaining wall, to 0.92 m only for the sleep out shed, and to 0.48 m only for the garage; and,
 - d. Section 11.2.4 Minimum setback from the south interior side parcel line from 2 m to 0.26 m only for the garage with attached covered area.

as more particularly shown on the site plans attached hereto as Schedule B.

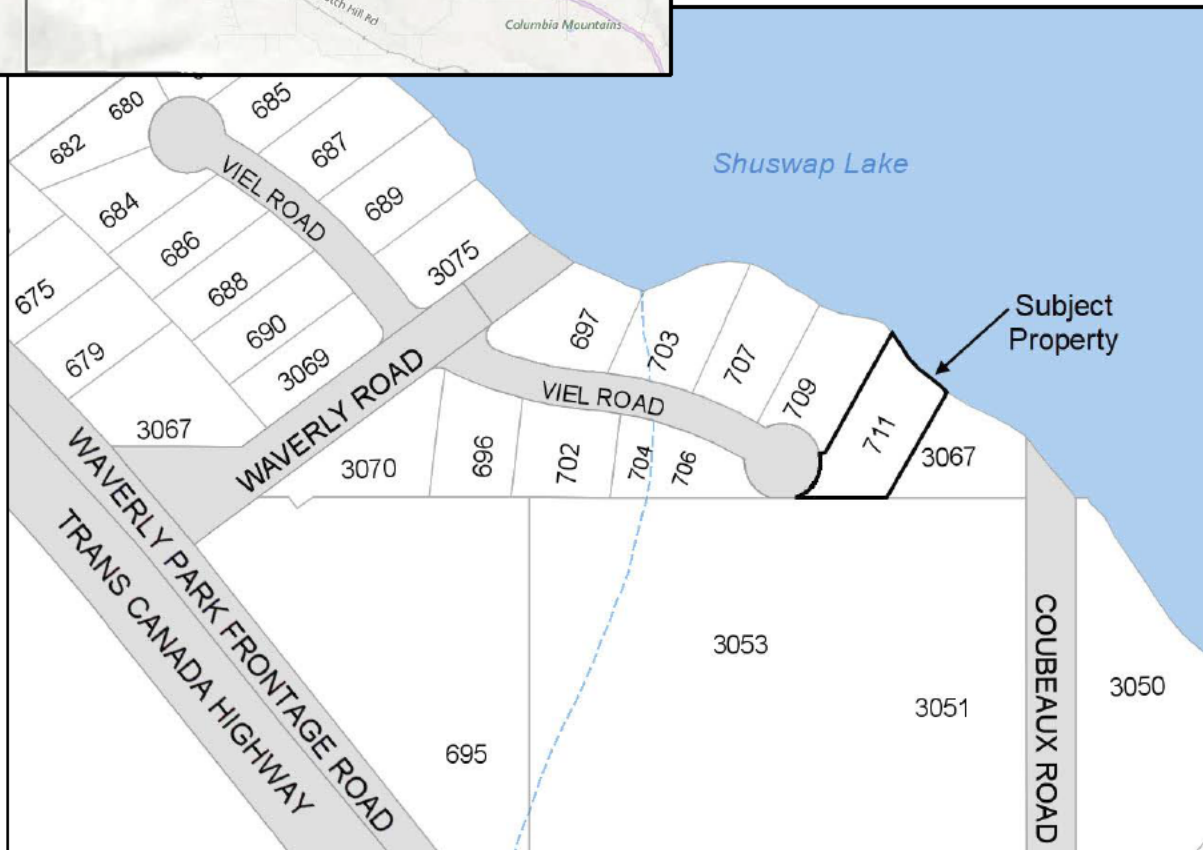
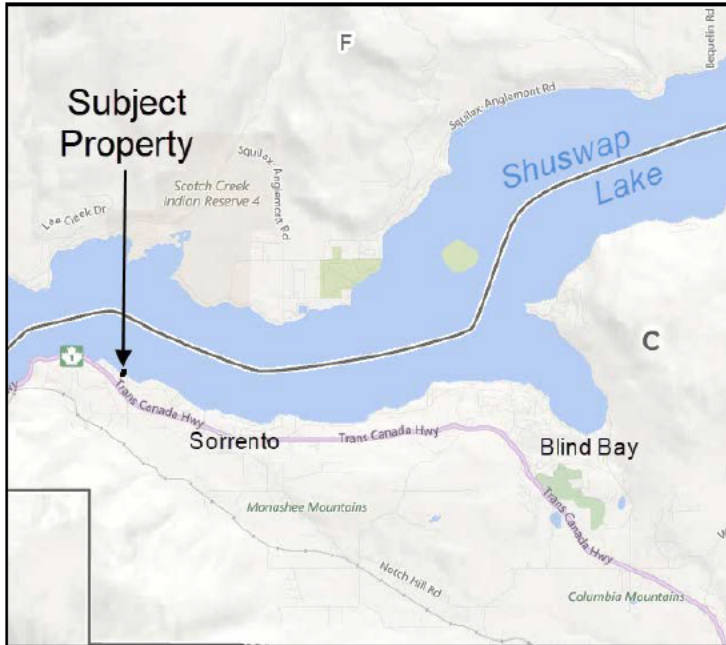
4. This permit is NOT a building permit.

AUTHORIZED AND ISSUED BY RESOLUTION of the Columbia Shuswap Regional District Board
on the _____ day of _____, 2019.

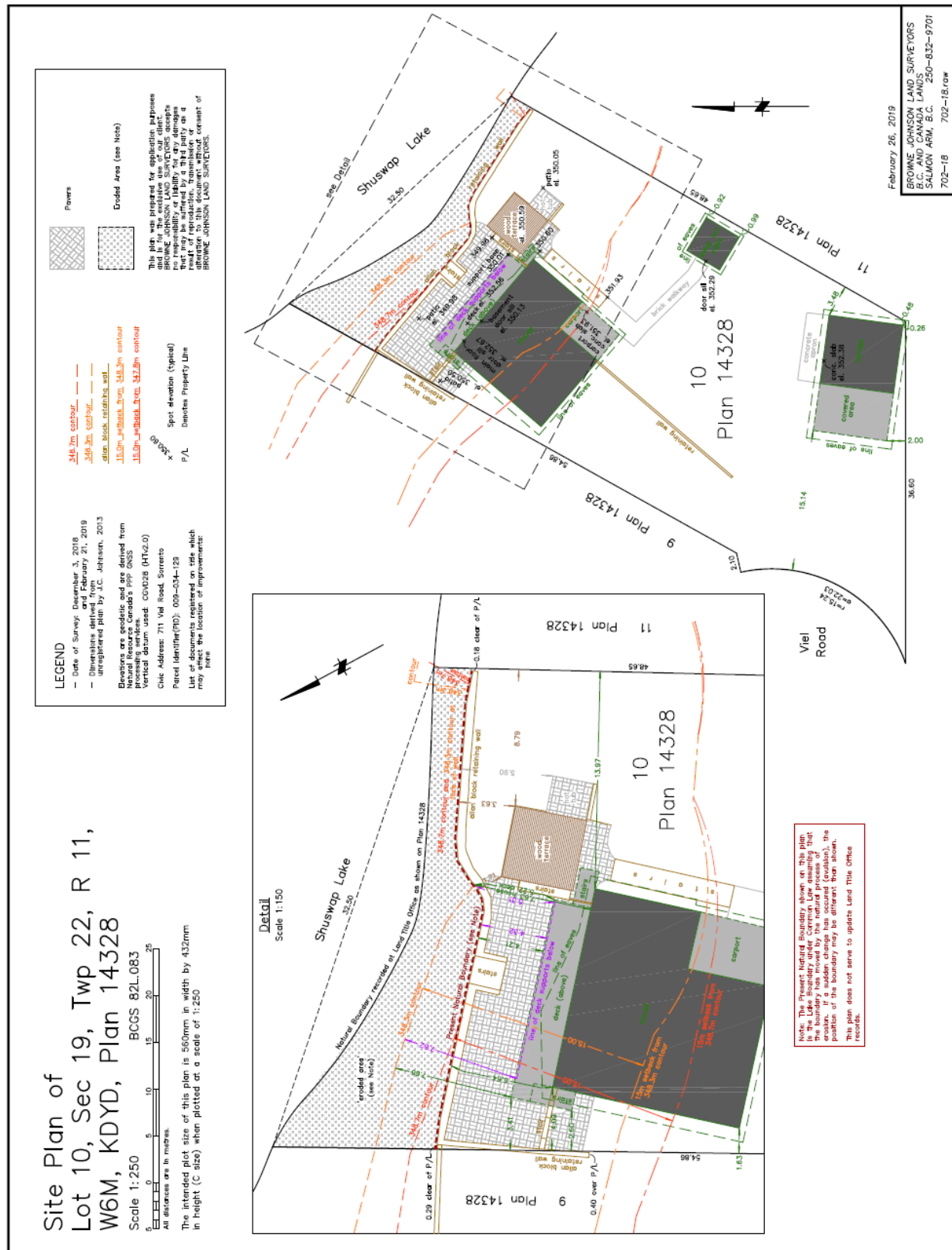
CORPORATE OFFICER

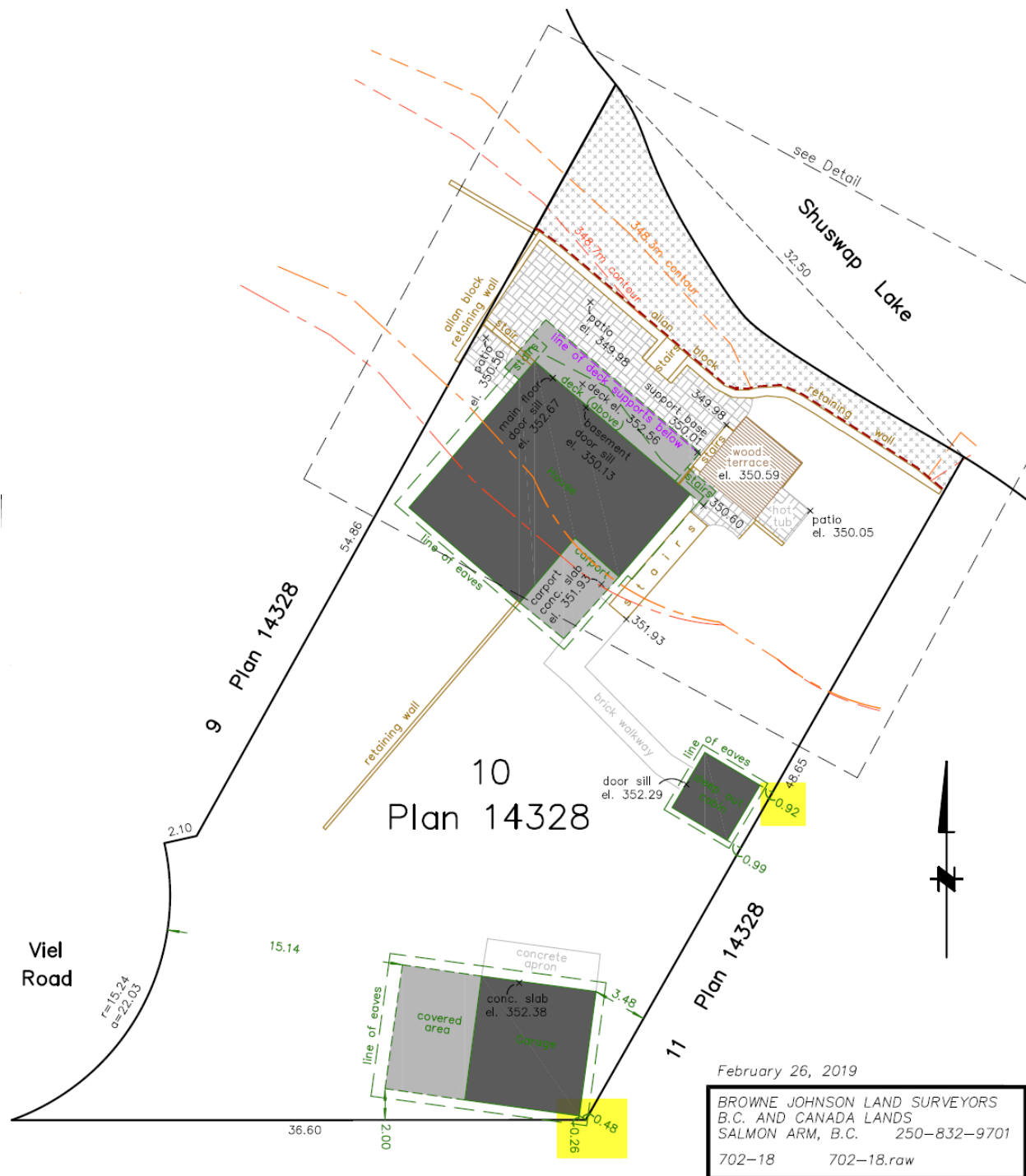
NOTE: Subject to Section 504 of the Local Government Act, if the development of the subject property is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

**DVP 701-84
Schedule A**

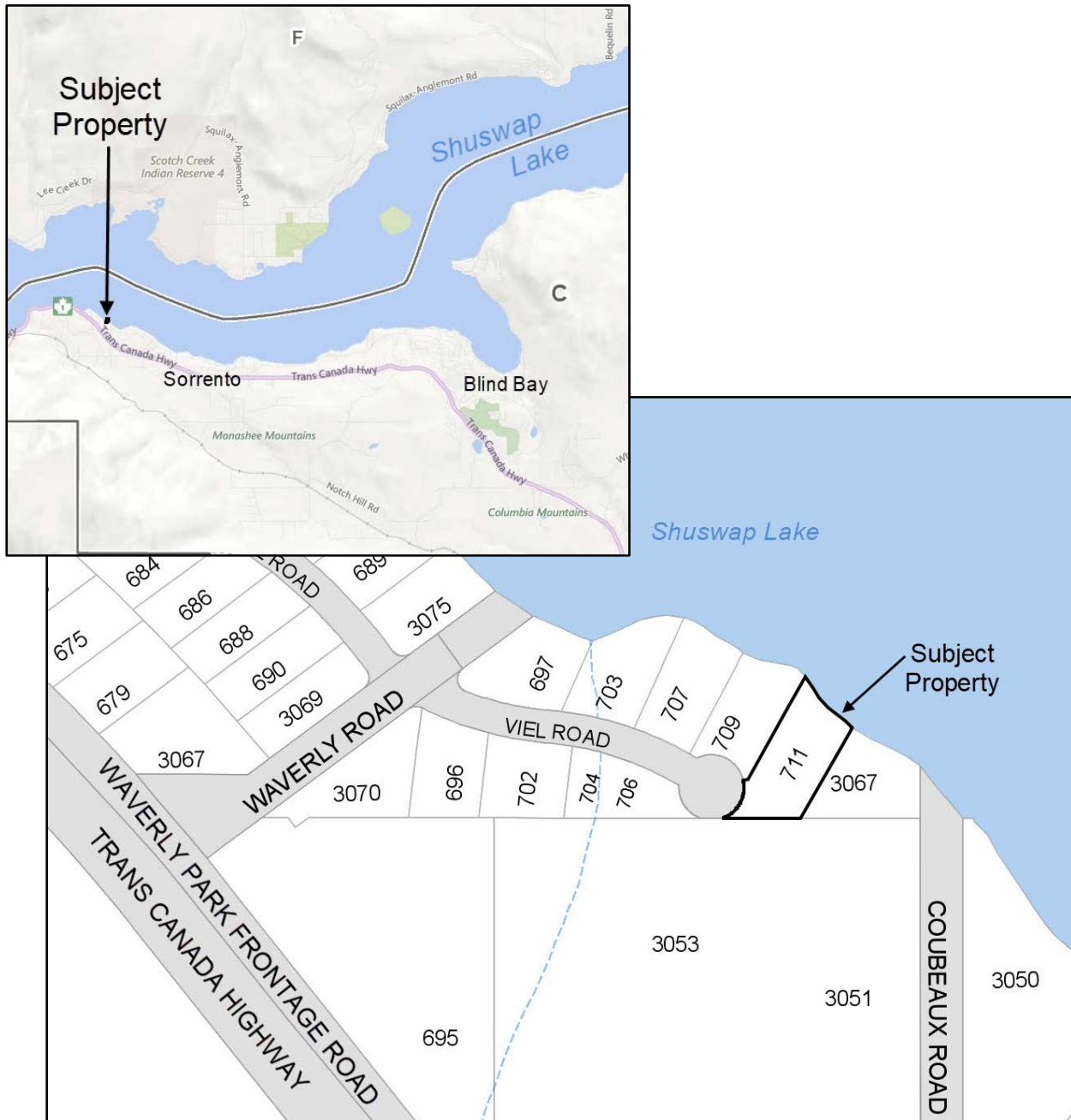


DVP 701-84
Schedule B

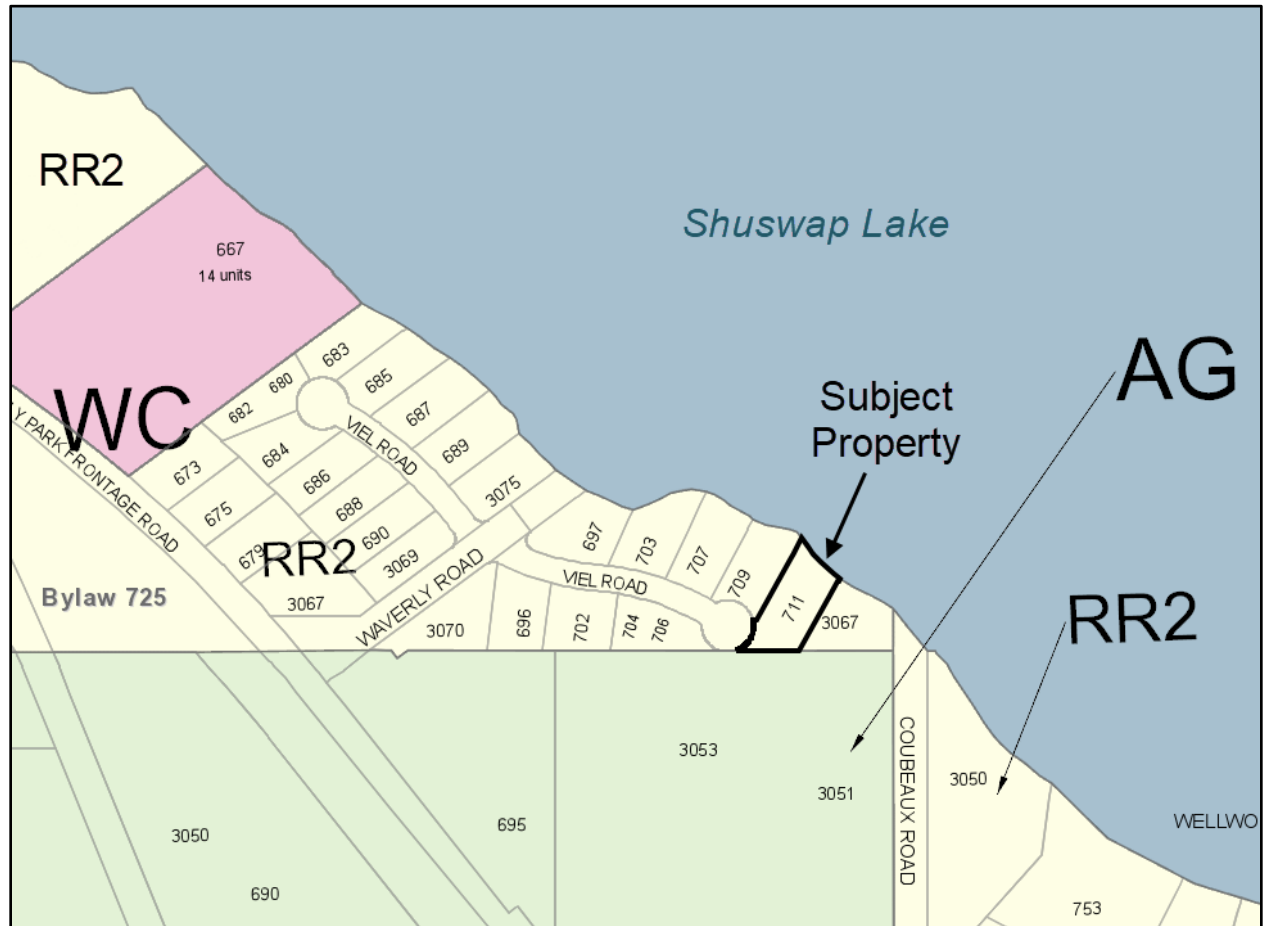




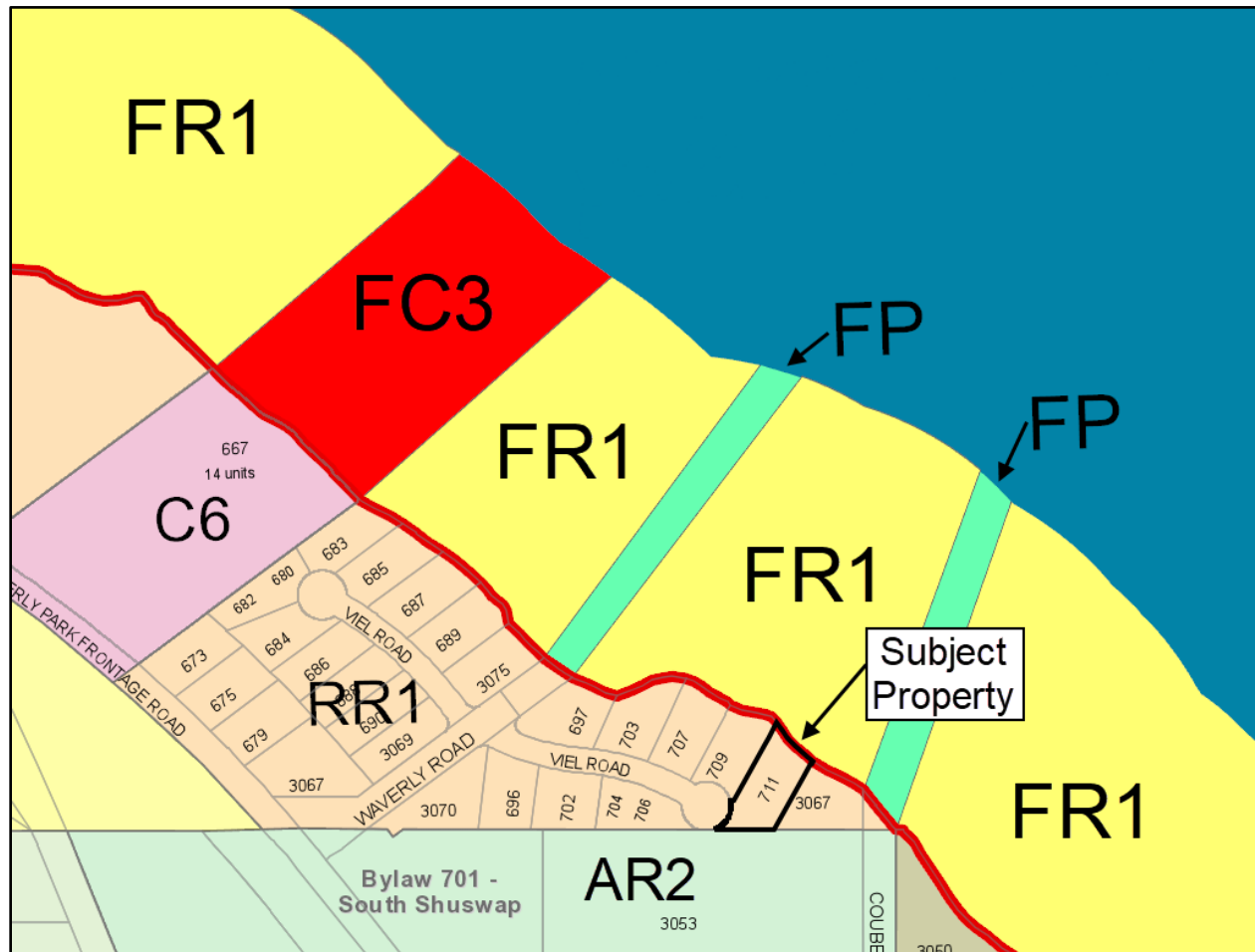


Location:

Electoral Area 'C' Official Community Plan Bylaw No. 725:



South Shuswap Zoning Bylaw No. 701 and Lakes Zoning Bylaw No. 900



Site Plans:

Site Plan of
Lot 10, Sec 19, Twp 22, R 11,
W6M, KDYD, Plan 14328

Scale 1:250
BCGS 82L.083

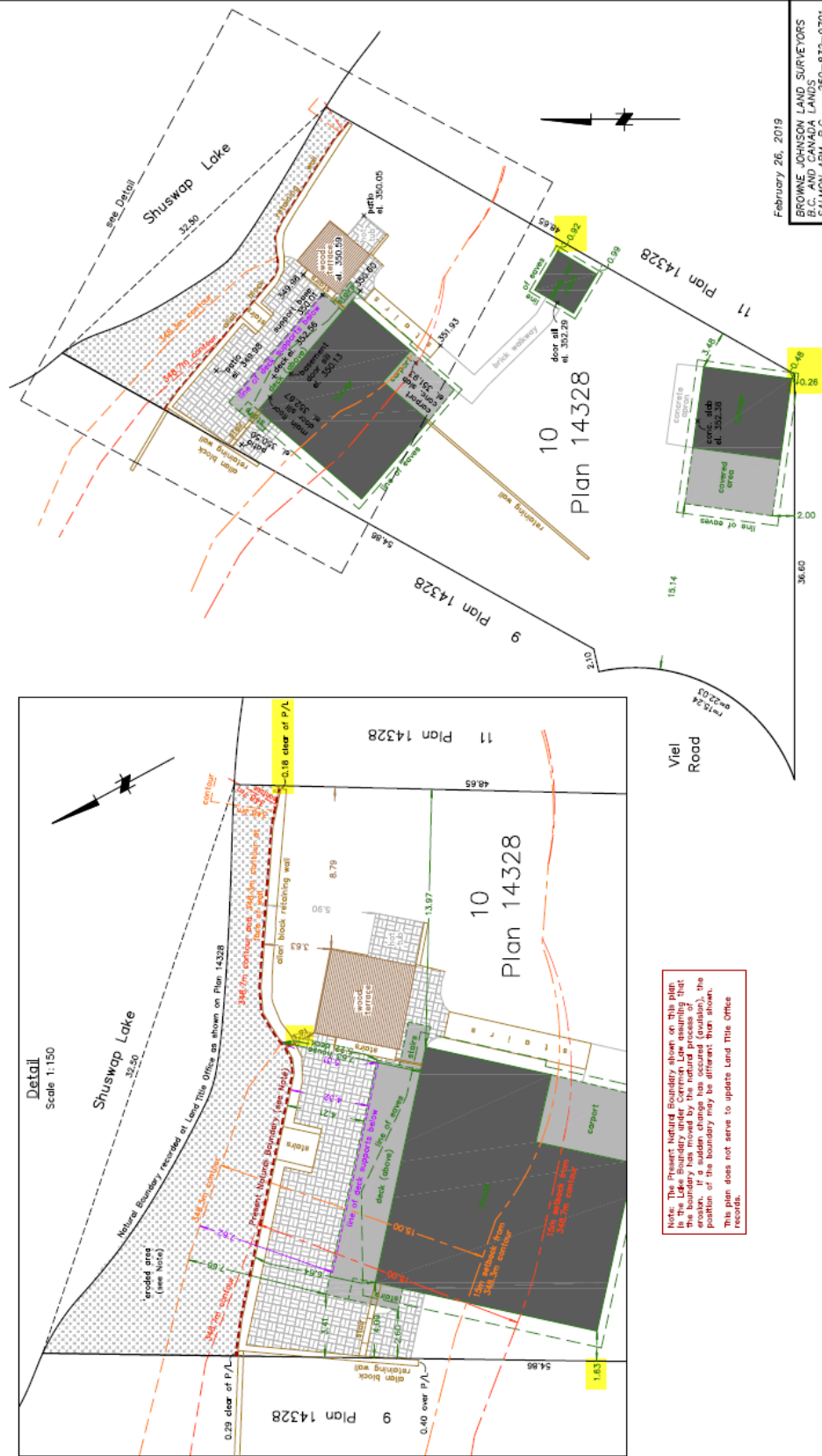
All distances are in metres.

The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:250

LEGEND

- Date of Survey: December 3, 2018
 - Dates of Survey: December 3, 2018 and February 21, 2019
 - Datasets derived from: Datasets derived from unregistered plan by J.C. Johnson, 2013
 Elevations are geodetic and are derived from the International Terrestrial Reference Frame (ITRF) and Canada's PPP GNSS Processing services.
 Vertical datum used: COWD28 (HTx2.0)
 CMC Address: 711 Vial Road, Sorrento
 Parcel Identifier(PID): 009-034-129
 List of documents registered on title which may affect the location of improvements:
 None

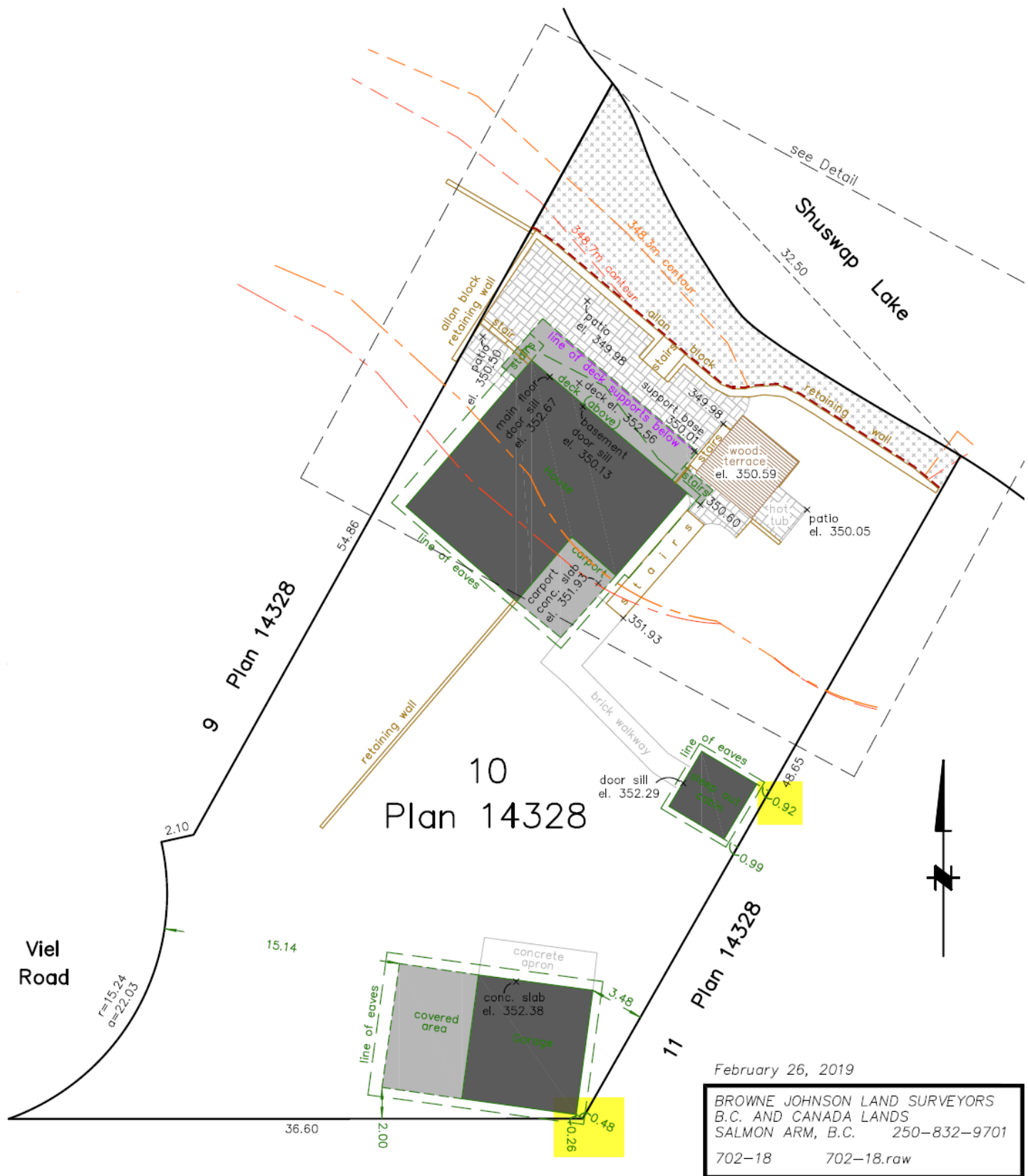
This plan was prepared for application purposes and is for the exclusive use of our client, BROWNE JOHNSON LAND SURVEYORS, acceptors of responsibility and liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of BROWNE JOHNSON LAND SURVEYORS.



Note: The Present Natural Boundary shown on this plan is the Lake Boundary under Common Law assuming that the boundary has moved by the natural process of erosion. If a sudden change has occurred (avalanche), the position of the boundary may be different than shown.

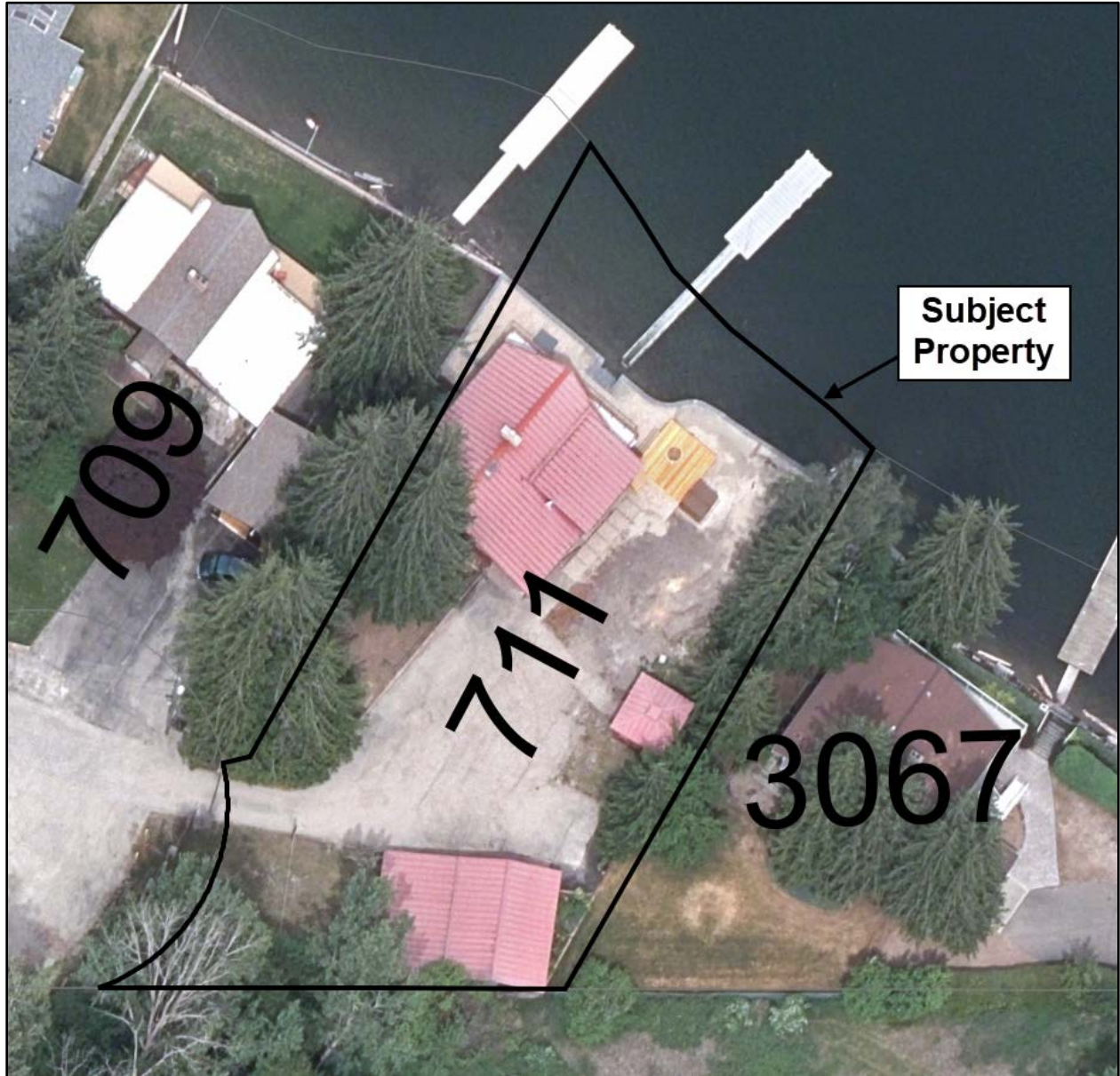
February 26, 2019

BROWNE JOHNSON LAND SURVEYORS
B.C. AND CANADA LANDS
SALMON ARM, B.C. 250-832-9701
702-18 702-18 row





2018 Orthophoto (after):



2013 Orthophoto (before):



Photos:

Photo of the lower terrace and staircase on the east side of the upper deck:



Photo of the retaining wall along the foreshore of the property:



Photo of the upper deck and the terrace:



Photo along the west interior side parcel line of the staircase from the upper deck:



Photo of the retaining wall and terrace (looking east):



Photo of the sleep out shed near the east interior side parcel line:



Photo of the garage with attached covered area near the south interior side parcel line:



Photo of the carport attached to the south side of the single family dwelling:





BOARD REPORT

TO: Chair and Directors

File No: DVP 701-85
PL20190003

SUBJECT: Electoral Area C: Development Variance Permit No. 701-85 (Hardy)

DESCRIPTION: Report from Erica Hartling, Planner I, dated March 29, 2019.
14 - 6421 Eagle Bay Road, Wild Rose Bay

RECOMMENDATION: THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 701-85 for Strata Lot 14, Section 18, Township 23, Range 8, West of the 6th Meridian, Kamloops Division Yale District, Strata Plan KAS1797, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1, varying South Shuswap Zoning Bylaw No. 701 as follows:

- Section 15.2.5 minimum setback from the front parcel line from 5 m to 0 m and from the side parcel line from 2 m to 0.03 m only for a shed with a floor area up to and no more than 8 m².

be issued this 18th day of April, 2019.

SHORT SUMMARY:

The subject property is located at 14 - 6421 Eagle Bay Road in Wild Rose Bay of Electoral Area C. The property has an existing cabin and the owners are proposing to construct a shed in the south east corner of the lot. The proposed shed is 7.43 m² (80 ft²) and within the front parcel line setback and side parcel line setback and requires a variance to the South Shuswap Zoning Bylaw No. 701 from 5 m to 0 m for the front parcel boundary and 2 m to 0.03 m for the side parcel boundary, prior to construction.

VOTING:

Unweighted
Corporate

☐

LGA Part 14
(Unweighted)

☒

Weighted
Corporate

☐

Stakeholder
(Weighted)

☐

BACKGROUND:

REGISTERED OWNER(S):
Steven and Christine Hardy

ELECTORAL AREA:
C

LEGAL DESCRIPTION:

Strata Lot 14, Section 18, Township 23, Range 8, West of the 6th Meridian, Kamloops Division Yale District, Strata Plan KAS1797, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1.

PID:
023-518-332

CIVIC ADDRESS:

14 - 6421 Eagle Bay Rd

SURROUNDING LAND USE PATTERN:

North = Common property, Shuswap Lake

South = Common Road and Residential Strata Lots

East = Common Lake Access Road

West = Residential Strata Lots

CURRENT USE:

Cabin (i.e. single family dwelling)

PROPOSED USE:

Construct a 7.43 m² (80 ft²) shed (non-permanent structure) within the front and side parcel line setbacks.

PARCEL SIZE:

0.06 ha (0.14 acres)

DESIGNATION:

Electoral Area C Official Community Plan Bylaw No. 725

MD – Medium Density Residential

ZONE:

South Shuswap Zoning Bylaw No. 701

LH – Large Holding

Lakes Zoning Bylaw No. 900

FM2 - Foreshore Multifamily 2, site specific (Wild Rose Bay Properties)

SITE COMMENTS:

See "Maps_Plans_Photos_DVP701-85.pdf" attached.

The subject property is part of the Strata Plan KAS1797 and Wild Rose Bay Properties Ltd. The strata lot does not contain steep slopes and is located south of a small strip of common property adjacent to Shuswap Lake. The property currently contains an existing cabin located away from the lake and towards the south end of the lot. The proposed building site for the shed is at the southeast corner of the lot, setback away from Shuswap Lake and will be located outside the designated floodplain and riparian area.

POLICY:**South Shuswap Zoning Bylaw No. 701**

See "BL701_Excerpts_BL701-85.pdf" attached.

LH – Large Holding

15.2 Regulations

.5	Minimum setback of Principal and Accessory Buildings from:	
	front parcel line	5 m
	exterior parcel line	4.5 m
	interior parcel line	2 m
	rear parcel line	5 m

FINANCIAL:

There are no financial implications for the CSRD as a result of this application.

KEY ISSUES/CONCEPTS:

See site plan in the attached "Maps_Plans_Photos_DVP701-85.pdf".

The owners are proposing to vary South Shuswap Zoning Bylaw No. 701, as follows:

- Section 15.2.5 minimum setback from the front parcel line from 5 m to 0 m and from the side parcel line from 2 m to 0.03 m only for a shed with a floor area up to and no more than 8 m².

The owners have proposed to locate a non-permanent 8 ft x 10 ft storage shed in the front and southeast corner of the property; locating the shed completely outside the Riparian Area Regulation Development Permit Area. The shed brings the total buildout on the property to approximately 170 m²; as the total footprint is less than 200 m² the development is exempt from requiring a Lakes 100 m Development Permit. The proposed shed will not require a CSRD Building Permit, as the Building Regulation Bylaw No. 660 and the BC Building Code do not apply to structures under 9.94 m² (107 ft²).

The location of the proposed shed should have minimal impact on surrounding properties, as it will be constructed behind the subject property's existing chain link fence, which is next to the common lake access road. The common lake access road contains a boat launch (motorized and non-motorized) and a walkway to the group moorage facility. The shed is a small non-permanent structure and it will be screened by the existing trees located in the common area between the front parcel boundary and the road.

The owners have also made an application to their building committee and Strata Council, for the proposed location of the shed. as there is currently a building scheme registered over the subject property that is regulated by the Strata and not the CSRD.

SUMMARY:

The application proposes to vary South Shuswap Zoning Bylaw No. 701, as follows:

- Section 15.2.5 minimum setback from the front parcel line from 5 m to 0 m and from the side parcel line from 2 m to 0.03 m only for a shed with a floor area up to and no more than 8 m².

Development Services staff are recommending that the Board consider issuance of Development Variance Permit No. 701-85, as the proposed location and size of the shed should have minimal impact on surrounding properties.

IMPLEMENTATION:

If Development Variance Permit No. 701-85 is approved, the notice of permit will be registered on subject property's title. The proposed shed is 7.43 m² (80 ft²) and will not require a CSRD Building Permit, as the Building Regulation Bylaw No. 660 and the BC Building Code do not apply to structures under 9.94 m² (107 ft²).

If the variance is approved, the owner will require a separate approval from the Strata Council before constructing the shed.

COMMUNICATIONS:

Property owners and tenants in occupation within 100 m of the subject property will be given notification a minimum of 10 days prior to the CSRD Board of Directors considering this application. The Strata Council will receive a copy of the notice because there is common property along the north, east, south parcels lines of the subject property. All interested parties will have the opportunity to provide comments regarding this application prior to the Board meeting. Copies of the written submissions are provided to the Board of Directors.

Referrals have been sent to the following:

- Area C APC

The Electoral Area C Advisory Planning Commission reviewed the application at their March 25, 2019 meeting and passed a resolution in support of the application.

DESIRED OUTCOMES:

That the Board endorse the staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. South Shuswap Zoning Bylaw No. 701
2. Electoral Area C Official Community Plan Bylaw No. 725
3. Electoral Area C Advisory Planning Commission Minutes March 25, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_DVP701-85_Hardy.docx
Attachments:	- DVP701-85.pdf - BL701_Excerpts_DVP701-85.pdf - Maps_Plans_Photos_DVP701-85.pdf
Final Approval Date:	Apr 8, 2019

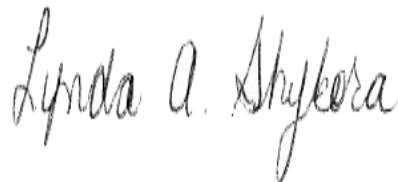
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 4, 2019 - 1:43 PM



Gerald Christie - Apr 5, 2019 - 8:35 AM



Lynda Shykora - Apr 8, 2019 - 11:48 AM



Charles Hamilton - Apr 8, 2019 - 1:53 PM



DEVELOPMENT VARIANCE PERMIT NO. 701-85

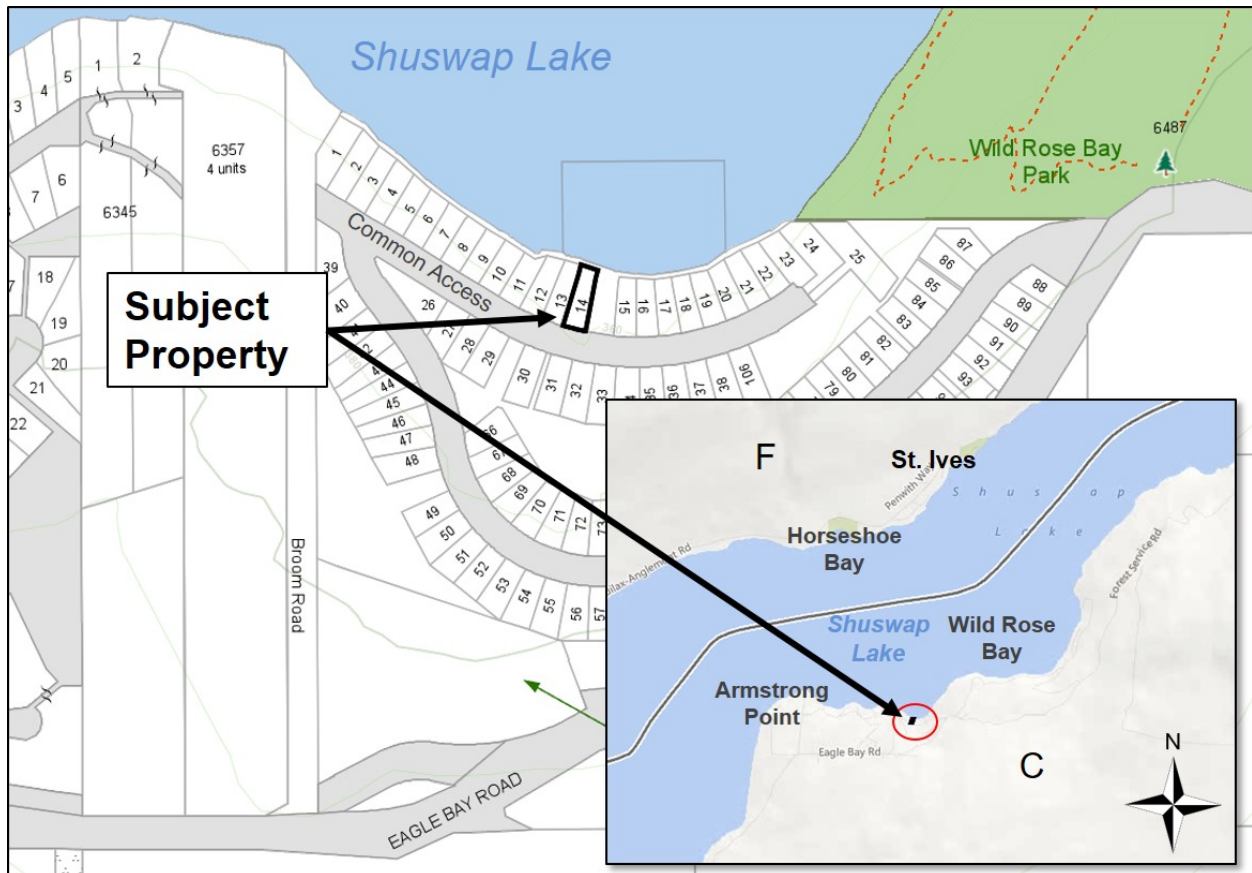
1. OWNERS: Steven Claude Hardy
Christine Deanna Hardy
[REDACTED]
[REDACTED]
[REDACTED]
As Joint Tenants
2. This permit applies only to the land described below:
Strata Lot 14, Section 18, Township 23, Range 8, West of the 6th Meridian, Kamloops Division Yale District, Strata Plan KAS1797, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1 (PID: 023-518-332), which property is more particularly shown outlined in bold on the Location Map attached hereto as Schedule A.
3. The South Shuswap Zoning Bylaw No. 701, is hereby varied as follows:
 - a. Section 15.2.5 minimum setback from the front parcel line from 5 m to 0 m and from the side parcel line from 2 m to 0.03 m only for a shed with a floor area up to and no more than 8 m².
 as more particularly shown on the site plan attached hereto as Schedule B.
4. This permit is NOT a building permit.

AUTHORIZED AND ISSUED BY RESOLUTION of the Columbia Shuswap Regional District Board on the _____ day of _____, 2019.

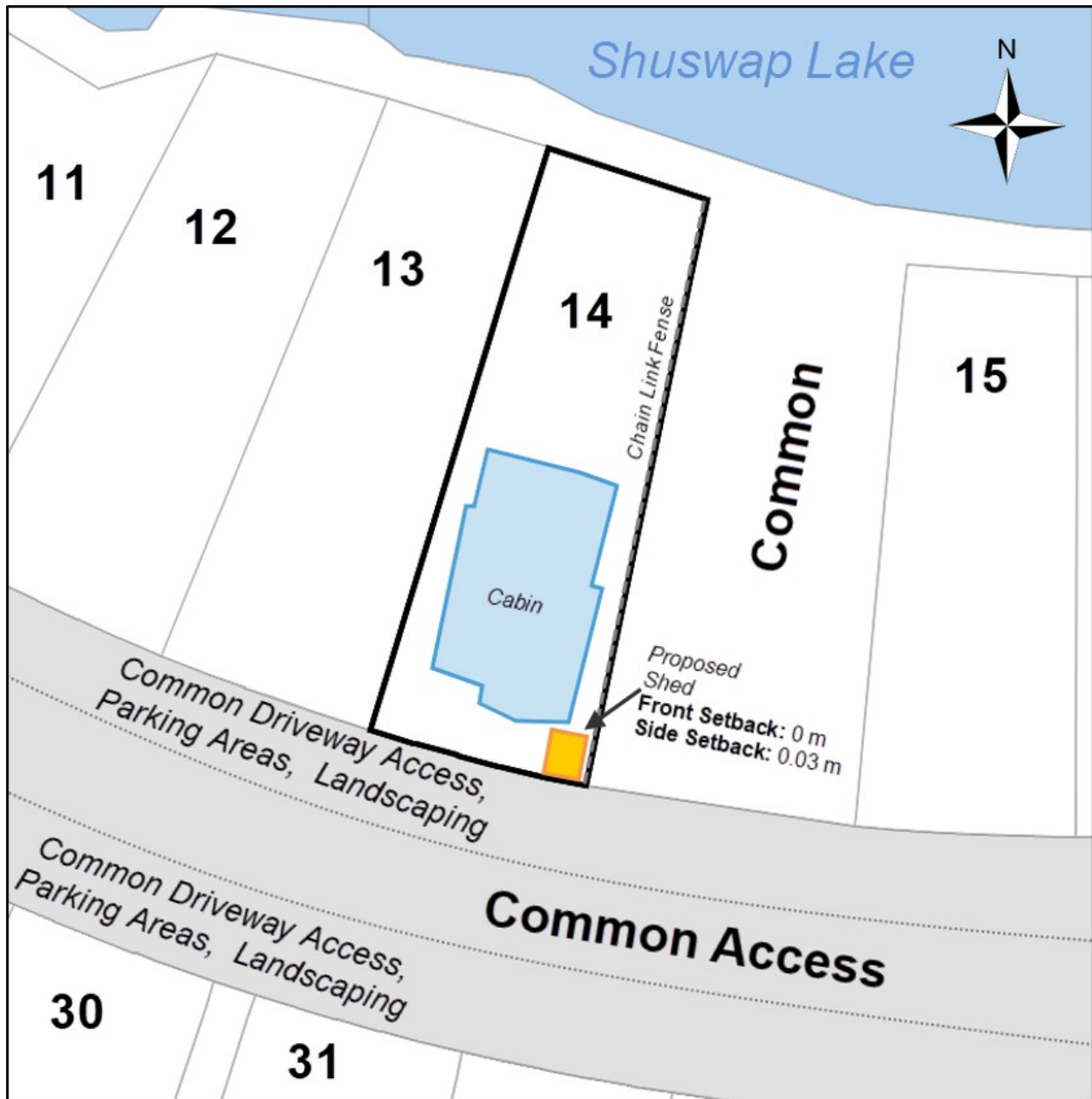
CORPORATE OFFICER

NOTE: Subject to Section 504 of the Local Government Act, if the development of the subject property is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

Schedule A Location Map



Schedule B
Site Plan



Relevant Excerpts from South Shuswap Zoning Bylaw No. 701

(See [Bylaw No. 701](#) for all policies)

Section 15: LH –Large Holding Zone

Permitted Uses

15.1 The following uses and no others are permitted in LH zone:

- .1 single family dwelling;
- .2 agriculture;
- .3 bed and breakfast;
- .4 cottage, permitted only if there is less than two (2) single family dwellings on the property;
- .5 home business;
- .6 home industry, permitted only on parcels greater than 2 ha;
- .7 portable sawmill, permitted only on parcels greater than 10 ha and subject to the provisions of Section 3.14;
- .8 public utility;
- .9 building set apart for public worship;
- .10 public recreation facility;
- .11 public camping;
- .12 storage;
- .13 accessory use.

Regulations

15.2 On a parcel zoned LH, no building or structure shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations established in the table below in which Column I sets out the matter to be regulated and Column II sets out the regulations.

COLUMN I MATTER TO BE REGULATED	COLUMN II REGULATIONS
.1 Maximum Number of Single Family Dwellings	2
.2 Maximum Number of Cottages	1
.3 Maximum height for: <ul style="list-style-type: none"> • Principal buildings and structures • Accessory buildings 	<ul style="list-style-type: none"> • 11.5 m (37.73 ft.) • 10 m (32.81 ft.)
.4 Minimum Parcel Size for New Subdivisions	8 ha

.5 Minimum Setback from:	<ul style="list-style-type: none"> • front parcel line • exterior side parcel line • interior side parcel line • rear parcel line
Minimum Setback of Home Industry from All Parcel Lines	5 m
.7 Minimum Setback of Portable Sawmill from All Parcel Lines	75 m
.8 Maximum Site Area of Portable Sawmill	1 ha

Section 1: Definitions

ACCESSORY BUILDING means a building or structure that is subordinate and supplementary to the principal building or use permitted on the same parcel such as a garage, carport or storage shed.

ACCESSORY USE means a use that is subordinate and supplementary to the principal building or use permitted on the same parcel.

BUILDING means any structure used or intended for supporting or sheltering any use or occupancy.

PARCEL LINE, FRONT means the parcel line that is the shortest parcel boundary common to the lot and an abutting *highway* or access route in a bare land strata plan, and where and in the case of a *panhandle lot* means the line separating the *panhandle driveway* from the main part of the lot.

PARCEL LINE, REAR means the boundary of a parcel which lies the most opposite to and is not connected to the front parcel line, or, where the rear portion of the parcel is bounded by intersecting side parcel lines, it shall be the point of such intersection.

PARCEL LINE, SIDE means a parcel line other than a front parcel line or a rear parcel line.

SETBACK means the required minimum distance between a structure, building or use and each of the respective property lines.

Section 3: General Regulations

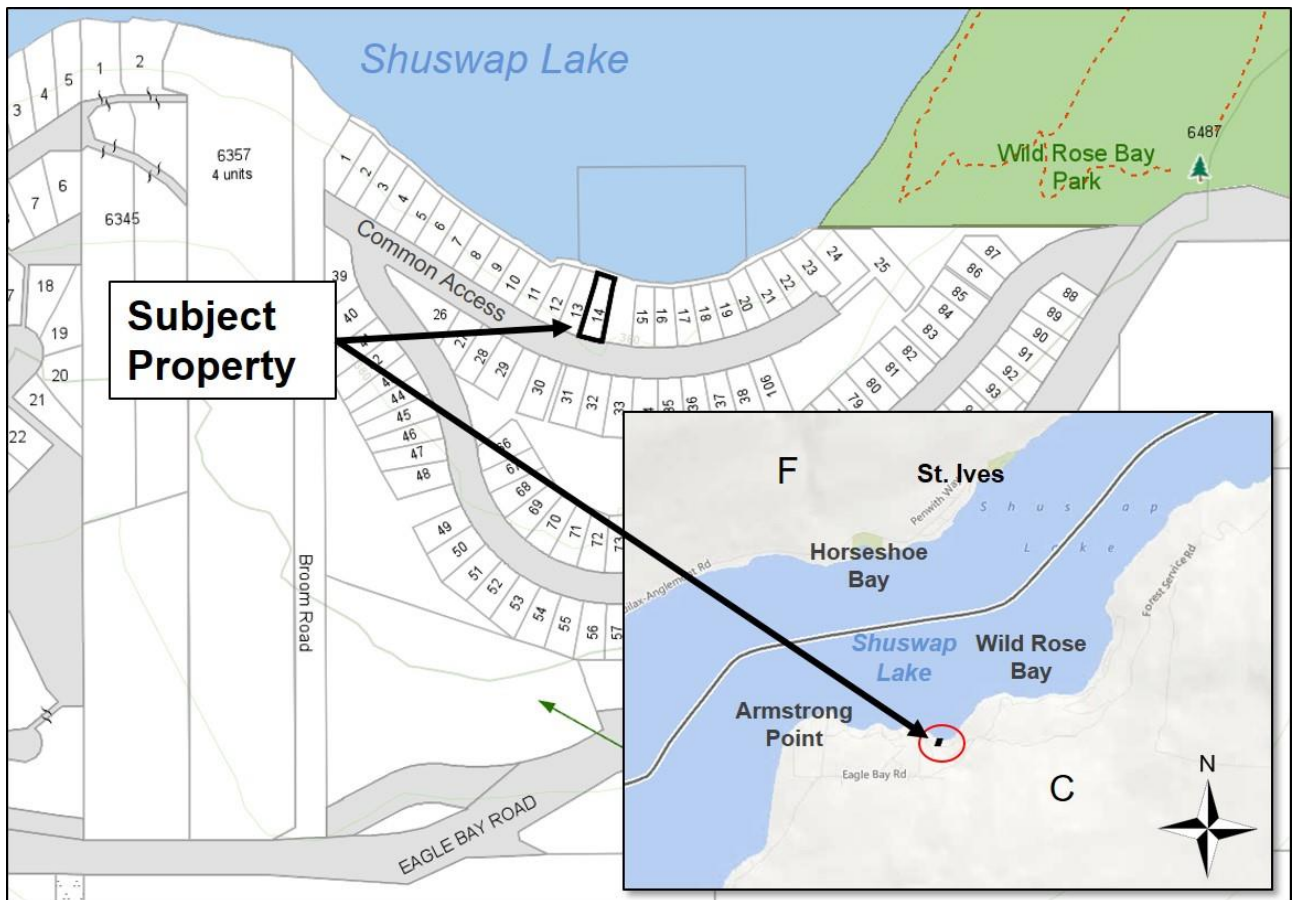
Setback Exceptions

3.5 No building or structure other than the following shall be located in the area of setback required in this Bylaw:

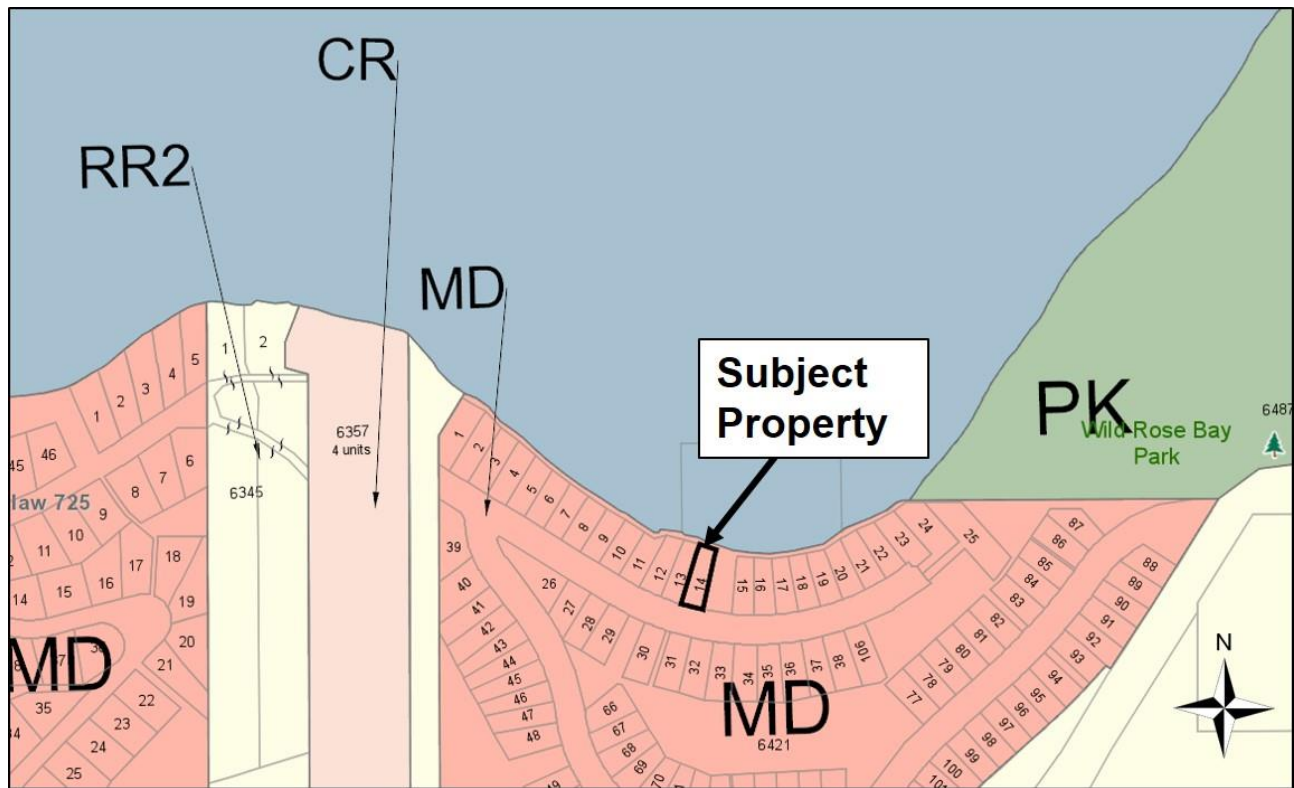
- .1 steps, provided they are not closer than 1m from any side parcel line;
- .2 signs, provided they are not closer than 1m from any parcel lines;
- .3 uncovered patios or terraces, provided they are not closer than 2 m from any parcel line;

- .4 arbors, trellises, fishponds, ornaments, flag poles, or similar landscaping, provided they are not closer than 1m from any side parcel line;
- .5 hot tubs and uncovered swimming pools provided they are not located between the principal building and the front parcel line or closer than 2 m from any other parcel line;
- .6 fences, in compliance with the regulations set out in Section 3, General Regulations, subsection 3.7 Sight Triangles;
- .7 landscape screens;
- .8 eaves and gutters, provided they are not closer than 1 m from any parcel line.
- .9 *landscape retaining structures*, provided that such structures must be separated from each other by a minimum 1.5 m distance measured horizontally from the face (or from the toe of the upper wall to the top face of the lower wall, if the *landscape retaining structures* are not vertical) of each *landscape retaining structure* and specifically excludes *landscape retaining structures* proposed to be constructed adjacent to a Section 42 road, as defined in the Transportation Act, or in the sight triangle. Landscape retaining structures proposed to be located adjacent to a Highway must comply with Ministry of Transportation and Infrastructure regulations and may require the approval of that Ministry.

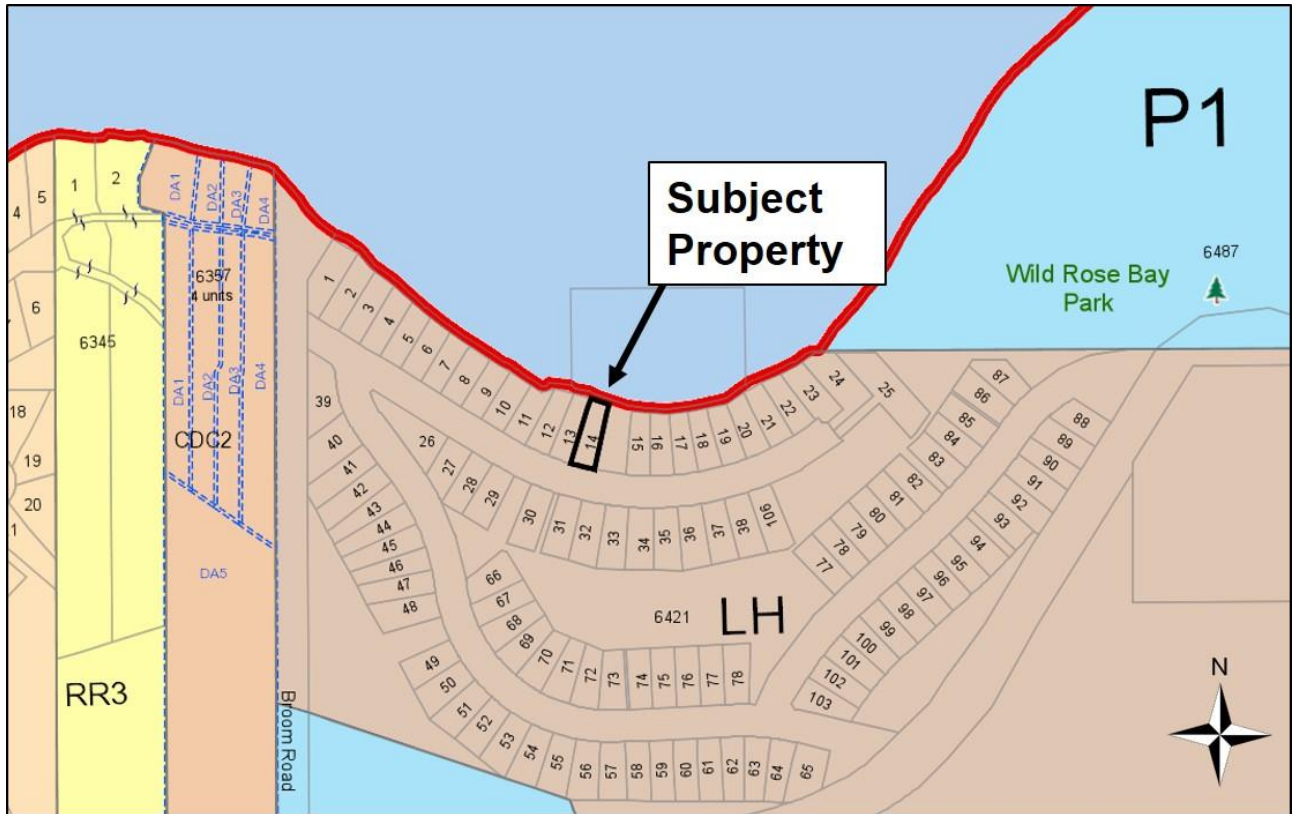
Location



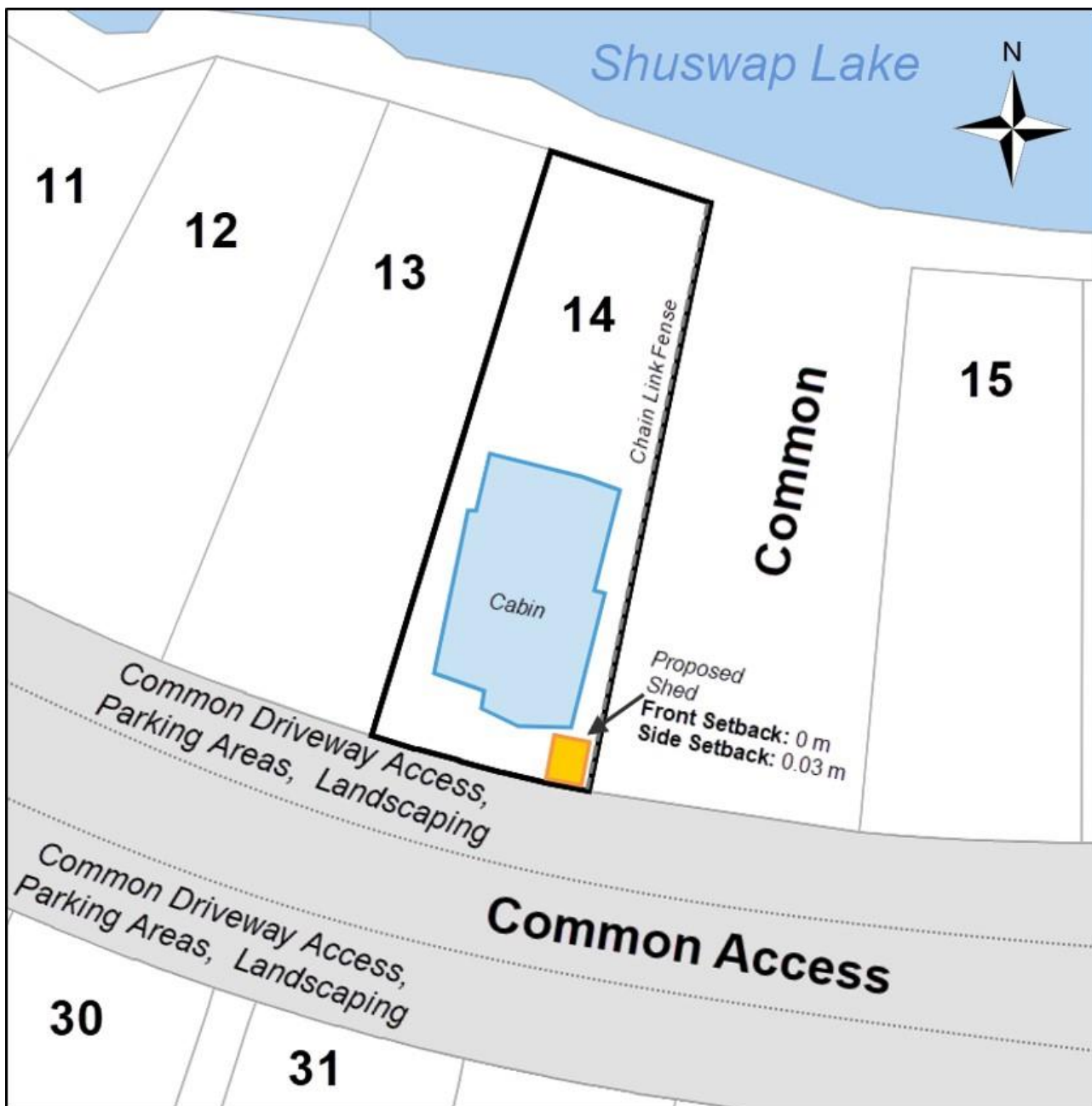
Electoral Area C Official Community Plan Bylaw No. 725



South Shuswap Zoning Bylaw No. 701



Site Plan



2018 Orthophoto



Site Photos – March 15, 2019









BOARD REPORT

TO: Chair and Directors

File No: DVP701-87 PL20190022

SUBJECT: Electoral Area C: Development Variance Permit No. 701-87 (Hannaford)

DESCRIPTION: Report from Erica Hartling, Planner I, dated March 29, 2019.
3778 Eagle Bay Road, Eagle Bay

RECOMMENDATION: THAT: in accordance with Section 498 of the Local Government Act Development Variance Permit No. 701-87 for Lot 6, Section 2, Township 23, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP62357, varying South Shuswap Zoning Bylaw No. 701 as follows:

- Section 7.2.5 minimum setback from the front parcel line from 5 m to 1.65 m only for a detached garage;

be issued this 18th day of April, 2019.

SHORT SUMMARY:

The subject property is located at 3778 Eagle Bay Rd in Eagle Bay of Electoral Area C, and is semi waterfront to Shuswap Lake. The property has an existing single family dwelling with attached garage and the owners are proposing to construct a detached garage. The proposed detached garage is within the front parcel line setback and requires a variance to the South Shuswap Zoning Bylaw No. 701 from 5 m to 1.65 m for the front parcel boundary, prior to construction.

VOTING:

Unweighted
Corporate

☐

LGA Part 14
(Unweighted)

☒

Weighted
Corporate

☐

Stakeholder
(Weighted)

☐

BACKGROUND:

REGISTERED OWNERS:
Rodney and Allyson Hannaford

ELECTORAL AREA:
C

LEGAL DESCRIPTION:

Lot 6, Section 2, Township 23, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP62357

PID:
024-205-681

CIVIC ADDRESS:
3778 Eagle Bay Rd

SURROUNDING LAND USE PATTERN:

North: Eagle Bay Road, Shuswap Lake

South: Forested private land

East: Rural residential

West: Forested Crown land

CURRENT USE:

Single family dwelling with attached garage.

PROPOSED USE:

Construct a detached garage.

PARCEL SIZE:

1.09 ha (2.69 acres)

DESIGNATION:

Electoral Area C Official Community Plan Bylaw No. 725

RR2 - Rural Residential 2

ZONE:

South Shuswap Zoning Bylaw No. 701

Land = RR1 – Rural Residential

Lakes Zoning Bylaw No. 900

Foreshore = FR2 - Foreshore Residential 2

SITE COMMENTS:

See "Maps_Plans_Photos_DVP701-87.pdf" attached.

The subject property is south of Eagle Bay Road and semi waterfront to Shuswap Lake. The property currently contains an existing single family dwelling with an attached garage in the northeast corner. There are natural slope gradients on the property that consist of 75-80% bedrock controlled slopes. The proposed building site for the garage has previously been excavated and levelled for the use as a parking area. The proposed detached garage is to be constructed within the front parcel line setback in order to avoid excavating into the toe of the steep slope.

POLICY:**Electoral Area C Official Community Plan Bylaw No. 725**

See Development Permit Area policies and guidelines for Sections 12.1, 12.3, and 12.4 in "BL725_BL701_Excerpts_BL701-87.pdf" attached.

12.1 Hazardous Lands Development Permit Areas (Steep Slope)

A Steep Slope Development Permit is required for the proposed development due to slopes on the property in excess of 30%.

12.3 Lakes 100 m Development Permit Area

A Lakes 100 m Development Permit is required for the proposed development, as the detached garage brings the total footprint of the property's buildout to be greater than 200 m² and is situated within 100 m of Shuswap Lake.

12.4 Riparian Areas Regulation (RAR) Development Permit Area

A RAR Development Permit is required for the development, as the detached garage is approximately 22 m from the high water mark of Shuswap Lake.

Staff are in receipt of the Development Permit application (Development Permit No. 725-175) and the required professional reports, which include:

- Steep Slope Geotechnical Assessment completed by a Geoscientist (Steep Slopes Development Permit);
- Hydrogeology Assessment completed by a Hydrogeologist (Lakes 100 m Development Permit); and,
- Riparian Areas Assessment completed by a Qualified Environmental Professional (RAR Development Permit).

Staff are processing the Steep Slope, Lakes 100 m, and RAR Development Permit application concurrently with the Development Variance Permit. Approval of technical development permits such as these has been delegated to the Manager of Development Services.

South Shuswap Zoning Bylaw No. 701

For all RR1 zone regulations see "BL725_BL701_Excerpts_BL701-87.pdf" attached.

RR1 – Rural Residential Zone (4000 m²)**7.2 Regulations**

.5	Minimum setback of Principal and Accessory Buildings from:	
	front parcel line	5 m
	exterior parcel line	4.5 m
	interior parcel line	2 m
	rear parcel line	5 m

FINANCIAL:

There are no financial implications for the CSRD as a result of this application.

KEY ISSUES/CONCEPTS:

The owners are proposing to construct a new detached garage to store their boat and trailer. In order to avoid excavating into the toe of the slope of the property, the owners have requested a variance along the front property boundary from 5 m to 1.65 m for the proposed location of the detached garage. The proposed location is currently used as a parking area, which will be excavated and a small retaining wall will be constructed. The current parking area and new detached garage will be accessed by an unpaved driveway and no changes to this driveway are planned.

The owners applied for and have received a Setback Permit from the Ministry of Transportation and Infrastructure (MOTI) to reduce the building setback to 1.65 m from the property line fronting Eagle Bay Road.

A Steep Slope Geotechnical Assessment was submitted with Development Permit No. 725-175, which outlines required recommendations to site development and with implementation of the engineer's recommendations there is a low likelihood of a landslide occurring within the subject property with the potential to impact the proposed detached garage (or existing structures) and the property may be used safely for the use intended.

The proposed detached garage will require a building permit and may require further information at the building permit application stage once more details regarding the build are submitted. As the building is proposed to be setback 2 m from the side parcel line, BC Building Code Spatial Separation calculations may affect the structure's construction type.

SUMMARY:

The application proposes to vary South Shuswap Zoning Bylaw No. 701, as follows:

- Section 7.2.5 minimum setback from the front parcel line from 5 m to 1.65 m only for a detached garage.

Development Services staff are recommending that the Board consider issuance of Development Variance Permit No. 701-87, as:

- The proposed location of the garage is currently used as a parking area;
- The proposed location has received a Setback Permit from MOTI; and,
- The location is deemed safe for the use intended and will avoid cutting into the steep slopes of the property.

IMPLEMENTATION:

If Development Variance Permit 701-87 is approved by the Board, staff will prepare a notice to be sent to the Land Title and Survey Authority of British Columbia for registration on title. Staff will also process Development Permit No. 725-175 and the owners will apply for a Building Permit to construct the detached garage.

COMMUNICATIONS:

Property owners and tenants in occupation within 100 m of the subject property will be given notification a minimum of 10 days prior to the CSRD Board of Directors considering this application. All interested parties will have the opportunity to provide written comments regarding this application prior to the Board meeting. Copies of the written submissions are provided to the Board of Directors.

Referrals have been sent to the following:

- Electoral Area C Advisory Planning Commission (APC).

The APC reviewed the application at their March 25, 2019 meeting and passed a resolution in support of the application.

DESIRED OUTCOMES:

That the Board endorse the staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. South Shuswap Zoning Bylaw No. 701
2. Electoral Area C Official Community Plan Bylaw No. 725
3. Electoral Area C Advisory Planning Commission Minutes March 25, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_DVP701-87_Hannaford.docx
Attachments:	<ul style="list-style-type: none">- DVP701-87.pdf- BL725_BL701_Excerpts_DVP701-87.pdf- Maps_Plans_Photos_DVP701-87.pdf
Final Approval Date:	Apr 8, 2019

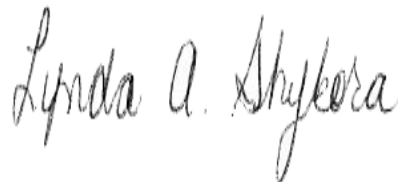
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 4, 2019 - 1:42 PM



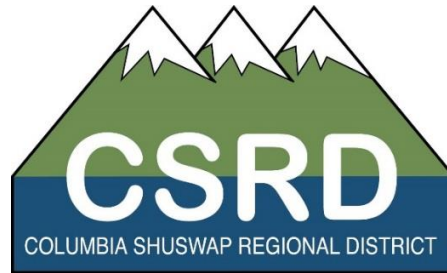
Gerald Christie - Apr 5, 2019 - 8:14 AM



Lynda Shykora - Apr 5, 2019 - 3:56 PM



Charles Hamilton - Apr 8, 2019 - 8:12 AM



DEVELOPMENT VARIANCE PERMIT NO. 701-87

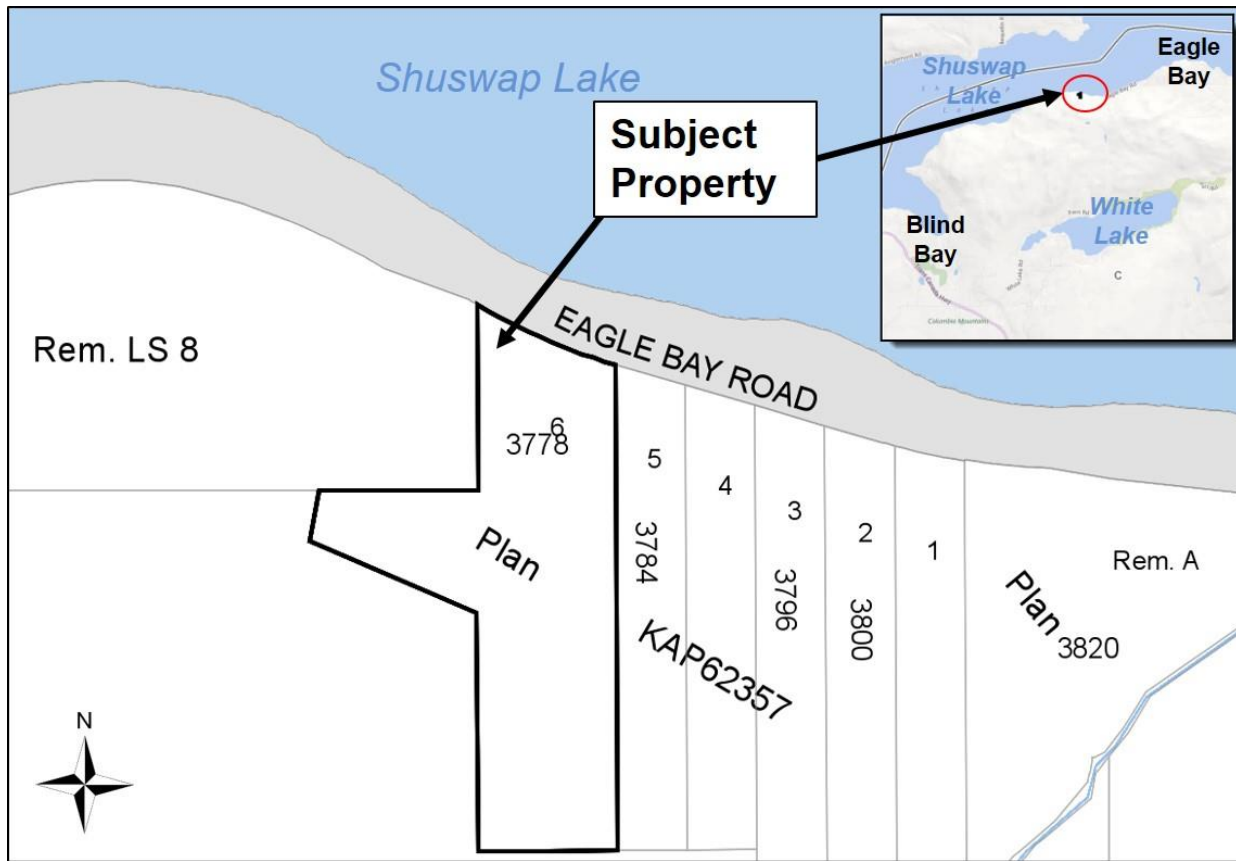
1. OWNERS: Rodney Vaughan Hannaford
Allyson Louise Hannaford
[REDACTED]
[REDACTED]
[REDACTED]
As Joint Tenants
2. This permit applies only to the land described below:
Lot 6, Section 2, Township 23, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP62357 (PID: 024-205-681), which property is more particularly shown outlined in bold on the Location Map attached hereto as Schedule A.
3. The South Shuswap Zoning Bylaw No. 701, is hereby varied as follows:
 - a. Section 7.2.5 minimum setback from the front parcel line from 5 m to 1.65 m only for a detached garage.
 as more particularly shown on the site plans attached hereto as Schedule B.
4. This permit is NOT a building permit.

AUTHORIZED AND ISSUED BY RESOLUTION of the Columbia Shuswap Regional District Board on the _____ day of _____, 2019.

CORPORATE OFFICER

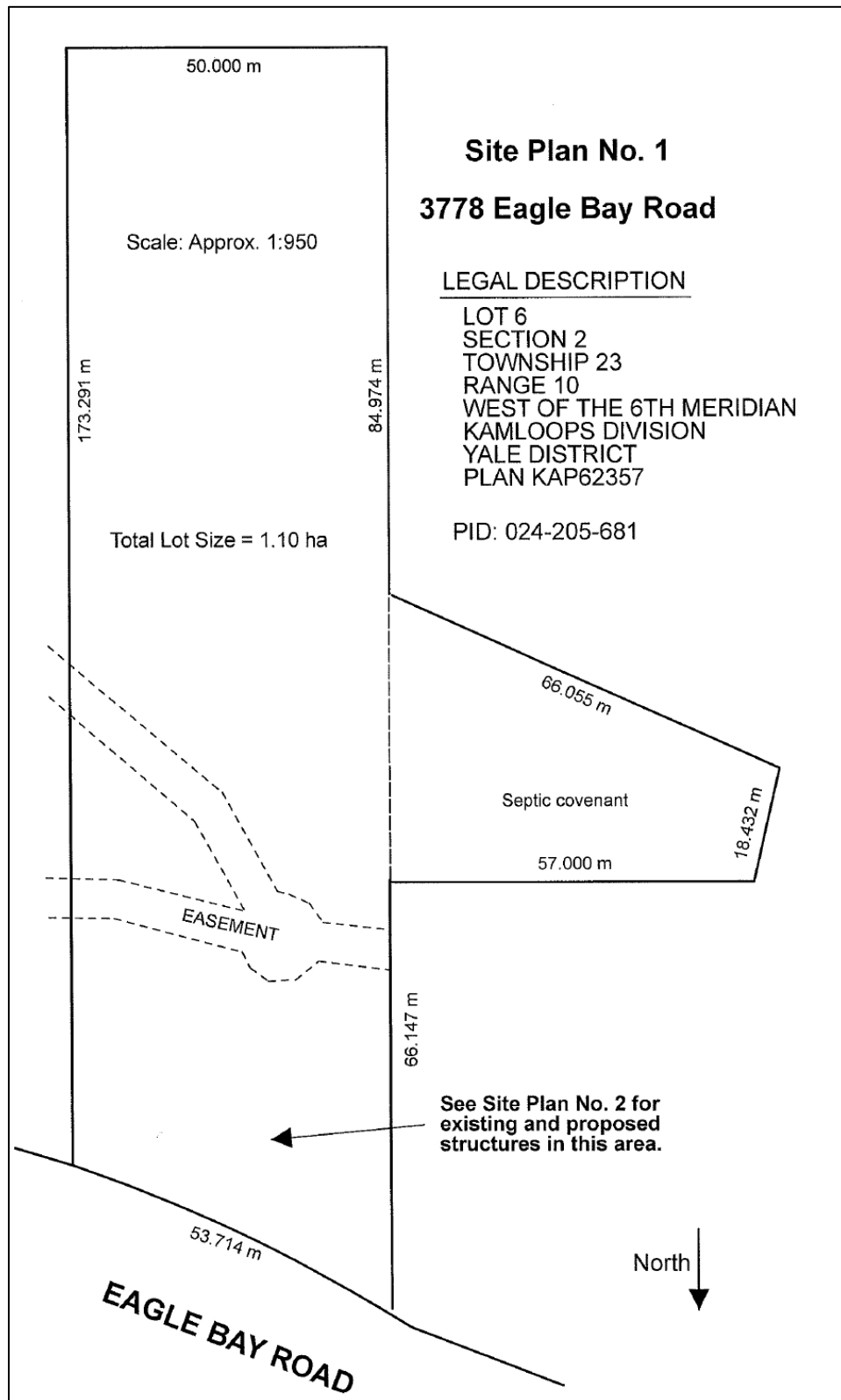
NOTE: Subject to Section 504 of the Local Government Act, if the development of the subject property is not substantially commenced within two years after the issuance of this permit, the permit automatically lapses.

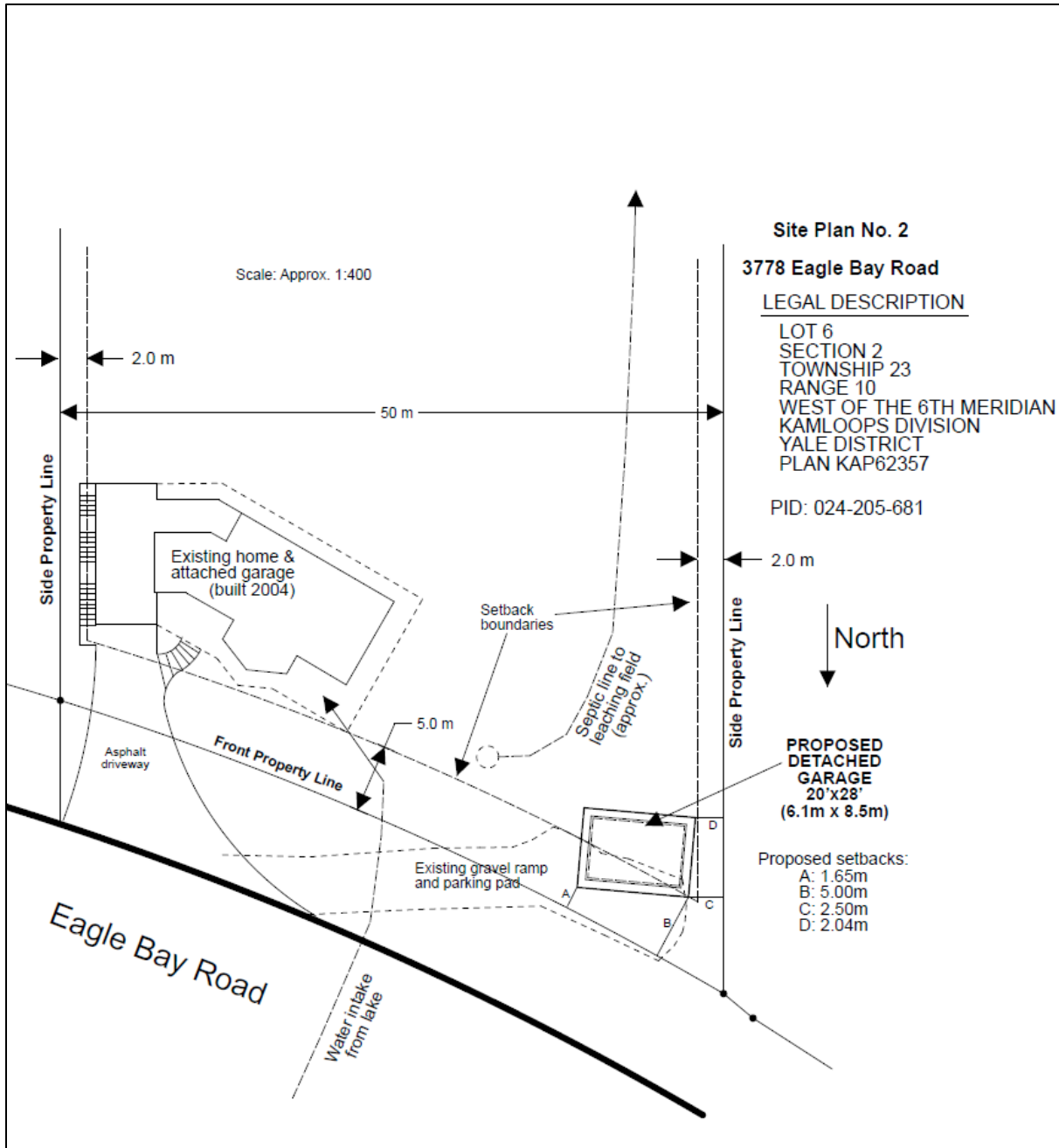
Schedule A Location Map



Schedule B

Site Plans





Relevant Excerpts from Electoral Area C Official Community Plan Bylaw No. 725 South Shuswap Zoning Bylaw No. 701

(See [Bylaw No. 725](#) and [Bylaw No. 701](#) for all policies and land use regulations)

Bylaw No. 725

12.1 Hazardous Lands Development Permit Areas (Steep Slope)

12.1.1 Purpose

The Hazardous Lands Development Permit Area is designated under the Local Government Act for the purpose of protecting development from steep slope hazardous conditions.

12.1.2 Justification

Whereas steep slopes pose a potential landslide risk, a Hazardous Lands Development Permit Area is justified so that DP guidelines and recommendations from qualified engineering professionals are utilised prior to development in steep slope areas in order to provide a high level of protection from ground instability and/or slope failure.

12.1.3 Area

All properties, any portion of which, contain slopes 30% or greater are designated as Hazardous Lands Development Permit Area (Steep Slope). These are referred to as 'steep slope' areas below. The CSRD requires a slope assessment of slope conditions as a condition of development permit issuance. Provincial 1:20,000 TRIM mapping, using 20m (66ft) contour information, may provide preliminary slope assessment; however, a more detailed site assessment may be required.

12.1.4 Exemptions

A Hazardous Lands Development Permit is not required for the following:

- .1 A single storey accessory building with a gross floor area less than 10 m² (107.4 ft²) which are placed on slopes of less than 30%;
- .2 Non-structural **external** repairs or alterations exempted by the BC Building Code; or
- .3 Non-structural **internal** repairs or alterations exempted by the BC Building Code which do not create sleeping accommodations or bedrooms.

12.1.5 Guidelines

- .1 Whenever possible placement of buildings and structures should be considered first in non-steeply sloped areas, i.e. less than 30% slope;

- .2 In order to protect against the loss of life and to minimize property damage associated with ground instability and/or slope failure, development in steep slope areas is discouraged;
- .3 Occupant and public safety shall be the prime consideration of the qualified geotechnical professional and the CSRD prior to approval of development in steeply sloped areas; and,
- .4 Geotechnical reports from qualified geotechnical professionals must address best engineering practices in the field of geotechnical engineering and provide detailed recommendations. At the discretion of CSRD staff an independent third party review of the submitted report(s) may be undertaken.

Where steep slope areas are required for development, development permits addressing Steep Slopes shall be in accordance with the following:

For subdivision, either 12.1.5.5 or 12.1.5.6 applies:

- .5 Submission of a geotechnical report by an Association of Professional Engineers and Geoscientists of British Columbia (APEGBC) registered professional with experience in geotechnical engineering.
 - a. The geotechnical report, which the Regional District will use to determine the conditions and requirements of the development permit, must certify that the land may be used safely for the use intended.
 - b. The geotechnical report must explicitly confirm all work was undertaken in accordance with the APEGBC Legislated Landslide Assessment Guidelines.
 - c. The report should include the following types of analysis and information:
 - i. site map showing area of investigation, including existing and proposed: buildings, structures, septic tank & field locations, drinking water sources and natural features, including watercourses;
 - ii. strength and structure of rock material, bedding sequences, slope gradient, landform shape, soil depth, soil strength and clay mineralogy;
 - iii. surface & subsurface water flows & drainage;
 - iv. vegetation: plant rooting, clear-cutting, vegetation conversion, etc.
 - v. recommended setbacks from the toe and top of the slope;
 - vi. recommended mitigation measures; and
 - vii. recommended 'no-build' areas.
 - d. Development in steep slopes should avoid:
 - i. cutting into a slope without providing adequate mechanical support;
 - ii. adding water to a slope that would cause decreased stability;
 - iii. adding weight to the top of a slope, including fill or waste;

- iv. removing vegetation from a slope;
 - v. creating steeper slopes; and
 - vi. siting Type 1, 2 and 3 septic systems and fields within steep slopes.
- e. A Covenant may be registered on title identifying the hazard and remedial requirements as specified in the geotechnical or engineering reports for the benefit and safe use of future owners.
- .6 Registration of a Covenant on title identifying hazards and restrictions regarding construction, habitation or other structures or uses on slopes of 30% and greater.

For construction of, addition to or alteration of a building or other structure:

Compliance with and submission of the relevant geotechnical sections of Schedule B-1, B-2 and C-B of the BC Building Code by an Association of Professional Engineers and Geoscientists of British Columbia (APEGBC) registered professional with experience in geotechnical engineering. A Covenant may be registered on title identifying hazards and restrictions regarding construction, habitation or other structures or uses on slopes of 30% or greater.

12.3 Lakes 100 m Development Permit Area

.1 Purpose

The Shuswap Lake Development Permit Area (DPA) is designated under the Local Government Act for the protection of the natural environment, its ecosystems and biological diversity.

.2 Justification

The intent of the Shuswap Lake DPA is to prevent or mitigate potential negative impacts on the lake environment from larger-scale development (generally defined as development beyond a single-family residence and specifically defined in the Area section below) and Type 1 and 2 sewerage systems. Larger-scale development close to the lake has the potential to impact natural drainage patterns, disrupt stormwater infiltration and increase surface run-off into the lake. Involving a qualified professional who understands soil, drainage and hydrogeology before installing Type 1 and 2 sewerage systems close to the lake will reduce potential negative impacts improper effluent drainage may have on lake water quality.

.3 Area

The Lakes DPA applies to areas within 100 metres (328.1 feet) of Shuswap Lake, White Lake and Little White Lake. For the purposes of calculating distance from Shuswap Lake, White Lake and Little White Lake, the 1:5 year High Water Mark shall be used.

Where a development proposal involves multiple buildings, structures or phases, calculation of the size of the development shall include the entire build-out of the development.

.4 Exemptions

A Lakes DPA is not required for the following:

- .1 Removal, alteration, disruption or destruction of vegetation involving less than 1000 m² (10,763.9 feet²) of vegetation coverage area;
- .2 Construction or erection of buildings and structures with a sum total footprint less than 200 m² (2,152.8 feet²); or
- .3 Creation of non-structural impervious or semi-impervious surfaces less than 100 m² (1,076.4 feet²).

.5 Guidelines

- .1 Preservation of natural features, functions and conditions that support fish and animal habitat is the primary objective of the Lakes DPA;
- .2 Impacts to watercourses from proposed development is not desirable. Such impacts must be minimized to the greatest extent possible and addressed in a report from a QEP, including mitigative measures;
- .3 Construction or erection of buildings and structures with a sum total footprint less than 200 m² (2,152.8 feet²); or
- .4 Disturbance of soils and removal of vegetation should be minimized in the development process;
- .5 Use of non-impervious and natural landscaping, including for driving surfaces, is desired;
- .6 Compact and cluster development is desired in order to leave natural areas untouched to the greatest extent possible;
- .7 Use of natural landscaping materials is desired as material treated with creosote, paint or other chemicals can be toxic to fish and other organisms;
- .8 A development permit may be issued based upon the above guidelines and following the submission of a report from a Qualified Environmental Professional (QEP). This written submission shall be used to determine the conditions of the development permit and shall include:
 - a. Site map showing area of investigation, including existing and proposed: buildings, structures, septic tank & field locations, drinking water sources and natural features;
 - b. Existing vegetation and any proposed vegetation removal;

- c. Assessment of hydrogeology, including soil types, drainage characteristics, seepage zones, springs and seasonally saturated areas, groundwater depth, flow direction & pathways, and shallow bedrock;
- d. The suitability for site soils to accept stormwater infiltration and post-development landscape irrigation;
- e. Potential impacts to other watercourses or water bodies, e.g. Shuswap Lake; and,
- f. Recommendations and mitigative measures.

12.4 Riparian Areas Regulation (RAR) Development Permit Area

.1 Purpose

The Riparian Areas Regulation Development Permit Area (RAR DPA) is designated under the Local Government Act for the protection of the natural environment, its ecosystems and biological diversity.

.2 Justification

The primary objective of the RAR DPA designation is to regulate development activities in watercourses and their riparian areas in order to preserve natural features, functions and conditions that support fish life processes. Development impact on watercourses can be minimized by careful project examination and implementation of appropriate measures to preserve environmentally sensitive riparian areas.

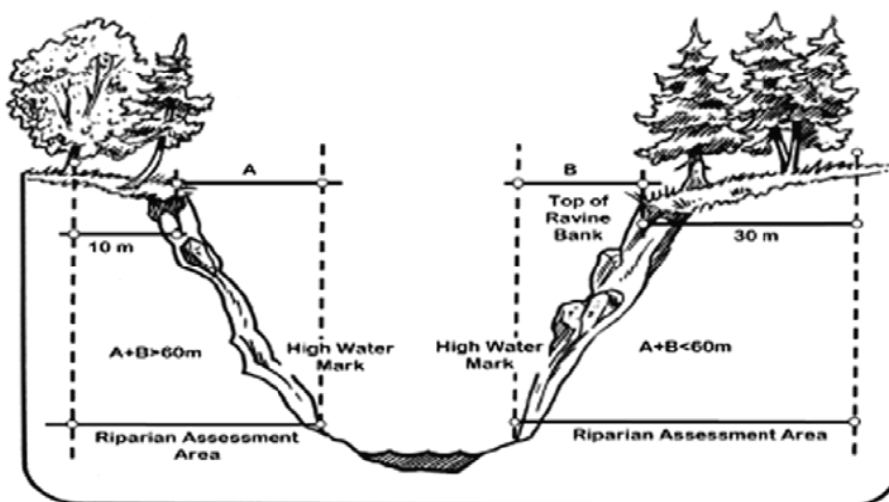
.3 Area

The RAR DPA is comprised of Riparian assessment areas for fish habitat, which include all watercourses and adjacent lands shown on Provincial TRIM map series at 1:20,000, as well as unmapped watercourses.

As illustrated in Figure 12.1, the area comprises:

- Within 30m (98.4 feet) of the high water mark of the watercourse;
- Within 30m (98.4 feet) of the top of the ravine bank in the case of a ravine less than 60m (196.8 feet) wide;
- Within 10m (32.8 feet) of the top of a ravine bank for ravines 60 metres (196.8 feet) or greater in width that link aquatic and terrestrial ecosystems that exert an influence on the watercourse.

Figure 12.1



Unless the proposed development or alteration of land is clearly outside the riparian assessment area the location of the development shall be determined accurately by survey in relation to the RAR DPA to determine whether a development permit application is required.

.4 Exemptions

The RAR DPA does not apply to the following:

- a. Construction, alteration, addition, repair, demolition and maintenance of farm buildings;
- b. Clearing of land for agriculture;
- c. Institutional development containing no residential, commercial or industrial aspect;
- d. Reconstruction, alteration, addition or repair of a legal permanent structure if the structure remains on its existing foundation. Only if the existing foundation is moved or extended into a riparian assessment area would a RAR DPA be required;
- e. A QEP can confirm that the conditions of the RAR DPA have already been satisfied;
- f. A Development Permit for the same area has already been issued in the past and a QEP can confirm that the conditions in the Development Permit have all been met, or the conditions addressed in the previous Development Permit will not be affected; and,
- g. A letter is provided by a QEP confirming that there is no visible channel.

.5 Guidelines

- .1 Preservation of water courses, waterbodies, and adjacent, natural features, functions and conditions of riparian areas that support fish and animal habitat is the primary objective of the RAR DPA;
- .2 Impacts to watercourses and riparian areas from proposed development is not desirable. Such impacts must be minimized to the greatest extent possible and addressed in a report from a QEP, including mitigative measures;
- .3 Disturbance of soils and removal of vegetation should be minimized in the development process;
- .4 Whenever possible development or land altering activities shall be located outside of the 30m setback to the riparian area unless a QEP permits a reduced setback area;
- .5 Development requiring a Development Permit shall include, but may not be limited to, any of the following activities associated with or resulting from residential, commercial or industrial activities or ancillary activities, subject to local government powers under the Local Government Act:
 - a. Removal, alteration, disruption or destruction of vegetation within 30m (98.4 feet) of a watercourse.
 - b. Disturbance of soils, within 30m (98.4 feet) of a watercourse;
 - c. Construction or erection of buildings and structures within 30m (98.4 feet) of a watercourse;
 - d. Creation of non-structural impervious or semi-impervious surfaces within 30m (98.4 feet) of a watercourse;
 - e. Flood protection works within 30m (98.4 feet) of a watercourse;
 - f. Construction of roads, trails, docks, wharves and bridges within 30m (98.4 feet) of a watercourse;
 - g. Provision and maintenance of sewer and water services within 30m (98.4 feet) of a watercourse;
 - h. Development of drainage systems within 30m (98.4 feet) of a watercourse;
 - i. Development of utility corridors within 30m (98.4 feet) of a watercourse; and
 - j. Subdivision as defined in the Land Title Act, and including the division of land into 2 or more parcels within 30m (98.4 feet) of a watercourse.
- .6 A development permit may be issued following the submission of a report from a Qualified Environmental Professional (QEP). This written submission shall be used to determine the conditions of the development permit and shall include:

- a. Site map showing area of investigation, including existing and proposed: buildings, structures, septic tank & field locations, drinking water sources and natural features;
- b. Existing vegetation and any proposed vegetation removal;
- c. Assessment of hydrogeology, including soil types, drainage characteristics, seepage zones, springs and seasonally saturated areas, groundwater depth, flow direction & pathways, and shallow bedrock;
- d. The suitability for site soils to accept stormwater infiltration and post-development landscape irrigation;
- e. Potential impacts to other water courses or water bodies, e.g. Shuswap Lake; and,
- f. Recommendations and mitigative measures.

.6 Role of the QEP and CSRD in the RAR Development Permit Process

The RAR regulations place considerable emphasis on QEPs to research established standards for the protection of riparian areas. It is the QEP's responsibility to consider federal and provincial regulations regarding fish, water and riparian protection and consult with appropriate agencies as necessary. Since the responsibility rests with the QEP for conducting research and providing technical information and recommendations specific to an application required under this RAR DP section the extent to which the CSRD will be involved in the technical details of the permitting process is reduced. If the RAR DP guidelines are met by the QEP, and the QEP report is submitted to and accepted by the BC Ministry of Environment, the CSRD role becomes more administrative in nature and the DP can be considered for approval.

Bylaw No. 701

Section 7 : RR1 – Rural Residential Zone (4000 m²)

Permitted Uses

7.1 The following uses and no others are permitted in the RR1 zone:

- .1 single family dwelling;
- .2 cottage, permitted only on parcels greater than 4,000 m²;
- .3 bed and breakfast;
- .4 home business;
- .5 accessory use.

Regulations

7.2 On a parcel zoned RR1, no building or structure shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations established in the table below in which Column I sets out the matter to be regulated and Column II sets out the regulations.

COLUMN I MATTER TO BE REGULATED		COLUMN II REGULATIONS
.1	Minimum Parcel Size for New Subdivisions	1 ha
.2	Maximum Number of Single Family Dwellings Per Parcel	1
.3	Maximum Number of Cottages Per Parcel	1
.4	Maximum height for: <ul style="list-style-type: none"> • Principal buildings and structures • Accessory buildings 	<ul style="list-style-type: none"> • 10 m (32.81 ft.) • 6 m (19.69 ft.)
.5	Minimum Setback from: <ul style="list-style-type: none"> • front parcel line • exterior side parcel line • interior side parcel line • rear parcel line 	<ul style="list-style-type: none"> 5 m 4.5 m 2 m 5 m
.6	Maximum Coverage on Parcels Less than 4000 m ²	40 %

Section 1: Definitions

ACCESSORY BUILDING means a building or structure that is subordinate and supplementary to the principal building or use permitted on the same parcel such as a garage, carport or storage shed.

ACCESSORY USE means a use that is subordinate and supplementary to the principal building or use permitted on the same parcel.

BUILDING means any structure used or intended for supporting or sheltering any use or occupancy.

PARCEL LINE, FRONT means the parcel line that is the shortest parcel boundary common to the lot and an abutting *highway* or access route in a bare land strata plan, and where and in the case of a *panhandle lot* means the line separating the *panhandle driveway* from the main part of the lot.

SETBACK means the required minimum distance between a structure, building or use and each of the respective property lines.

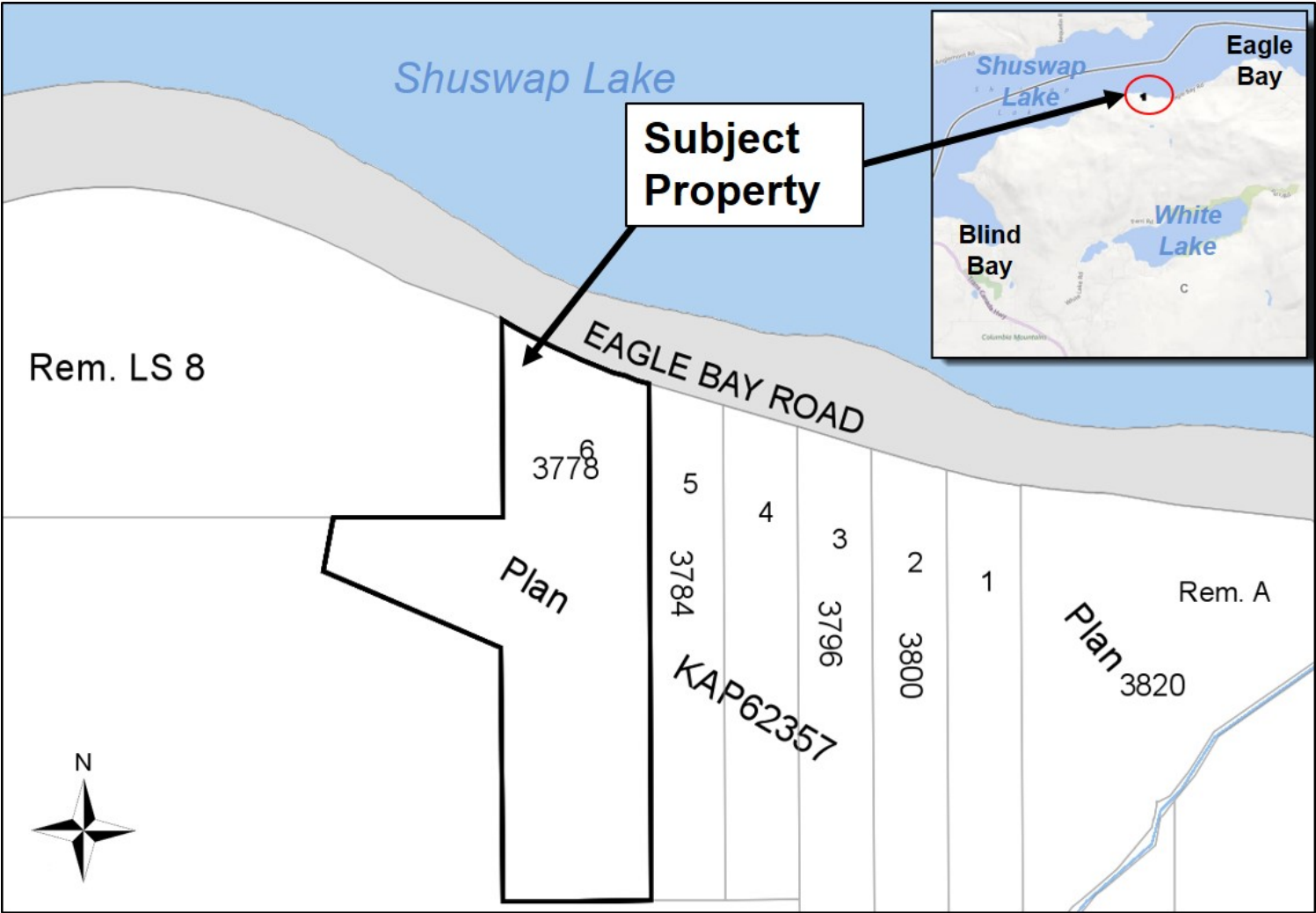
Section 3: General Regulations

Setback Exceptions

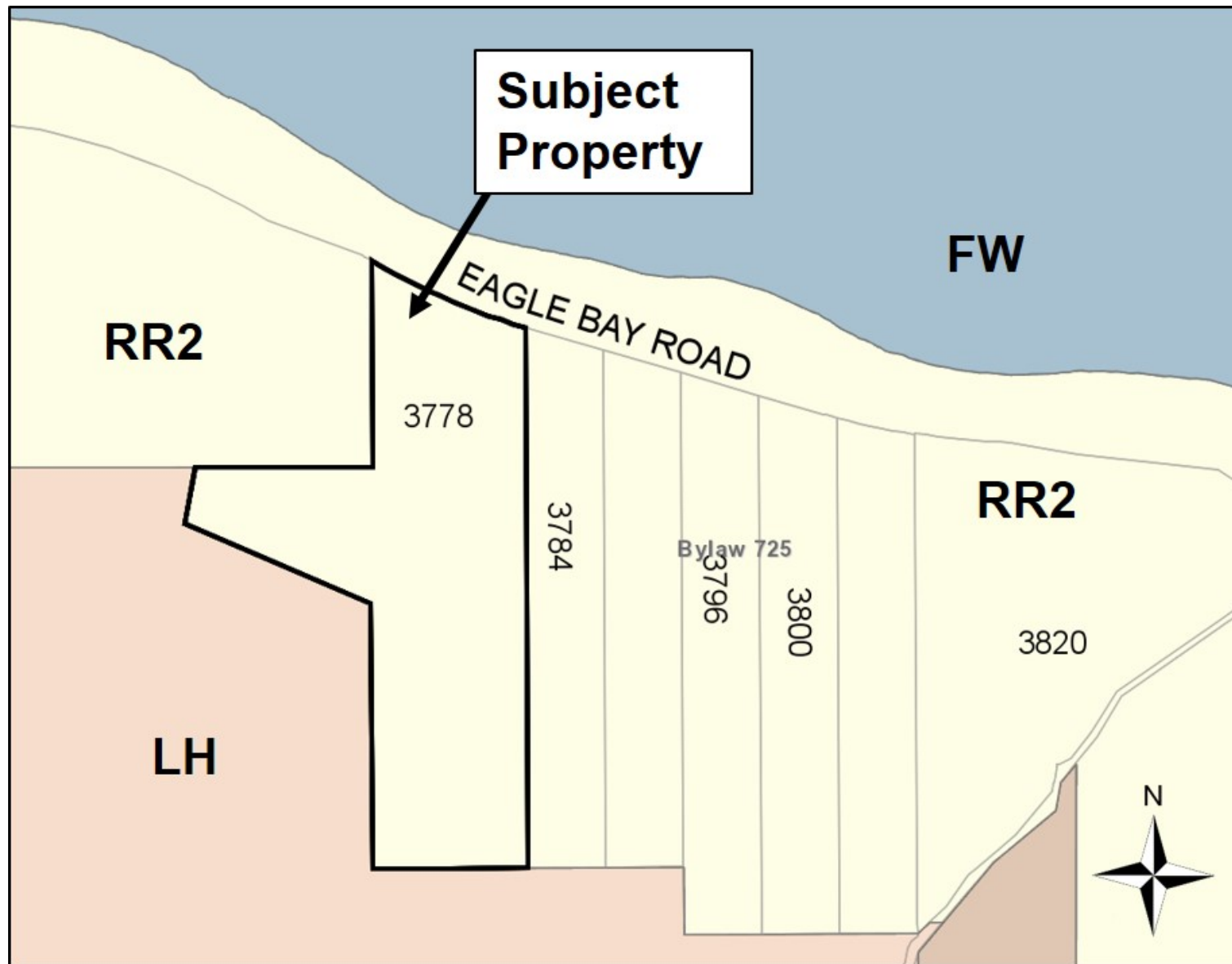
3.5 No building or structure other than the following shall be located in the area of setback required in this Bylaw:

- .1 steps, provided they are not closer than 1m from any side parcel line;
- .2 signs, provided they are not closer than 1m from any parcel lines;
- .3 uncovered patios or terraces, provided they are not closer than 2 m from any parcel line;
- .4 arbors, trellises, fishponds, ornaments, flag poles, or similar landscaping, provided they are not closer than 1m from any side parcel line;
- .5 hot tubs and uncovered swimming pools provided they are not located between the principal building and the front parcel line or closer than 2 m from any other parcel line;
- .6 fences, in compliance with the regulations set out in Section 3, General Regulations, subsection 3.7 Sight Triangles;
- .7 landscape screens;
- .8 eaves and gutters, provided they are not closer than 1 m from any parcel line.
- .9 *landscape retaining structures*, provided that such structures must be separated from each other by a minimum 1.5 m distance measured horizontally from the face (or from the toe of the upper wall to the top face of the lower wall, if the *landscape retaining structures* are not vertical) of each *landscape retaining structure* and specifically excludes *landscape retaining structures* proposed to be constructed adjacent to a Section 42 road, as defined in the Transportation Act, or in the sight triangle. Landscape retaining structures proposed to be located adjacent to a Highway must comply with Ministry of Transportation and Infrastructure regulations and may require the approval of that Ministry.

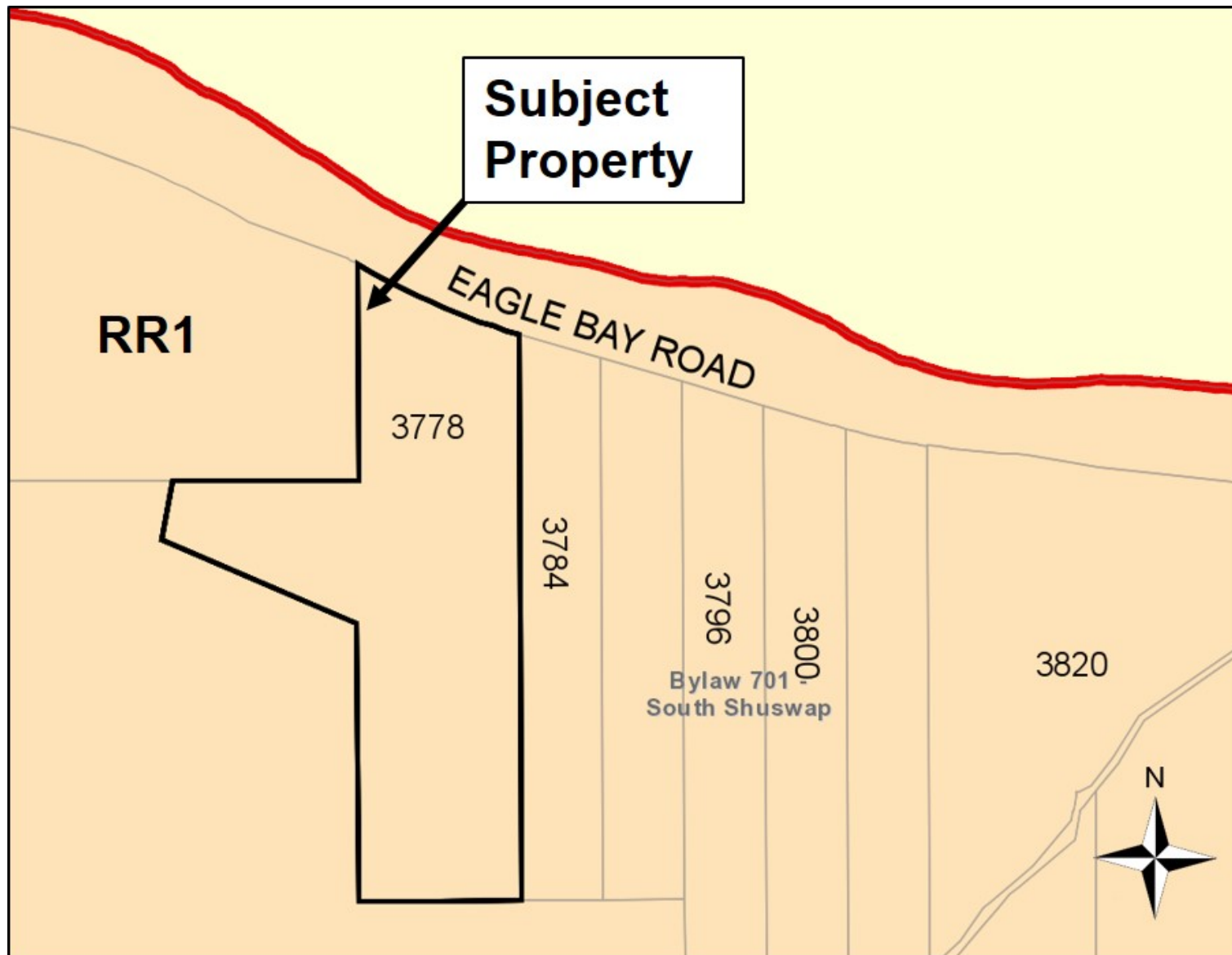
Location



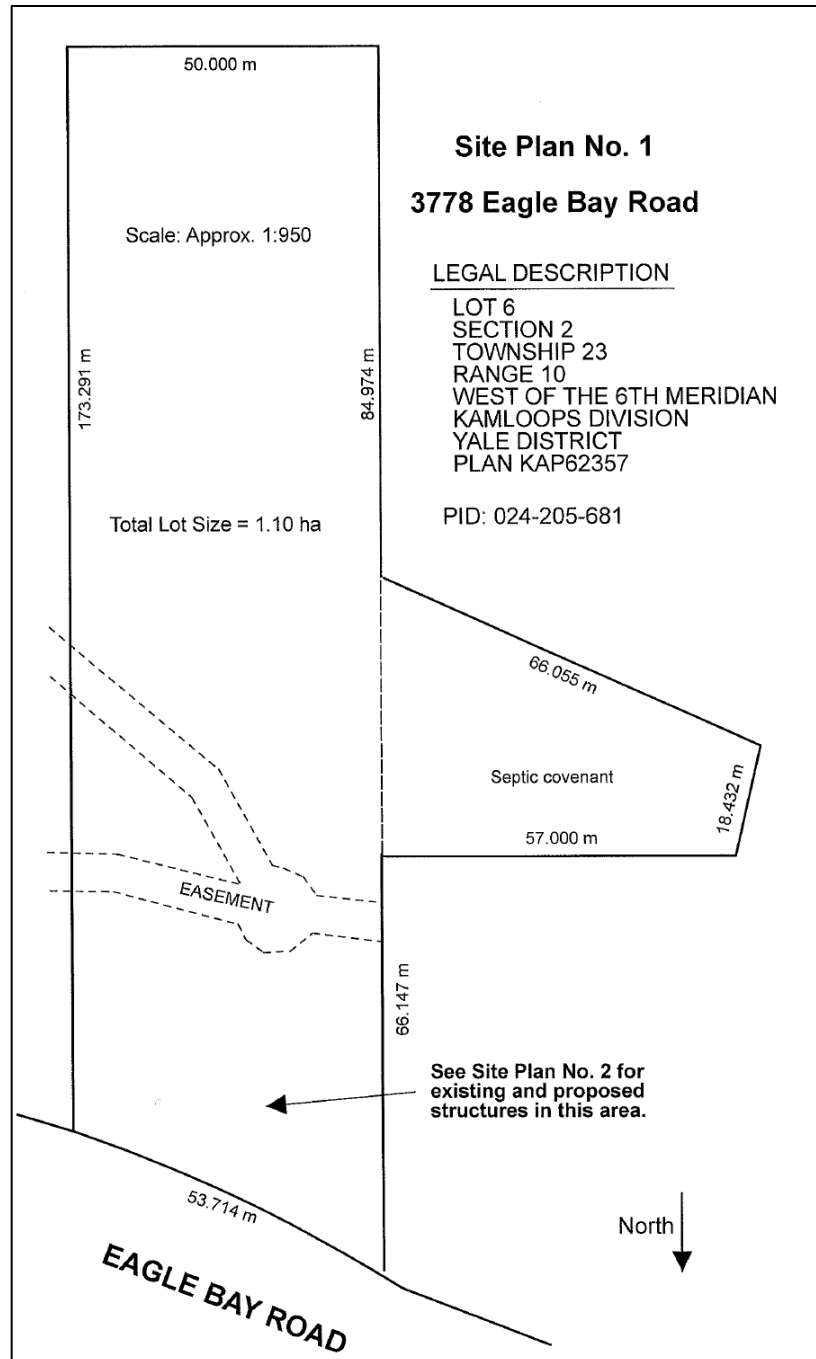
Electoral Area C Official Community Plan Bylaw No. 725



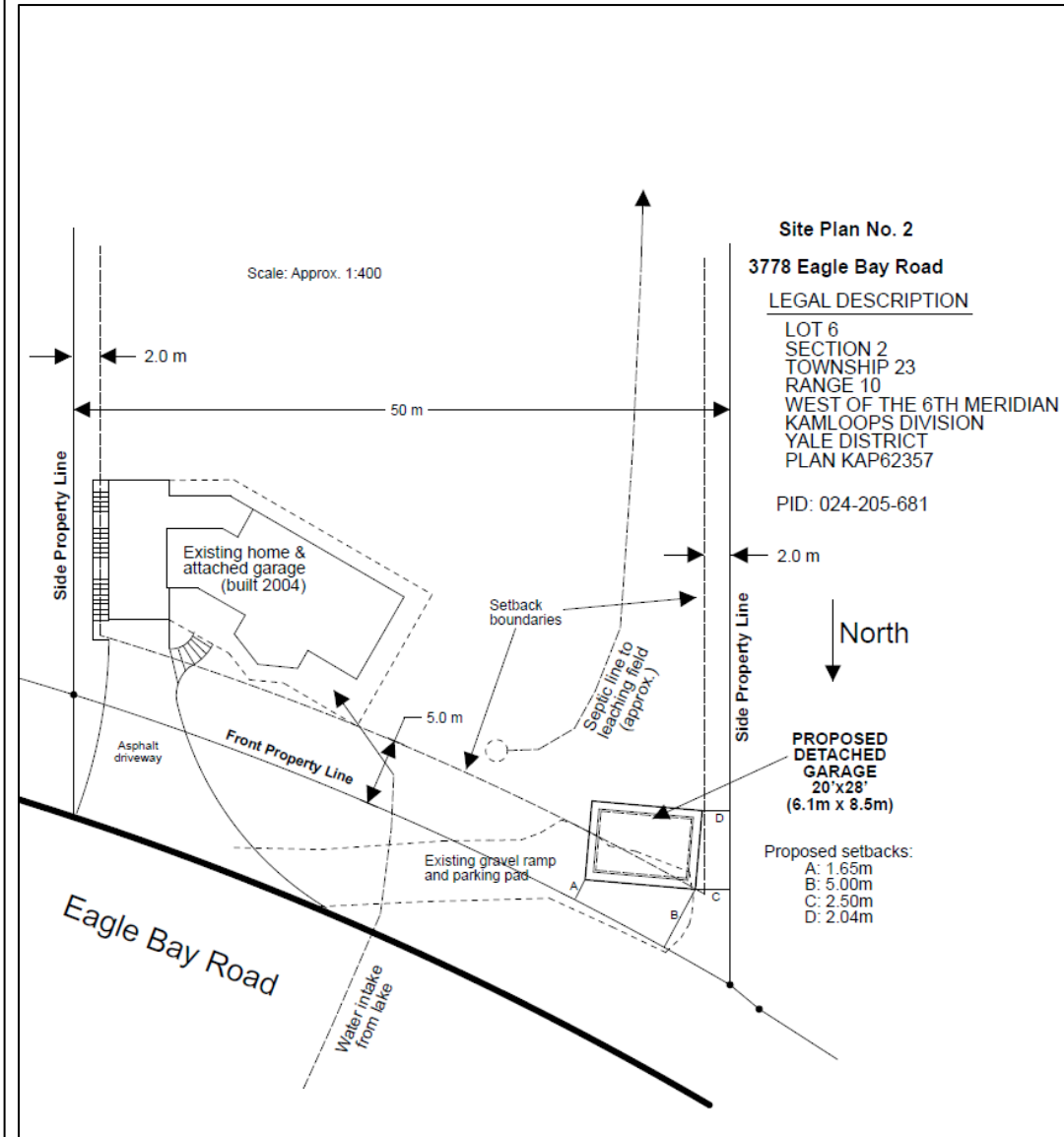
South Shuswap Zoning Bylaw No. 701



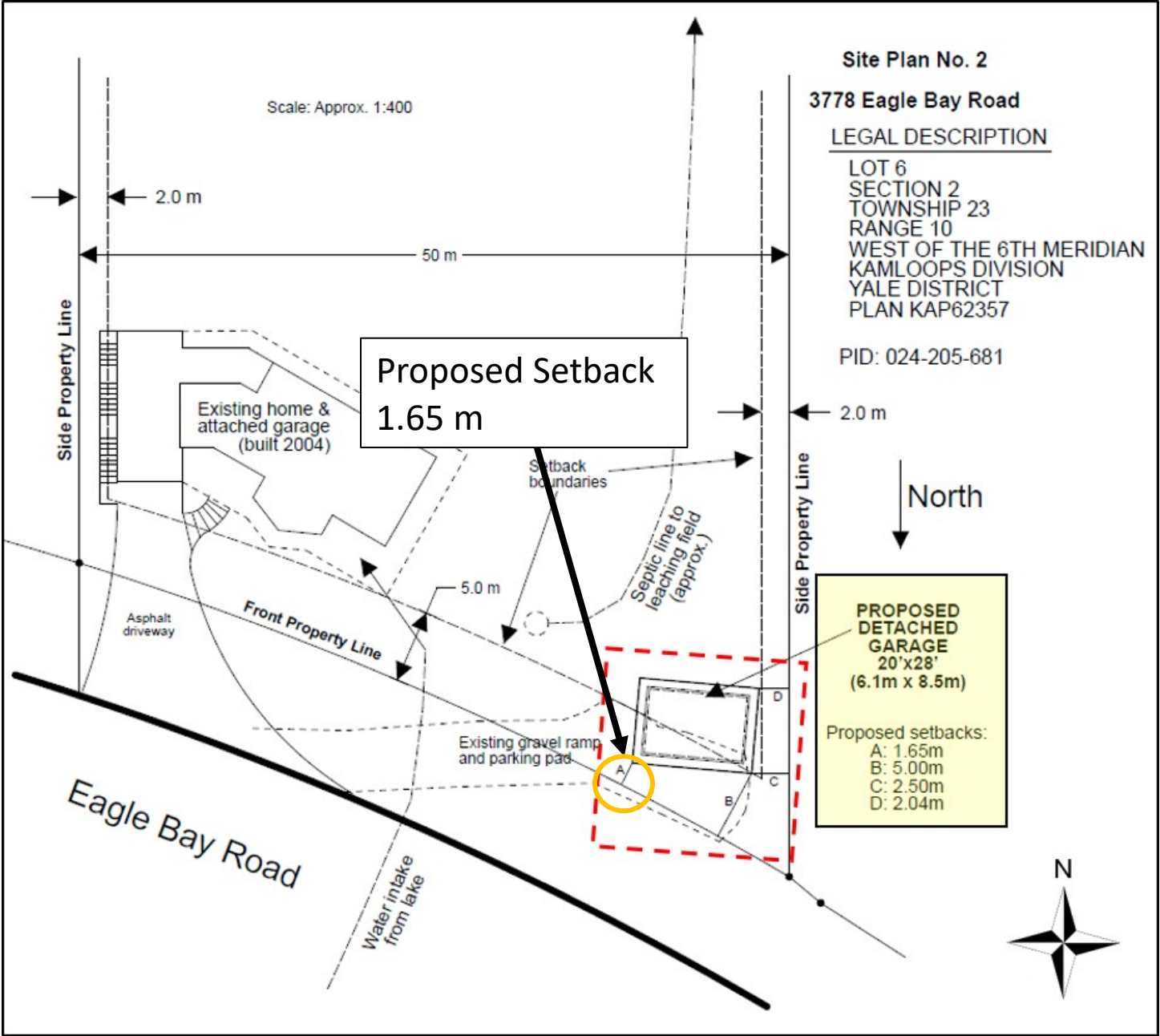
Site Plan No. 1



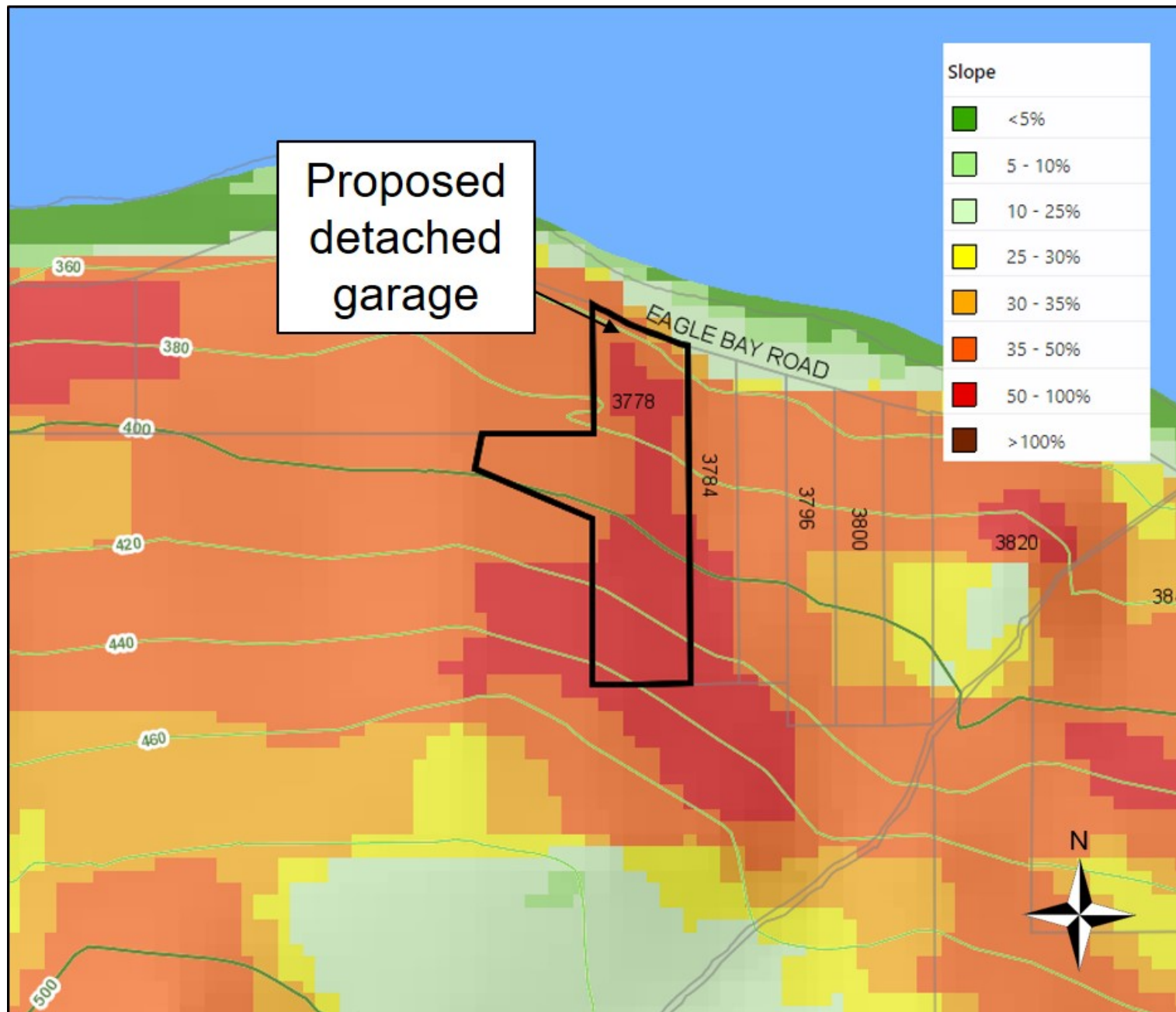
Site Plan No. 2



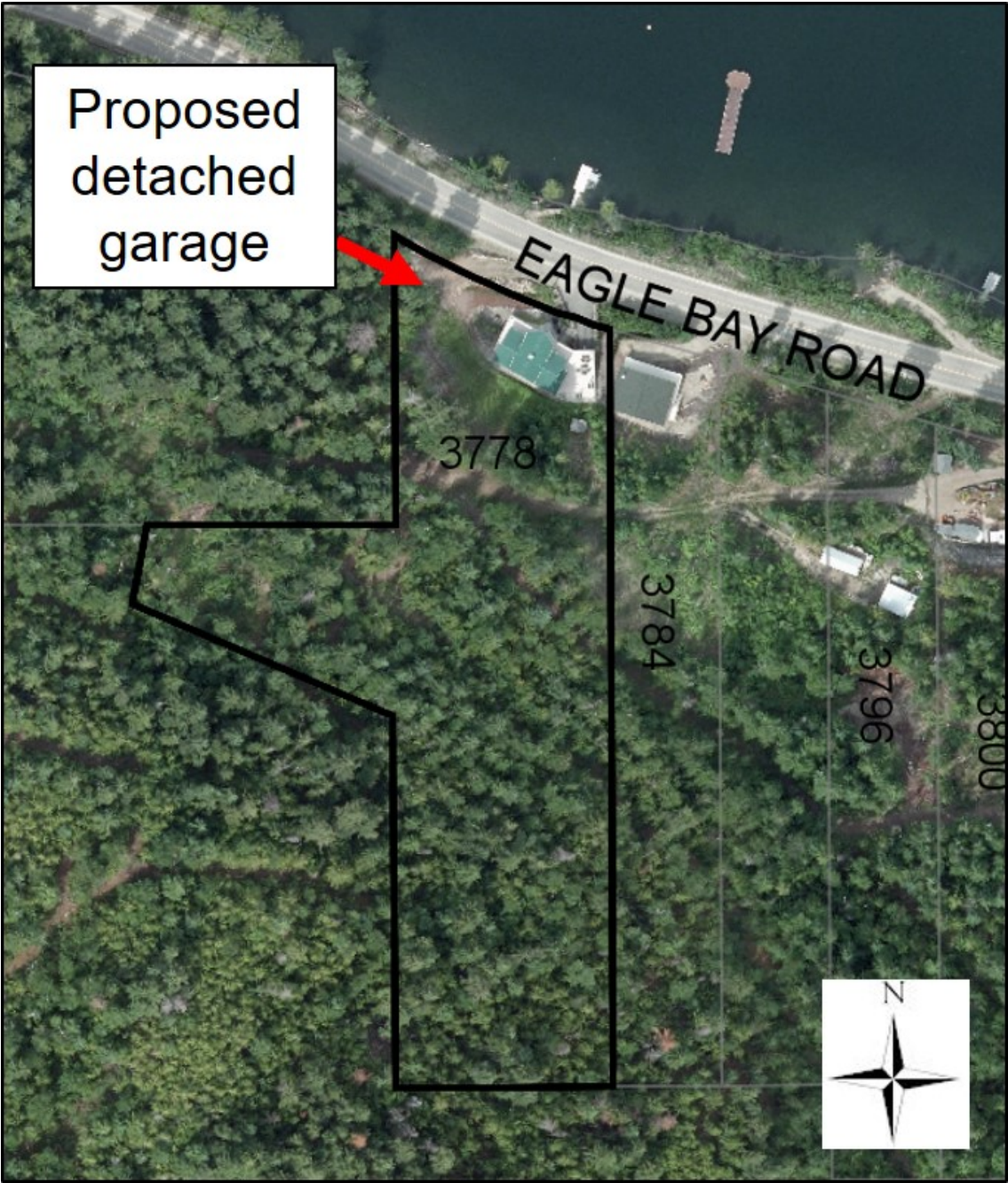
Proposal



Slopes – 20 m Contours

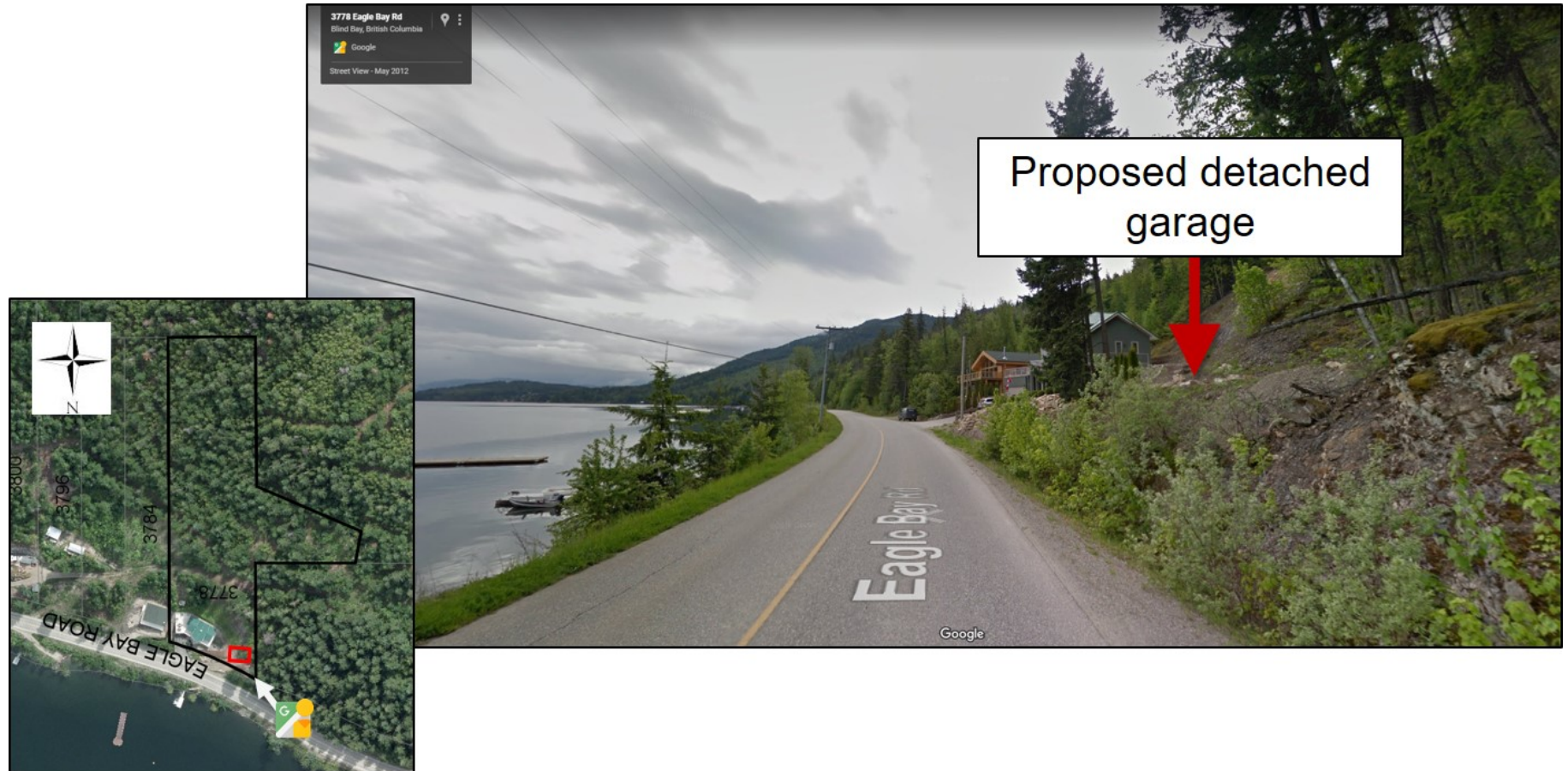


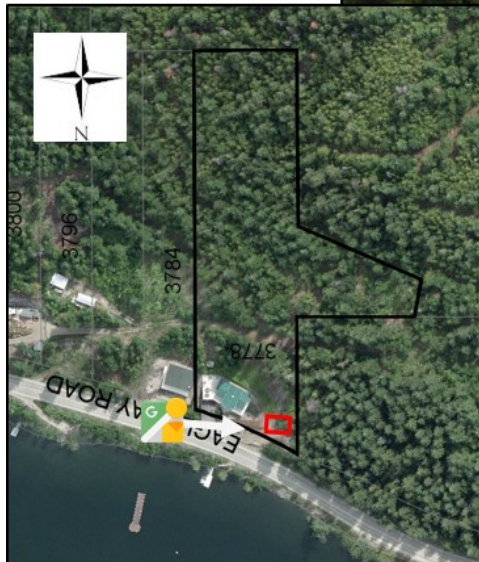
2018 Orthophoto



Google Street View – May 2012









BOARD REPORT

TO: Chair and Directors

File No: DVP800-32
PL2019023

SUBJECT: Electoral Area F: Development Variance Permit No. 800-32 (Lamb)

DESCRIPTION: Report from Candice Benner, Planner II, dated April 2, 2019
6342 Squilax-Anglemont Road, Magna Bay

RECOMMENDATION #1: THAT: in accordance with Section 498 of the Local Government Act, Development Variance Permit No. 800-32 for Lot 8, Section 13, Township 23, Range 10, W6M, KDYD, Plan 13493, varying Magna Bay Zoning Bylaw No. 800, as follows:

Section 5.5(2)(e) Maximum height for an accessory building from 6 m to 8.77 m for a garage;

Section 5.5(2)(f) Minimum setback from a front parcel boundary from 4.5 m to 0.15 m and minimum setback from an interior side parcel boundary from 2 m to 1.55 m for a garage; and

Section 5.5(2)(g) Maximum gross floor area of an accessory building from 55 m² to 118 m² for a garage;

be approved for issuance this 18th day of April, 2019.

SHORT SUMMARY:

The applicant is wanting to rebuild a garage that burned down at 6342 Squilax-Anglemont Road in Magna Bay. The applicant wants to build the new garage on the old garage foundation which is located within the front and interior side parcel boundary setbacks and requires a Development Variance Permit. The design of the garage is such that it also requires a variance for height from 6 m to 8.77 m and for gross floor area from 55 m² to 118 m².

VOTING:

Unweighted
Corporate

☐

LGA Part 14
(Unweighted)

☒

Weighted
Corporate

☐

Stakeholder
(Weighted)

☐

BACKGROUND:

PROPERTY OWNER:
Randal Lamb

ELECTORAL AREA:
F

CIVIC ADDRESS:
6342 Squilax-Anglemont Road

LEGAL DESCRIPTION:

Lot 8 Section 13 Township 23 Range 10 W6M Kamloops Division Yale District Plan 13493

PID:

009-192-638

SIZE OF PROPERTY:

0.141 ha

DESIGNATION:

Electoral Area F (North Shuswap) Official Community Plan Bylaw No. 830
Secondary Settlement Area -SSA

CURRENT ZONE:

Magna Bay Zoning Bylaw No. 800
Residential -RS

SURROUNDING LAND

USE PATTERN:

NORTH: Squilax-Anglemont Road, residential

SOUTH: Shuswap Lake

EAST: Residential

WEST: residential

CURRENT USE:

Single family dwelling, accessory building (boathouse)

PROPOSED USE:

Single family dwelling, accessory building (boathouse), garage

SITE COMMENTS:

The subject property can be accessed from both Squilax-Anglemont Road and Sands Road. It has a low to moderate slope towards Shuswap Lake. There is an existing single family dwelling on the property as well as a boat house near the lakefront. The property is surrounded by residential uses to the east and west and vacant land to the north.

POLICY:

Electoral Area F Official Community Plan Bylaw No. 830

11.8 Secondary Settlement Areas (SSA)

Policy 1

Detached, semi-detached and duplex Policy 1 Detached, semi-detached and duplex housing forms are acceptable residential land uses in the Primary and Secondary Settlement Areas.

Policy 2

All new detached, semi-detached and duplex housing units with a density greater than 1 housing unit per 2.5 acres (1 unit per hectare) must be connected to both a community water system and a community sewer system.

Policy 3

Applicants for new, detached dwellings are encouraged to consider net density in the range of 3 to 5 units per acre (8 to 13 units per hectare). The zoning bylaw will establish additional conditions related to such matters as lot line setbacks, lot coverage and parking

Magna Bay Zoning Bylaw No. 800 (Bylaw No. 800)

Definitions

ACCESSORY BUILDING is a detached building or structure that is customarily incidental to, subordinate to and exclusively devoted to a principal use or a single family dwelling, is not used for human habitation and is used for an accessory use or where permitted, for a home business;

FLOOR AREA is the total area of all floors in a building measured to the outside face of exterior walls. Where the context requires it, floor area is the total area of all floors in a portion of a building in a particular use, measured to the outside face of the walls of the area of the use. Floor area does not include off street parking areas, balconies, elevator shafts and areas used for building ventilation machinery;

GROSS FLOOR AREA is the total area of all floors in a building measured to the outside face of exterior walls. Where the context requires it, gross floor area is the total area of all floors in a portion of a building in a particular use, measured to the outside face of the walls of the area of the use.

RS – Residential

(1) Permitted uses:

- a) Single family dwelling
- b) Bed and Breakfast, permitted on a parcel 1 ha (2.47 ac) or larger
- c) Guest accommodation, permitted on a parcel 1 ha (2.47 ac) or larger
- d) Home business
- e) Home industry, permitted on a parcel 4000 m² (0.99 ac) or larger
- f) Residential campsite
- g) Standalone residential campsite
- h) Accessory use

(2) Regulations

(a) Minimum parcel size created by subdivision:

- Where a parcel is serviced by both a community water system and community sewer system = 4000 m²
- In all other cases = 1 ha

(b) Minimum parcel width created by subdivision: 20 m

(c) Maximum parcel coverage: 25%

(d) Maximum number of single family dwellings per parcel: 1

(e) Maximum height for:

- Principal buildings and structures: 11.5 m (37.73 ft)
- Accessory buildings: 6 m (19.69 ft)

(f) Minimum setback of a building containing a home industry from each parcel boundary: 10 m (32.81 ft)

Minimum setback for all other uses from:

- Front parcel boundary: 4.5 m (14.76 ft)

- Interior side parcel boundary: 2 m (6.56 ft)
- Exterior side parcel boundary: 4.5 m (14.76 ft)
- Rear parcel boundary:
 - For an accessory building: 3 m (9.84 ft)
 - For a single family dwelling and guest accommodation: 4.5 m (14.76 ft)

(g) Maximum gross floor area of an accessory building: 55 m²

Development Variance Permit

The applicant is proposing to vary:

Section 5.5(2)(e) Maximum height for an accessory building from 6 m to 8.77 m for a garage;

Section 5.5(2)(f) Minimum setback from a front parcel boundary from 4.5 m to 0.15 m and minimum setback from an interior side parcel boundary from 2 m to 1.55 m for a garage; and,

Section 5.5(2)(g) Maximum gross floor area of an accessory building from 55 m² to 118 m² for a garage.

FINANCIAL:

There are no financial implications to the CSRD regarding this application.

KEY ISSUES/CONCEPTS:

The old garage burned down in a fire in July 2018. The applicant is wanting to rebuild the new garage on the same foundation location as the previous garage due to siting constraints, primarily the location of the single family dwelling and septic field, for construction on the property. The proposal is for a two-storey structure: a first floor 2 bay garage with an art studio, gym, office, and bathroom basement. The old garage design was also 2 storeys with the garage bays level with Squilax-Anglemont Road.

The existing foundation for the garage is located at the front of the property near Squilax-Anglemont Road. The proposed setback of the garage, including eaves and gutters, would be 0.15 m from the front and 1.55 m from the interior side parcel boundary; the walls of the garage would be 0.66 m from the front and 1.88 m setback from the parcel lines.

The proposed height for the garage is 8.77 m which is over the maximum allowed 6 m for an accessory building. The garage design is such that the garage doors are level with Squilax-Anglemont Road with the basement cut into the slope to create a walkout. The portion of the garage that is visible from Squilax-Anglemont Road is about 6 m in height. The applicant has indicated that this proposed height will allow him to store his boat with the tower up and the pitched roof will assist with stormwater drainage. The property that has the most potential to be affected by the garage height is currently vacant.

The proposed 2 storey garage exceeds the maximum permitted gross floor area for an accessory building from 55 m² to 118 m²; this calculation includes the total floor area for both floors of the building. The design of the building cantilevers the first floor out beyond the existing foundation about 0.6 m; the applicant has indicated that this design is to accommodate parking their boat with a surf platform attachment. Bylaw No. 800 exempts off-street parking from gross floor area calculation; as the upper floor of the building is made up almost entirely of off-street parking spaces, the gross floor area calculation for the upper floor is 37 m². The basement floor area is 81 m²; this area is within the existing foundation; the old garage would have had a similar gross floor area as the proposed garage.

The building design shows a bathroom in the basement; the applicant has indicated this is a concept plan and currently intends to keep the area as open space. If the applicant installs a bathroom in the future, a building permit would be required; the Building Department would require proof of septic servicing for the additional connection at that time. Use of this area as a dwelling unit is not permitted in the RS zone due to the size of the property.

Staff consulted with the CSRD Building Services Department regarding future potential fire separation issues there may be for the garage, as it will be located within 2.4 metres of an interior side parcel line setback shared with the neighbouring property. The building department has indicated that there will be building material restrictions in order to meet fire resistant ratings for the east wall and overhang of the garage located within the setback; this will be addressed through the Building Permit process. The Building Department comments have been shared with the applicant.

The fire in 2018 also burned down the neighbour's garage at 6346 Squilax-Anglemont Road, for which the Board will review Magna Bay Amendment (Coueffin) Bylaw No. 800-31 application for the rebuild of that garage at its April 18, 2019 Board meeting. The bylaw amendment proposes to increase parcel coverage for that property from 25% to 28% for the construction of the garage. At a future Board meeting, the proposed garage will also require issuance of a DVP for front and interior side parcel boundary setbacks, height, and gross floor area, similar to this application.

The residential use of the subject property is in compliance with the SSA –Secondary Settlement Area designation in Electoral Area F Official Community Plan Bylaw No. 830.

The applicant has applied for a Setback Permit with Ministry of Transportation for the subject property that permits the garage to be within 4.5 m of the road right of way; the ministry has indicated that they will be issuing the permit.

SUMMARY:

Staff are recommending approval of this DVP for the following reasons:

- The proposal is to build on the existing garage foundation;
- There are existing site constraints due to the location of the single family dwelling and septic field;
- The height of the garage at road level will be approximately 6 m; which would be permitted for an accessory building in the RS zone;
- There should not be any negative impact on neighbouring properties; the property to the north is currently vacant and the property that shares the interior side parcel boundary which is the subject of this variance is also applying for setback variances for a garage; and,
- Ministry of Transportation has indicated they will issue a Setback Permit signifying they do not have concerns regarding the close proximity of the proposed garage to Squilax-Anglemont Road.

IMPLEMENTATION:

If this DVP is approved, the Building Services Department will review the building permit for the proposed single family dwelling and ensure the BC Building Code requirements for the east wall building face and overhang are achieved.

COMMUNICATIONS:

Notice of the proposed Development Variance Permit was sent to all owners of properties lying within 100 m of the subject property in accordance with Section 499 of the Local Government Act advising of the opportunity to comment on the proposed variances.

At this time there is no Advisory Planning Commission for Electoral Area F.

DESIRED OUTCOMES:

That the Board support the staff recommendation to approve issuance of DVP 800-32.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

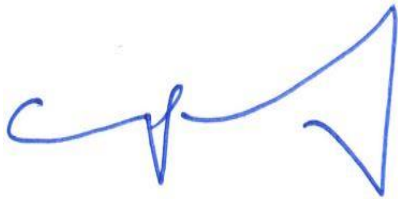
LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area F Official Community Plan Bylaw No. 830
2. Magna Bay Zoning Bylaw No. 800
3. Building Department referral, February 21, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_DVP800-32_Lamb.docx
Attachments:	- DVP800-32.pdf - Maps_plans_photos_DVP800-32.pdf
Final Approval Date:	Apr 8, 2019

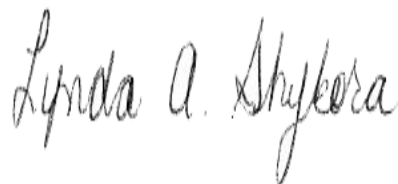
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 5, 2019 - 10:56 AM



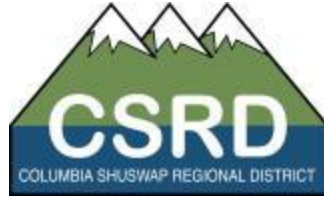
Gerald Christie - Apr 5, 2019 - 11:28 AM



Lynda Shykora - Apr 8, 2019 - 12:35 PM



Charles Hamilton - Apr 8, 2019 - 1:39 PM



COLUMBIA SHUSWAP REGIONAL DISTRICT

DEVELOPMENT VARIANCE PERMIT NO. 800-32

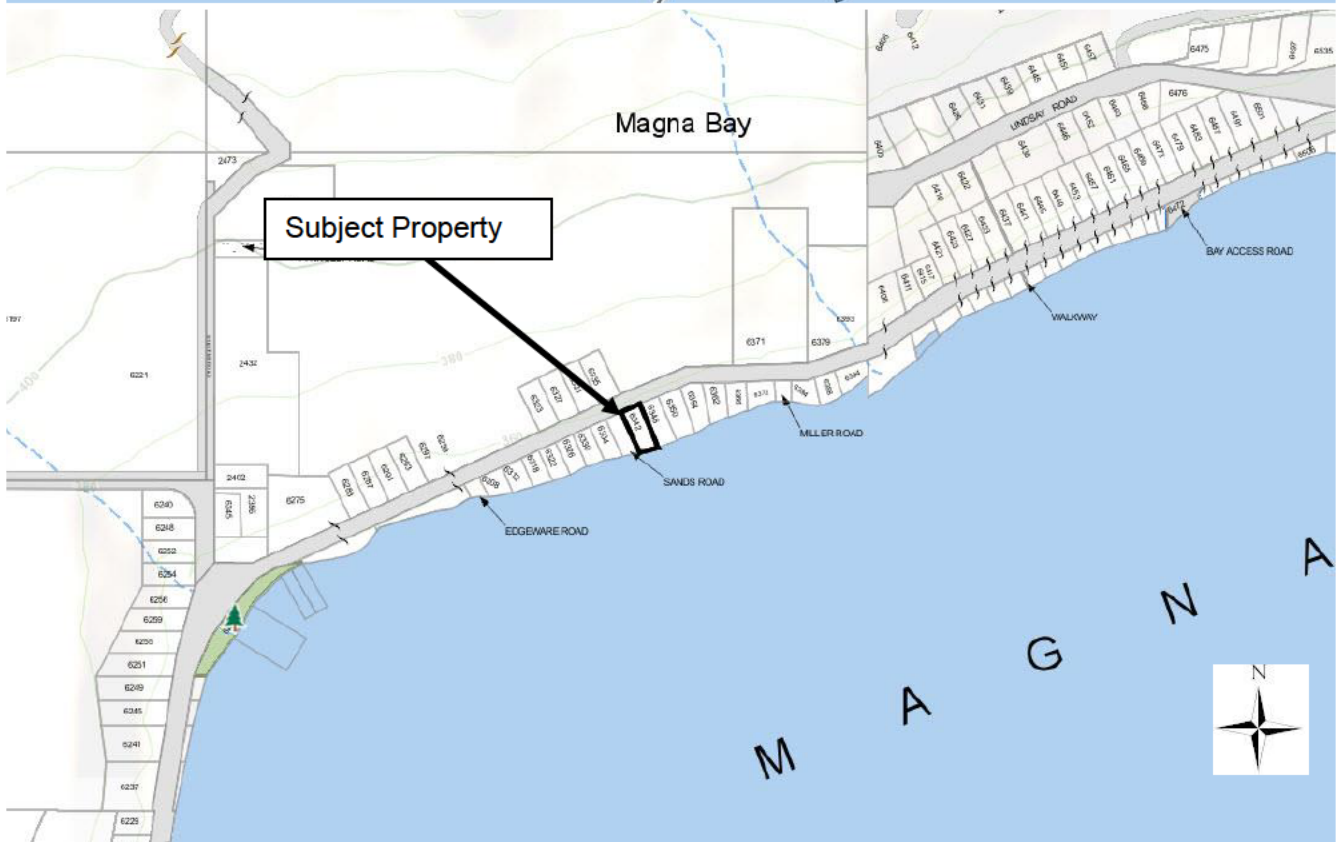
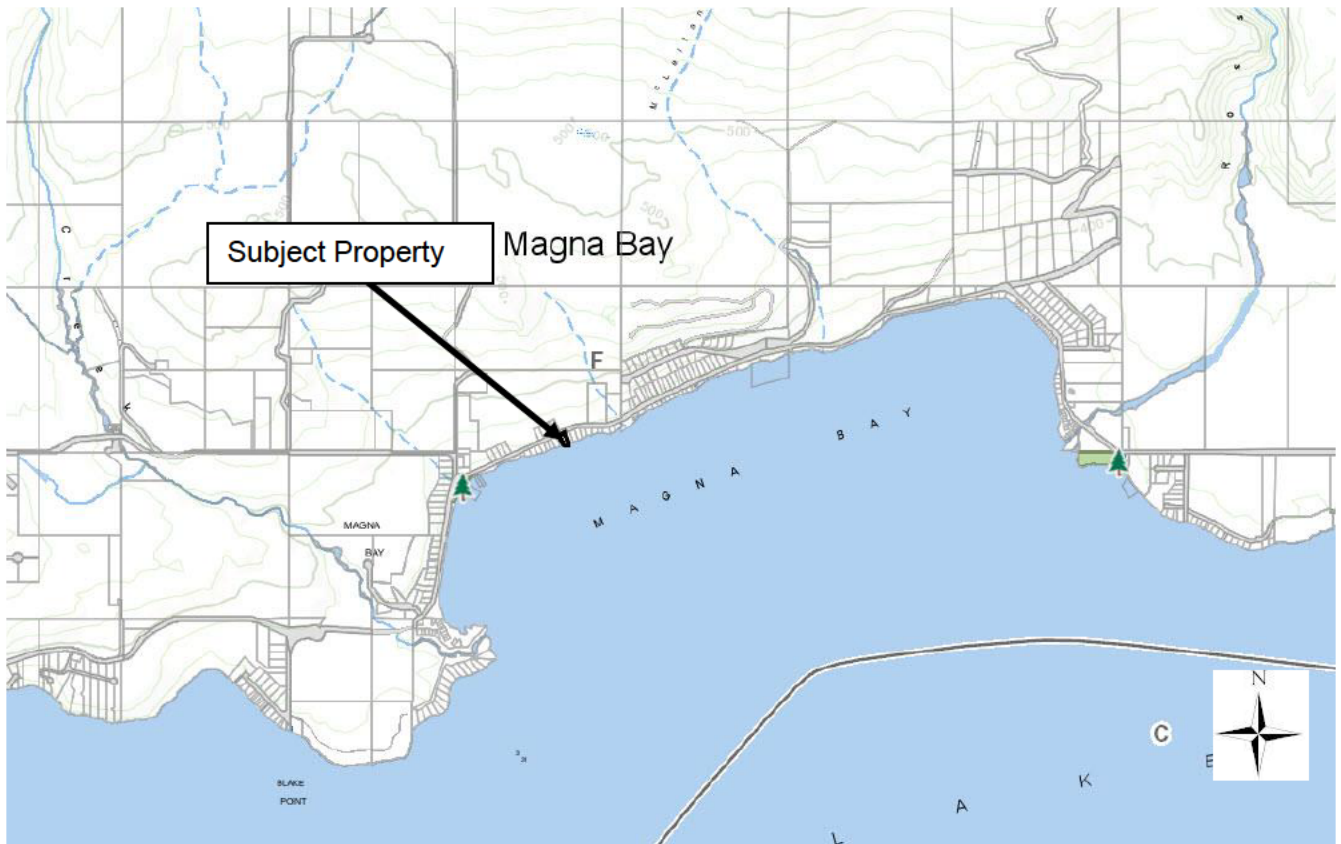
1. OWNER: Randal Lamb
2. This permit applies only to the land described below:
 Lot 8, Section 13, Township 23, Range 10, W6M, KDYD, Plan 13493 (PID: 009-192-638),
 which property is more particularly shown on the Location Map attached hereto as shown
 outlined in bold on Schedule A.
3. The Magna Bay Zoning Bylaw No. 800, is hereby varied as follows:
 - Section 5.5(2)(e) Maximum height for an accessory building from 6 m to 8.77 m for
a garage;
 - Section 5.5(2)(f) Minimum setback from a front parcel boundary from 4.5 m to 0.15
m and minimum setback from an interior side parcel boundary from 2 m to 1.55 m
for a garage; and
 - Section 5.5(2)(g) Maximum gross floor area of an accessory building from 55 m² to
118 m² for a garage,
 as more particularly shown on the Site Plan attached hereto as Schedule B.
4. This permit is NOT a building permit.

AUTHORIZED FOR ISSUANCE BY RESOLUTION of the Columbia Shuswap Regional District Board on
 the ____ day of _____, 2019.

CORPORATE OFFICER

NOTE: Subject to Section 504 of the Local Government Act, if the development of the subject
 property is not substantially commenced within two years after the issuance of this permit, the
 permit automatically lapses.

Schedule A Location



LEGEND

- ...ELECTRICAL CABLE
- ...COMMUNICATION CABLE
- ...IRRIGATION VALVE
- BM-S= BENCHMARK SET

LOT AREA= 1458.9m²
 BUILDING AREA= 203.93m²
 13.9% LOT COVERAGE
 25% ALLOWABLE LOT COVERAGE
 *FOOTPRINT DOES NOT INCLUDE BURNED STRUCTURE FOOTPRINT

NOTE:
 ELEVATIONS ARE FOR DESIGN PURPOSES ONLY AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.

ELEVATIONS ARE TO GEODETIC DATUM.
 COORDINATE BASE USED: NAD 83 SEA LEVEL.
 BENCHMARK USED: REBAR #550
 ELEVATION: 356.881m

NOTE:
 FOR AN ACCURATE DETERMINATION OF PROPERTY BOUNDARIES, A REFERENCE PLAN TO RE-ESTABLISH ALL LOT CORNERS WOULD BE NECESSARY.

TITLE
 6342
 SQUILAX-ANGLEMENT RD

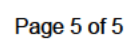
PROJECT
 TOPOGRAPHIC SITE PLAN

CLIENT
 RANDY LAMB

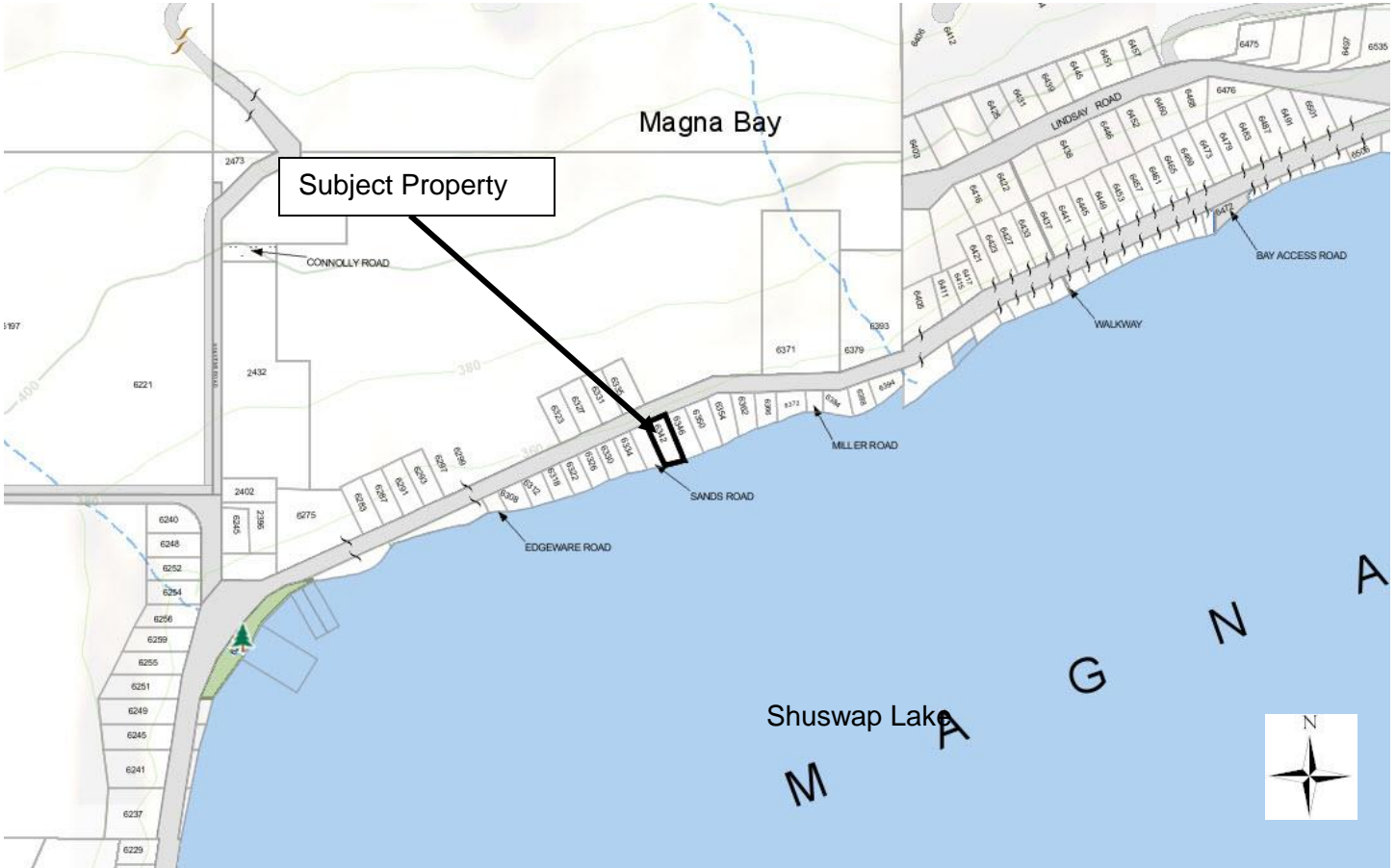
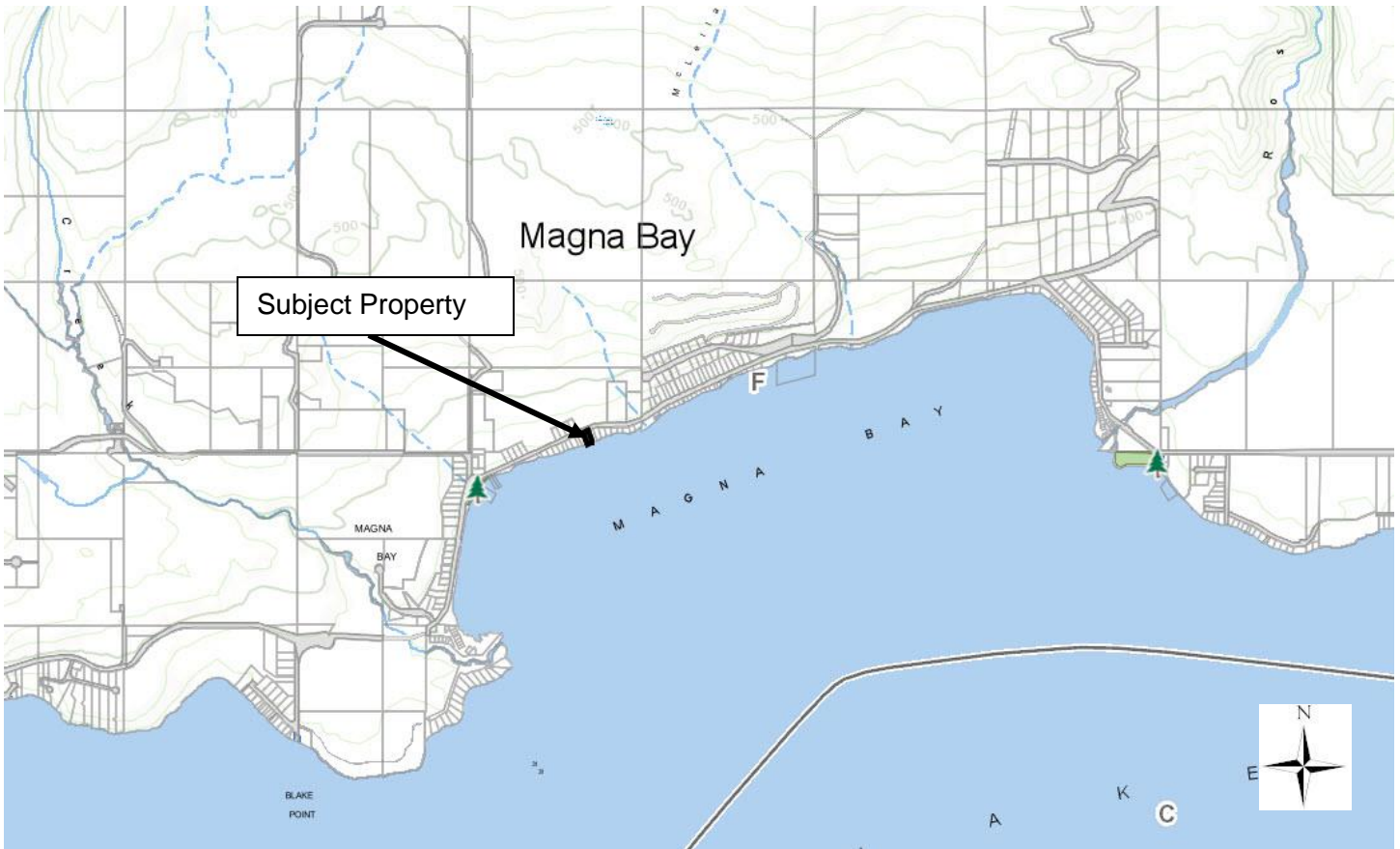
DATE
 19/03/27

ALLNORTH
 Land Surveys

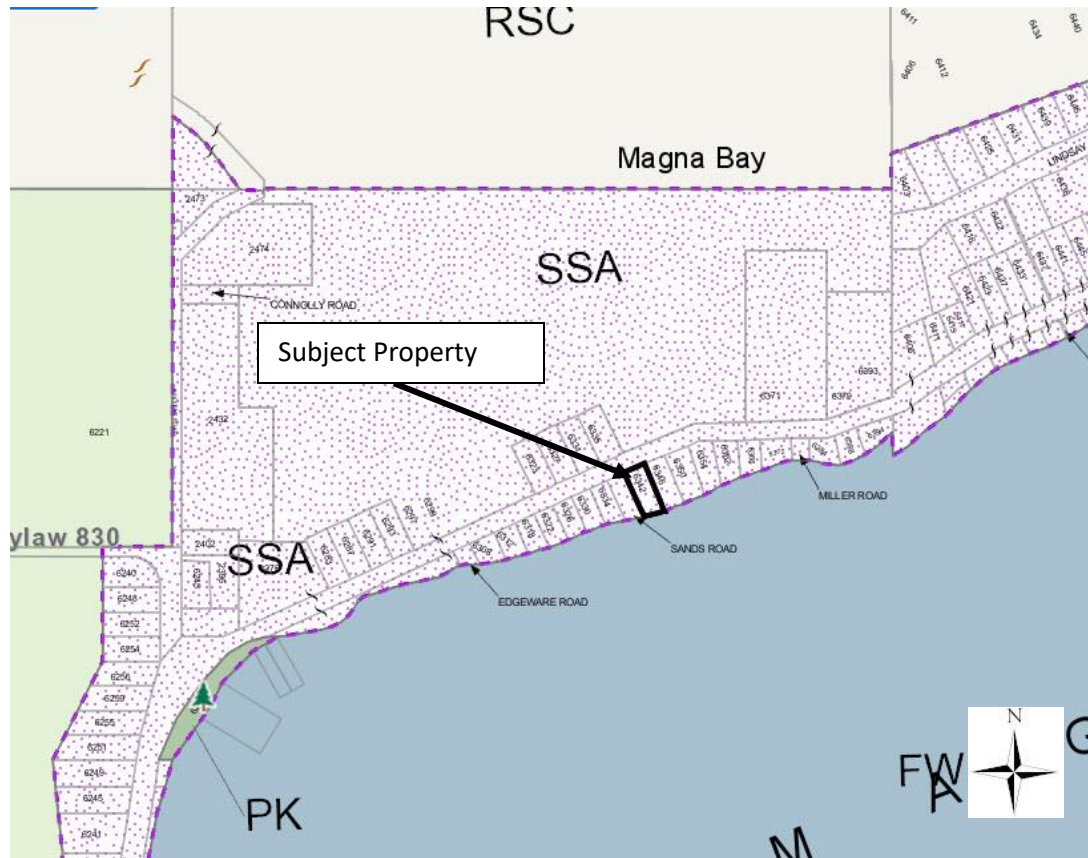




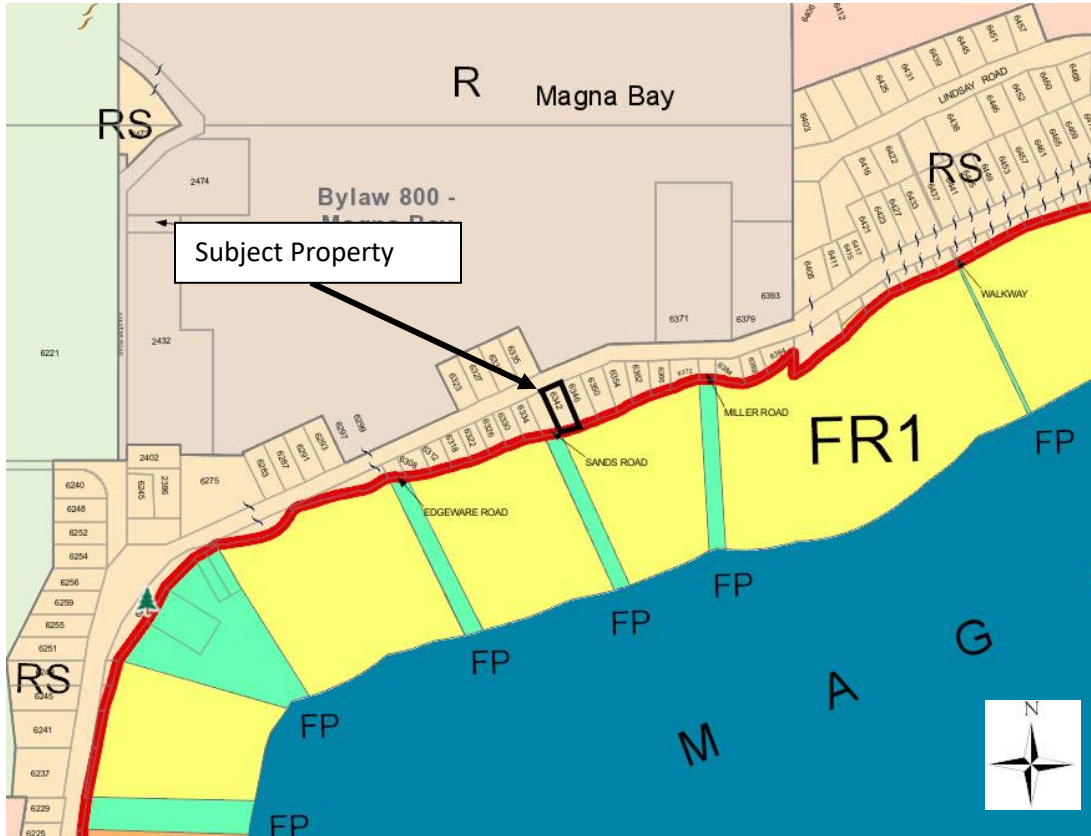
Location



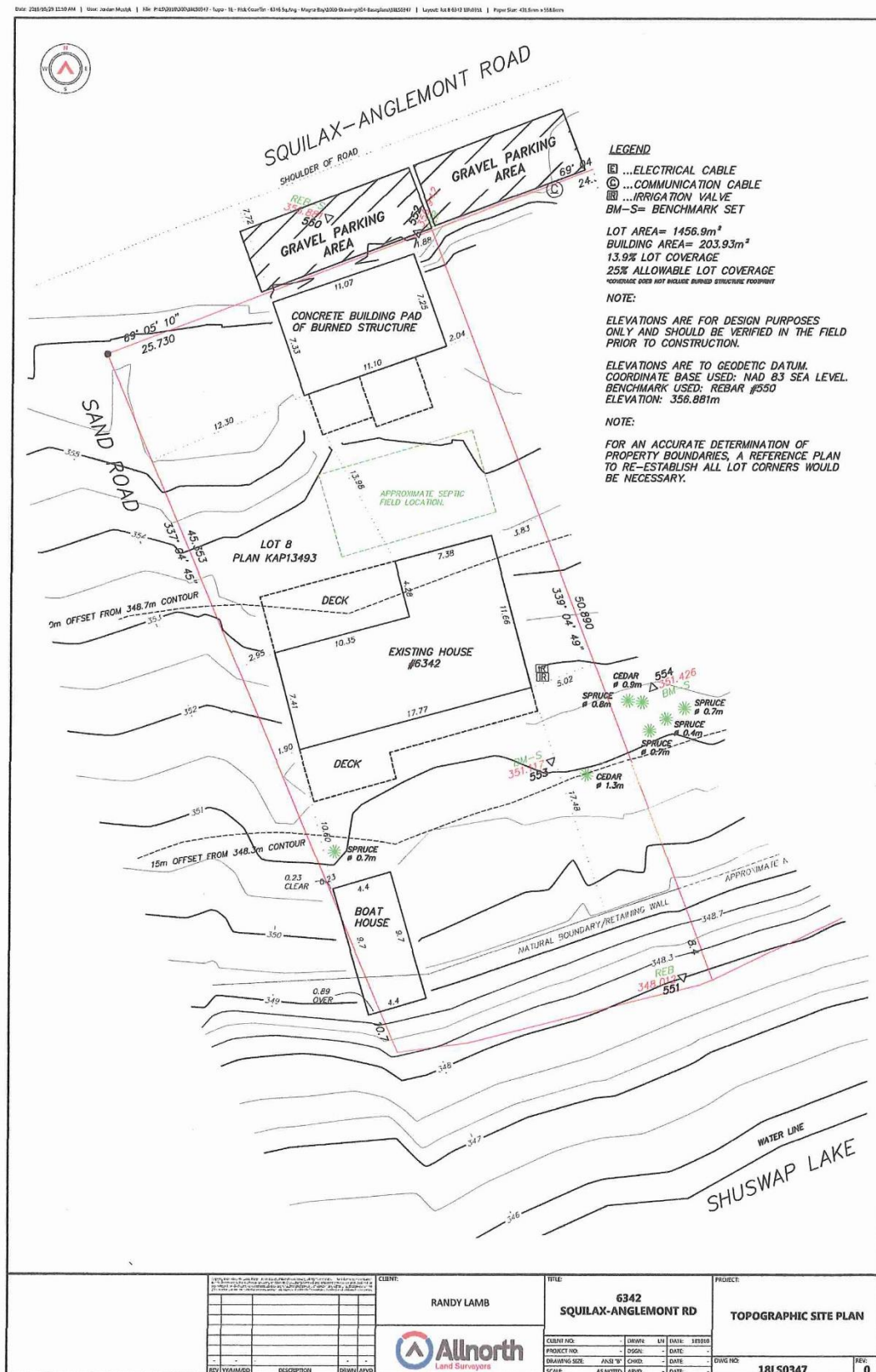
OCF

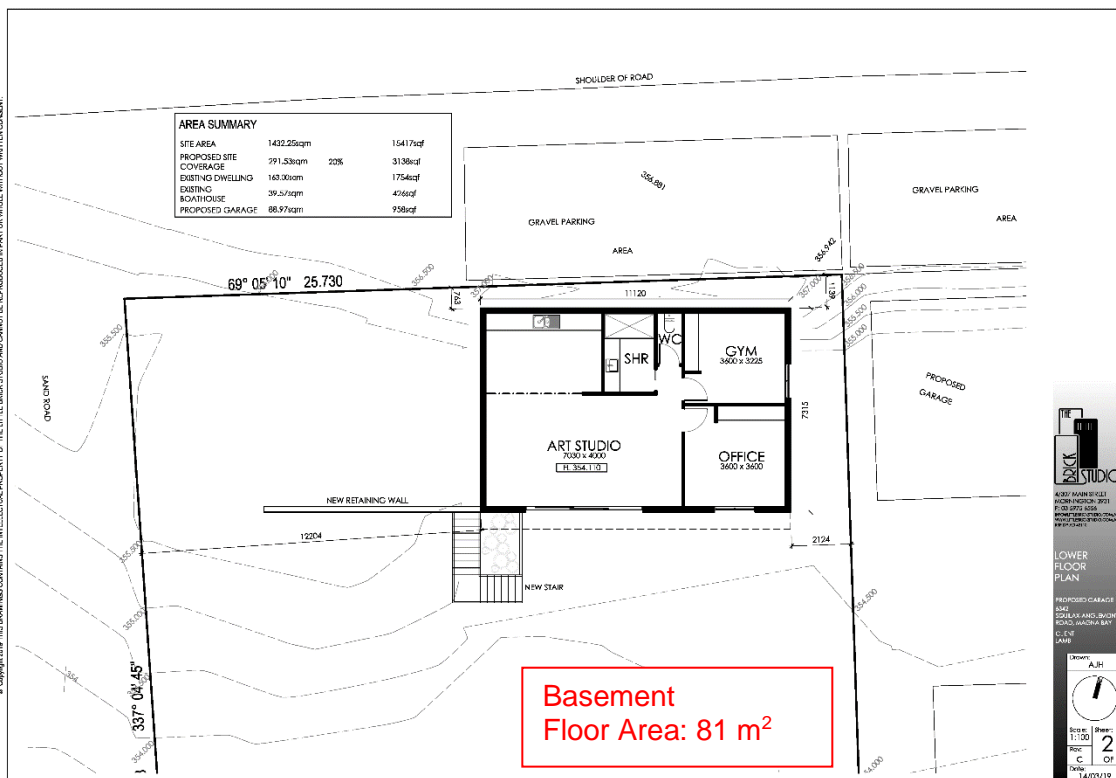


Zoning

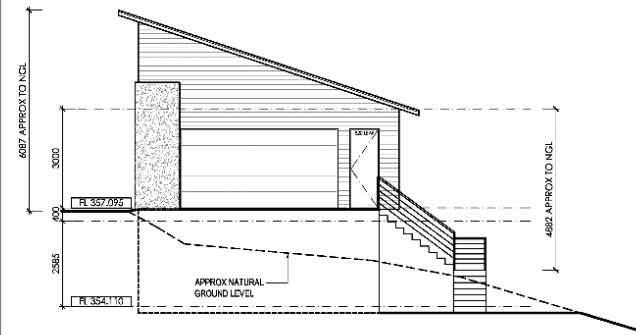


Site Plan

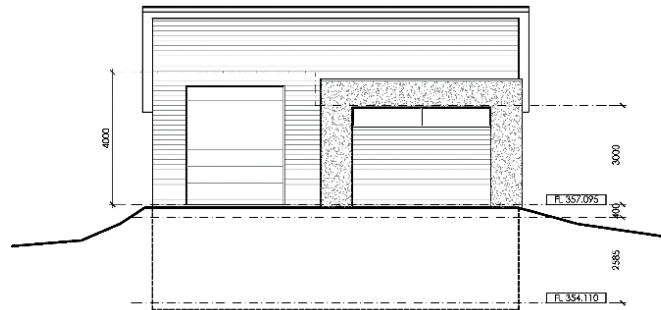




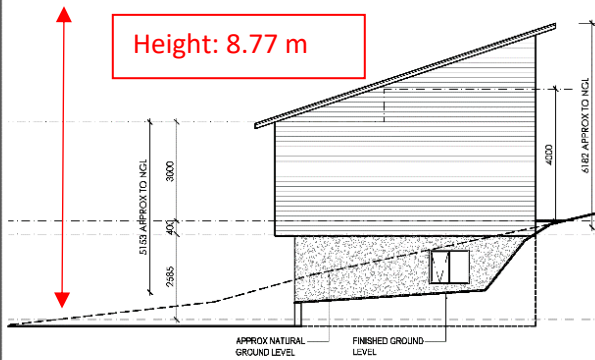
© Copyright 2019 THIS DRAWING CONTAINS THE INTELLECTUAL PROPERTY OF THE LITTLE BRICK STUDIO AND CANNOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN CONSENT.



WEST ELEVATION

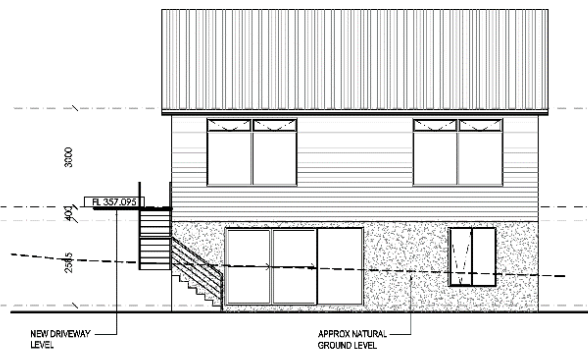


NORTH ELEVATION



Height: 8.77 m

EAST ELEVATION



SOUTH ELEVATION



40007 MAIN STREET
MCCLENDON QLD 4001
P: 08 9975 4556
WWW.LITTLEBRICKSTUDIO.COM
ARCHITECTURE & INTERIOR DESIGN

PROPOSED ELEVATIONS
PROPOSED GARAGE
2345
SQUILAX-ANGLEWORTH
ROAD, MACKINNA BAY
CLIENT
LAMB

Drawn: A.H.

Scale: 1:100
Rev: C
Date: 14/03/19

Sheet: 4
Of: 4

Orthophoto



Google Maps Streetview of Old Garages



Subject property garage to the right and neighbour's garage (BL800-31) to the left

Photos



View of old garage foundation on subject property



View of driveway location from Sands Road and Squilax-Anglemont Road



View of proposed driveway from Sands Road



View of existing garage foundation towards neighbour's property



BOARD REPORT

TO: Chair and Directors

File No: BL725-15 PL20180198
--

SUBJECT: Electoral Area C: Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15

DESCRIPTION: Report from Christine LeFloch, Planner II, dated March 29, 2019.
3453 Ford Road, Tappen

RECOMMENDATION #1: THAT: "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" be read a second time this 18th day of April, 2019.

RECOMMENDATION #2: THAT: a public hearing to hear representations on "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" be held;

AND THAT: notice of the public hearing be given by staff of the Regional District on behalf of the Board in accordance with Section 466 of the Local Government Act;

AND FURTHER THAT: the holding of the public hearing be delegated to Director Paul Demenok, as Director for Electoral Area C being that in which the land concerned is located, or Alternate Director Jennifer Dies, if Director Demenok is absent, and the Director or Alternate Director, as the case may be, give a report of the public hearing to the Board.

SHORT SUMMARY:

The owners of the subject property have made application to subdivide a 2 ha parcel from the 18.27 ha parent parcel. One of the conditions of subdivision approval is successful redesignation of the parcel from MH – Medium Holdings to RR2 – Rural Residential 2. The Board gave first reading to Electoral Area C Official Community Plan Amendment (Zappone) Bylaw 725-15 at their meeting held February 21, 2019 and directed staff to refer the bylaw to applicable agencies and First Nations. Referral comments have been compiled and it is now appropriate for the Board to consider the bylaw for second reading and referral to a public hearing.

VOTING:	Unweighted Corporate	<input type="checkbox"/>	LGA Part 14 (Unweighted)	<input checked="" type="checkbox"/>	Weighted Corporate	<input type="checkbox"/>	Stakeholder (Weighted)	<input type="checkbox"/>
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BACKGROUND:

REGISTERED OWNER:
688490 BC Ltd.

APPLICANTS:
Mike and Rhonda Zappone

ELECTORAL AREA:

C

LEGAL DESCRIPTION:

Lot 1 Section 22 Township 21 Range 10 West of the 6th Meridian Kamloops Division Yale District Plan 38427

PID:

008-096-937

CIVIC ADDRESS:

3453 Ford Road, Tappen

SURROUNDING LAND USE PATTERN:

North: Rural Residential

South: Rural, sand and gravel

East: Bastion Mountain

West: Rural, sand and gravel, agriculture

CURRENT USE:

Gravel pit, log home manufacturing

PROPOSED USE:

The owners would like to subdivide one 2 ha lot from the subject property to sell to Artisan Log Homes who are currently leasing the property, and create potential for future rural residential subdivision after the gravel pit has been decommissioned.

PARCEL SIZE:

18.27 ha

PROPOSED PARCEL SIZES:

2 ha and 16.27 ha

DESIGNATION:

MH – Medium Holdings

ZONE:

N/A

PROPOSED DESIGNATION:

RR2 – Rural Residential 2

PROPOSED ZONE:

N/A

AGRICULTURAL LAND RESERVE:

0%

SITE COMMENTS:

The subject property lies at the base of the western flank of Bastion Mountain. Slopes on the western half of the property are relatively gentle increasing to become very steep on the eastern half of the property. A large portion of the western end of the property is developed as a gravel pit, and Artisan Log Homes is utilizing 2 ha at the northwestern corner of the property for their business. It is noted that slopes on the western end of the parcel have been modified for mining and are extremely steep in some areas. Mapping indicates an intermittent watercourse coming off the upper slopes of Bastion Mountain crosses the property. Confirmation has been received from Trina Koch, R.P. Bio of Western Water Associates that this line represents a draw, but there is no watercourse present. There are currently 3 gated access points to the property. Two of these are located on Proposed Lot 1 and the third is located on the Proposed Remainder.

POLICY:

Please see BL725_Excerpts_BL725-15.pdf, attached.

FINANCIAL:

There are no financial implications for the CSRD as a result of this application.

KEY ISSUES/CONCEPTS:

The proposed bylaw amendment received first reading at the Board meeting held on February 21, 2019 and was referred to applicable agencies and First Nations for comments. A summary of comments received is provided in the Communications section below. Please see attached 2019-02-21_Board_DS_BL725-15.pdf for all background information and analysis related to this application.

Operations Management noted that the property is located within the boundaries of the Tappen Sunnybrae Fire Protection Area and that confirmation of compliance with access requirements is required and that FireSmart principles are to be encouraged. This will be a condition of subdivision approval.

The Mines Branch of the Ministry of Energy, Mines and Petroleum Resources indicated support for the proposal. CSRD staff spoke with staff from the Mines Branch who explained that legal separation of the log home building business from the active mine site through subdivision assists them in ensuring the safety of the mine and assists Worksafe BC in ensuring the safety of the log home business worksite. They also noted that all access to the proposed new lot must be from Ford Road only, no access is permitted through the two sites. Staff will provide these comments to the Approving Officer through the subdivision process.

The Area C APC supported the proposal for redesignation of the subject parcel. Financial Services and Operations Management confirmed that the proposed bylaw amendment is consistent with the CSRD's Financial Plan and Waste Management Plan. No other comments were received from agencies or First Nations.

SUMMARY:

The staff recommend that Bylaw No. 725-15 be read a second time and be referred to a public hearing for the following reasons:

- The proposed OCP amendment has been reviewed as per Section 477 of the Local Government Act and is consistent with the CSRD's Financial Plan and Waste Management Plan;
- The proposed OCP amendment would facilitate the proposed subdivision to create a separate lot for the existing log home business on the property, thereby making it easier for Mines Branch and Worksafe BC to ensure the safety of each operation;
- Referral agencies did not identify any concerns with the proposed bylaw amendment; and
- Staff continue to support this application.

IMPLEMENTATION:

If the Board delegates a public hearing, staff will set a date for the public hearing, and proceed with notification of property owners within 100 metres and publication of notices as required by the Local Government Act.

COMMUNICATIONS:

Bylaw 725-15 was referred to the following agencies and First Nations:

Electoral Area C Advisory Planning Commission	Support the application to modify the Official Community Plan for this site and support the subdivision of a 2ha parcel from the parent parcel and be redesignated to RR2.
Ministry of Energy, Mines and Petroleum Resources – Mines Branch	Approval recommended. Property boundaries clearly established by a BC Land Surveyor helps to clarify the boundaries of the active mining area. No entrances to the proposed new lot are allowed through the Mine Site. Access must be from Ford Road.
Interior Health Authority	No response.
Ministry of Transportation and Infrastructure	No response.
CSRD Operations Management	This property is within the boundaries of the Tappen Sunnybrae Fire Protection Area. Confirmation of compliance with access requirements as per MOTI guidelines and CSRD Subdivision Servicing Bylaw Required. FireSmart principles and practices to be encouraged. Proposal is consistent with CSRD's Waste Management Plan.
CSRD Financial Services	The proposed bylaw has been reviewed as per S. 477 of the Local Government Act and is consistent with the CSRD's current financial plan.
Adams Lake Indian Band	No response.
Little Shuswap Lake Indian Band	No response.
Neskonlith Indian Band	No response.

Following first reading, the applicant installed a Notice of Application sign at the subject property. A sworn affidavit and photos of the sign have been provided by the applicant in accordance with Development Services Procedures Bylaw 4001.

DESIRED OUTCOMES:

That the Board support the staff recommendations.

BOARD'S OPTIONS:

1. *Endorse the Recommendations.*
2. *Deny the Recommendations.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area C Official Community Plan Bylaw No. 725
2. Subdivision Servicing Bylaw No. 641

Report Approval Details

Document Title:	2019-04-18_Board_DS_BL725-15_Zappone.docx
Attachments:	<ul style="list-style-type: none"> - BL725-15_Second.pdf - BL725-15_First.pdf - 2019-02-21_Board_DS_BL725-15_Zappone.pdf - Geotechnical_report_2018-09-26_BL725-15.pdf.pdf - Well_assessment_report_2018-07-27_BL725-15.pdf.pdf - Septic_letter_2018-11-18_BL725-15.pdf.pdf - RAR_Exemption_letter_2018-05-13_BL725-15.pdf.pdf - BL725_Excerpts_BL725-15.pdf - Agency_Referral_Responses_BL725-15.pdf - Maps_Plans_Photos_BL725-15.pdf
Final Approval Date:	Apr 8, 2019

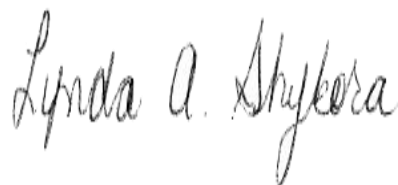
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 8, 2019 - 1:43 PM



Gerald Christie - Apr 8, 2019 - 1:44 PM



Lynda Shykora - Apr 8, 2019 - 1:59 PM

A handwritten signature in black ink, appearing to read "C. Hamilton". The signature is fluid and cursive, with a large initial "C" and a stylized "H".

Charles Hamilton - Apr 8, 2019 - 2:16 PM

COLUMBIA SHUSWAP REGIONAL DISTRICT
ELECTORAL AREA 'C' OFFICIAL COMMUNITY PLAN
AMENDMENT (ZAPPONE) BYLAW NO. 725-15

A bylaw to amend the "Electoral Area 'C' Official Community Plan Bylaw No. 725"

WHEREAS the Board of the Columbia Shuswap Regional District adopted Bylaw No. 725;

AND WHEREAS the Board deems it appropriate to amend Bylaw No. 725;

NOW THEREFORE the Board of the Columbia Shuswap Regional District, in open meeting assembled, HEREBY ENACTS as follows:

1. Bylaw No. 725 cited as "Electoral Area 'C' Official Community Plan Bylaw No. 725" is hereby amended as follows:
 - A. TEXT AMENDMENT
 - B. MAP AMENDMENT
 1. Schedule B, (Land Use Designations – Overview), which forms part of the "Electoral Area 'C' Official Community Plan Bylaw No. 725" is hereby amended by:
 - i) redesignating Lot 1, Section 22, Township 21, Range 10, West of the 6th Meridian, Kamloops Division, Yale District, Plan 38427, which is shown hatched on Schedule 1 attached hereto and forming part of this bylaw, from MEDIUM HOLDINGS (MH) to RURAL RESIDENTIAL 2 (RR2).
 2. Schedule C, (Land Use Designations – Mapsheets), which forms part of the "Electoral Area 'C' Official Community Plan Bylaw No. 725" is hereby amended by:
 - i) redesignating Lot 1, Section 22, Township 21, Range 10, West of the 6th Meridian, Kamloops Division, Yale District, Plan 38427, which is shown hatched on Schedule 2 attached hereto and forming part of this bylaw, from MEDIUM HOLDINGS (MH) to RURAL RESIDENTIAL 2 (RR2).

2. This bylaw may be cited as "Electoral Area 'C' Official Community Plan Amendment (Zappone) Bylaw No. 725-15."

READ a first time this 25th day of January, 2019.

READ a second time this _____ day of _____, 2019.

PUBLIC HEARING held this _____ day of _____, 2019.

READ a third time this _____ day of _____, 2019.

ADOPTED this _____ day of _____, 2019.

CORPORATE OFFICER

CERTIFIED a true copy of Bylaw No. 725-15
as read a third time.

CHAIR

CERTIFIED a true copy of Bylaw No. 725-15
as adopted.

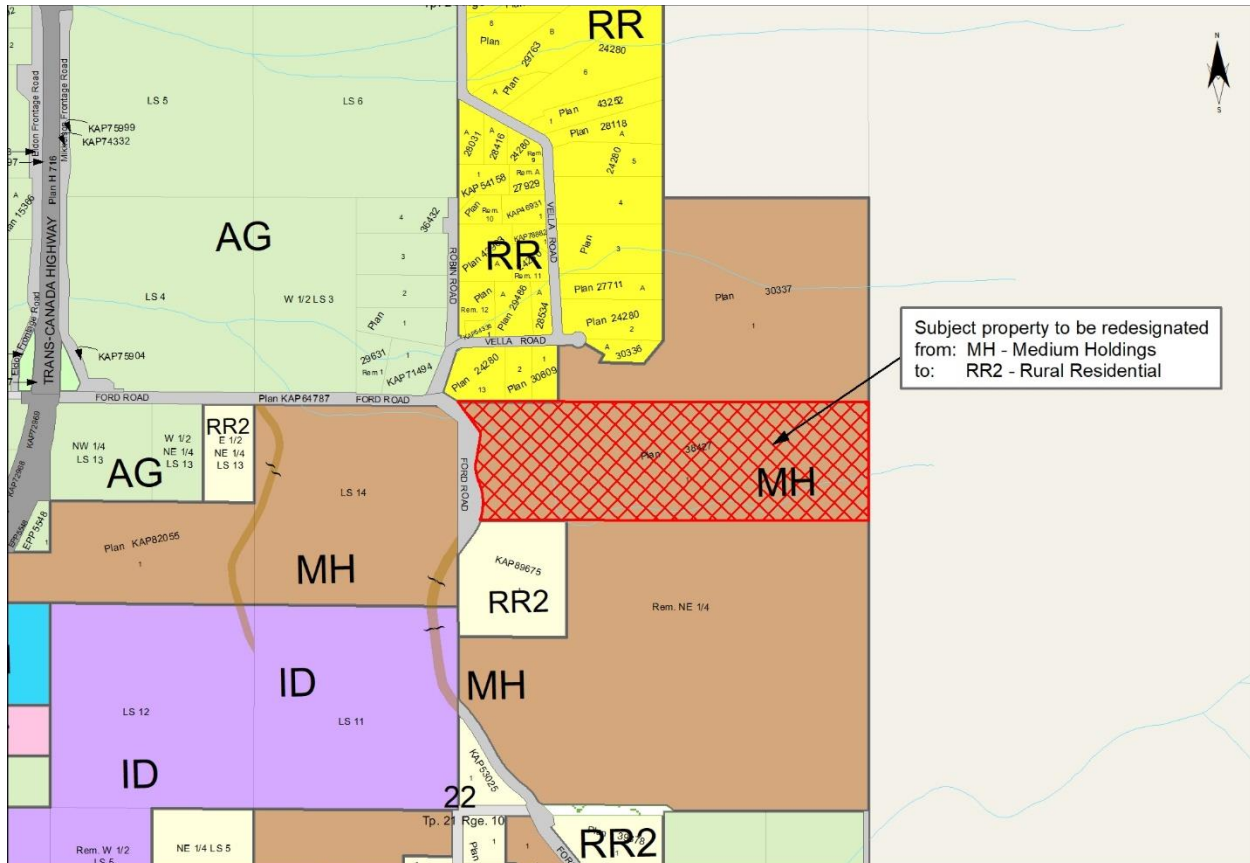
Corporate Officer

Corporate Officer

SCHEDULE 2

**ELECTORAL AREA 'C' OFFICIAL COMMUNITY PLAN AMENDMENT
(ZAPPONE) BYLAW NO. 725-15**

LAND USE DESIGNATIONS - MAPSHEETS



COLUMBIA SHUSWAP REGIONAL DISTRICT
ELECTORAL AREA 'C' OFFICIAL COMMUNITY PLAN
AMENDMENT (ZAPPONE) BYLAW NO. 725-15

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2. This bylaw may be cited as "Electoral Area 'C' Official Community Plan Amendment (Zappone) Bylaw No. 725-15."

READ a first time this _____ day of _____, 2019.

READ a second time this _____ day of _____, 2019.

PUBLIC HEARING held this _____ day of _____, 2019.

READ a third time this _____ day of _____, 2019.

ADOPTED this _____ day of _____, 2019.

CORPORATE OFFICER

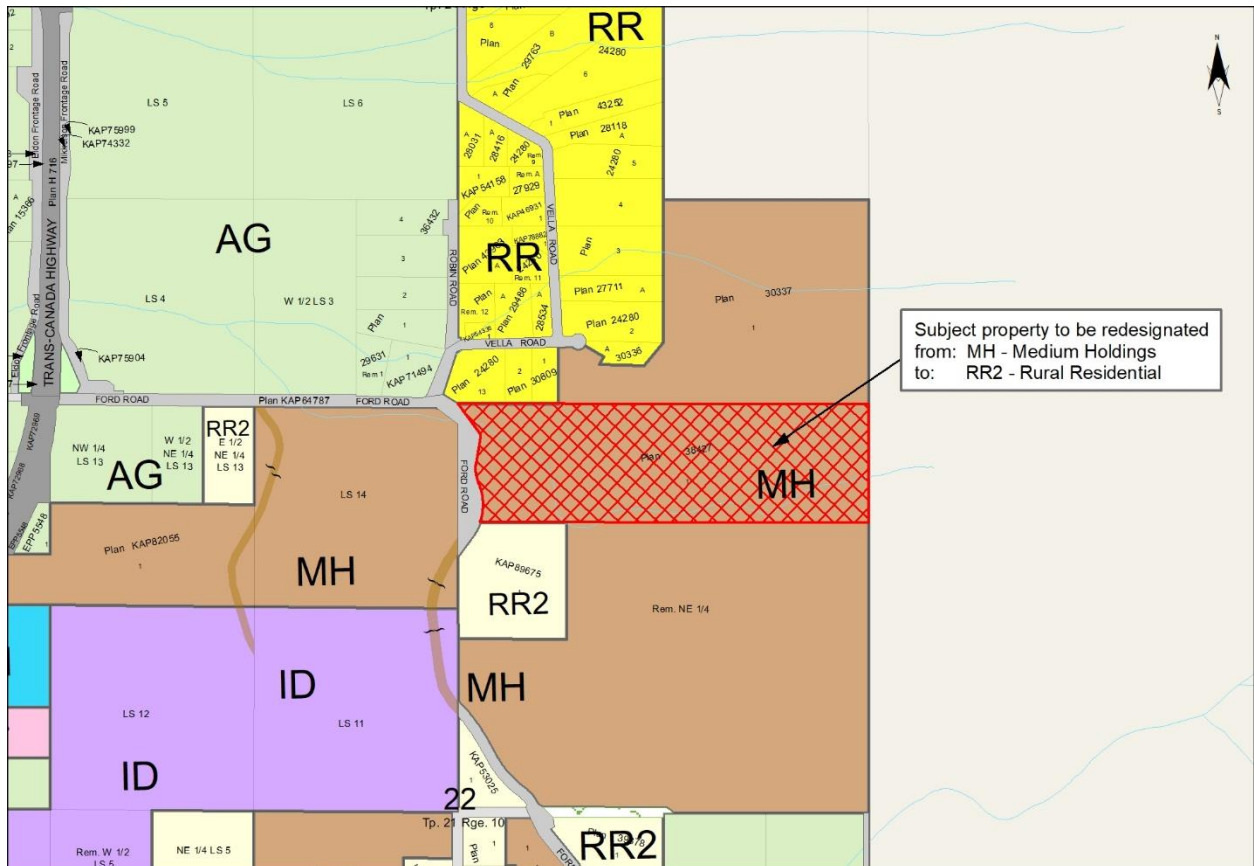
CERTIFIED a true copy of Bylaw No. 725-15
as read a third time.

CHAIR

CERTIFIED a true copy of Bylaw No. 725-15
as adopted.

Corporate Officer

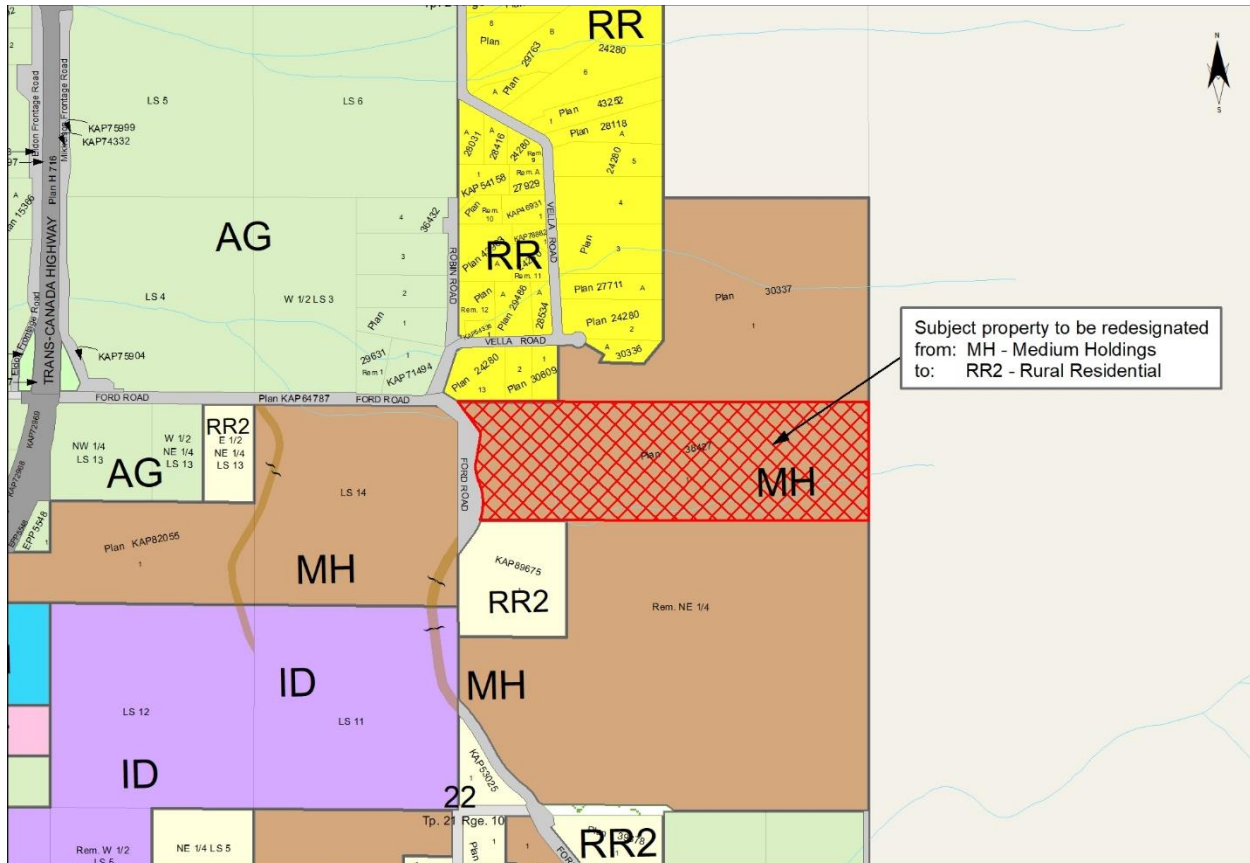
Corporate Officer



SCHEDULE 2

**ELECTORAL AREA 'C' OFFICIAL COMMUNITY PLAN AMENDMENT
(ZAPPONE) BYLAW NO. 725-15**

LAND USE DESIGNATIONS - MAPSHEETS





BOARD REPORT

TO:

Chair and Directors

File No: BL725-15 PL20180198
--

SUBJECT:

Electoral Area C: Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15

DESCRIPTION:

Report from Christine LeFloch, Development Services Assistant, dated January 25, 2019.
 3453 Ford Road, Tappen

RECOMMENDATION #1:

THAT: "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" be read a first time this 21st day of February, 2019.

RECOMMENDATION #2:

THAT: The Board utilize the simple consultation process for Bylaw No. 725-15 and it be referred to the following agencies and First Nations:

- Area C Advisory Planning Commission;
- Interior Health Authority;
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development – Mines Branch;
- CSR D Operations Management;
- CSR D Financial Services; and
- All relevant First Nations Bands and Councils;

AND THAT:

pursuant to Section 477 of the Local Government Act, the Board has considered this "Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15" in conjunction with the Columbia Shuswap Regional District's Financial Plan and its Waste Management Plan.

SHORT SUMMARY:

The owners of the subject property have made application to subdivide a 2 ha parcel from the 18.27 ha parent parcel. One of the conditions of subdivision approval is successful redesignation of the parcel from MH – Medium Holdings to RR2 – Rural Residential 2. Staff are recommending that Bylaw No. 725-15 be read a first time and that staff be directed to refer the bylaw to agencies and First Nations for comment.

VOTING:

Unweighted
Corporate

☐

LGA Part 14
(Unweighted)

☒

Weighted
Corporate

☐

Stakeholder
(Weighted)

☐

BACKGROUND:

REGISTERED OWNER:
688490 BC Ltd.

APPLICANTS:
Mike and Rhonda Zappone

ELECTORAL AREA:
C

LEGAL DESCRIPTION:
Lot 1 Section 22 Township 21 Range 10 West of the 6th Meridian Kamloops Division Yale District
Plan 38427

PID:
008-096-937

CIVIC ADDRESS:
3453 Ford Road, Tappen

SURROUNDING LAND USE PATTERN:
North: Rural Residential
South: Rural, sand and gravel
East: Bastion Mountain
West: Rural, sand and gravel, agriculture

CURRENT USE:
Gravel pit, log home manufacturing

PROPOSED USE:
The owners would like to subdivide one 2 ha lot from the subject property to sell to Artisan Log Homes who are currently leasing the property, and create potential for future rural residential subdivision after the gravel pit has been decommissioned.

PARCEL SIZE:
18.27 ha

PROPOSED PARCEL SIZES:
2 ha and 16.27 ha

DESIGNATION:
MH – Medium Holdings

ZONE:

N/A

PROPOSED DESIGNATION:

RR2 – Rural Residential 2

PROPOSED ZONE:

N/A

AGRICULTURAL LAND RESERVE:

0%

SITE COMMENTS:

The subject property lies at the base of the western flank of Bastion Mountain. Slopes on the western half of the property are relatively gentle increasing to become very steep on the eastern half of the property. A large portion of the western end of the property is developed as a gravel pit, and Artisan Log Homes is utilizing 2 ha at the northwestern corner of the property for their business. It is noted that slopes on the western end of the parcel have been modified for mining and are extremely steep in some areas. Mapping indicates an intermittent watercourse coming off the upper slopes of Bastion Mountain crosses the property. Confirmation has been received from Trina Koch, R.P. Bio of Western Water Associates that this line represents a draw, but there is no watercourse present. There are currently 3 gated access points to the property. Two of these are located on Proposed Lot 1 and the third is located on the Proposed Remainder.

POLICY:

Please see BL725_Excerpts_BL725-15.pdf, attached.

FINANCIAL:

There are no financial implications for the CSRD as a result of this application.

KEY ISSUES/CONCEPTS:

The owners have made application to subdivide the subject property to create a 2 ha parcel which would be sold to Artisan Log Homes who are currently leasing this area of the property for their business, leaving a 16.27 ha Remainder which would continue to be mined by the owners until the aggregate is exhausted. The pit is getting close to depletion and the owners are considering future options for the property, post decommissioning of the pit, including creation of rural residential sized 2 ha lots.

Zoning

This part of Area C is currently not subject to a zoning bylaw. Therefore, types of land uses are not regulated on the subject property. As such, the existing gravel operation and log home business are legal land uses. Mining activities on the property are regulated by the Mines Act and must be in compliance with the terms of any permits issued under that Act.

Electoral Area C Official Community Plan Bylaw No. 725

The Official Community Plan (OCP) speaks to future land use and density, and also includes Development Permit Areas (DPAs). DPAs are the only part of an OCP that is regulatory, and where a Development Permit is required a proposed development must be in accordance with the density of the current land use designation. In cases such as this where it is not consistent, the property must be redesignated accordingly prior to issuance of the permit.

The property is designated MH – Medium Holdings in the OCP, which allows a maximum density of 1 unit per 8 ha. The property contains slopes exceeding 30% so is also designated as a Hazardous Lands (Steeps Slopes) Development Permit Area. This type of development permit is required at the time of subdivision, therefore a development permit must be issued as a condition of subdivision approval. However, a development permit cannot be issued where a proposed lot size is not supported by the land use designation. In this case the proposed 2 ha lot is smaller than the density supported by the current MH designation. In order to approve the development permit the property must first be redesignated correctly for the proposed density. The RR2- Rural Residential 2 designation supports a density of 1 unit per 2 ha which would allow the proposed 2 ha subdivision.

Staff note that the OCP does not have a separate section containing policies that explain the differences between residential and rural land use and the densities associated with each. The rural maximum density standards have been combined with the residential policies and maximum density standards in the land use designation chart under Section 3.4.1.2 (see BL725_Excerpts_BL725-15.pdf, attached). There are also a number of policies in Section 3.1 which direct future residential development to the Primary and Secondary Settlement Areas where there either are already existing community water systems or over time it is expected that community water and sewer systems will be developed.

Staff interpret these policies as applying to the higher density residential designations which allow subdivision of lots up to and including a minimum parcel size of 1 ha. This would include MD - Medium Density, NR – Neighbourhood Residential, CR – Country Residential and RR – Rural Residential. The RR2 – Rural Residential 2 designation has been applied to lands outside of the Secondary Settlement Areas in the White Lake, Sunnybrae, Blind Bay, and Eagle Bay areas, while lands within the SSR's have been given the higher density designations noted above. Further, 1 ha is considered to be the minimum site area required to support on-site sewage disposal and water. This is supported by Interior Health and is reflected in the Subdivision Servicing Bylaw No. 641.

Surrounding Land Use

Lands to the north of the subject property are currently designated RR – Rural Residential and MH – Medium Holdings and are developed as a rural residential subdivision and the Turner gravel pit. Lands immediately to the south include one parcel that is designated RR2 – Rural Residential 2 that contains the Lessard gravel pit, and a larger parcel designated MH – Medium Holdings that is used for a residence. Staff note that there are other sand and gravel operations in the general area to the southwest of the subject property located on lands designated ID – Industrial. These may have been designated ID because there are large industrial buildings located on them and they are not located adjacent to a residential neighbourhood. Please see labeled orthophoto included in the attached Maps_Plans_Photos_BL725-15.pdf. As the OCP contemplates future land use it appears that the gravel operations located closer to the rural residential subdivision on Vella Road were not designated for future industrial use because it is not considered compatible with residential uses over the long term. These properties also do not currently contain large buildings.

The geotechnical report by Onsite Engineering notes that historic orthophotos indicate that the subject property has supported gravel extraction since the 1960's. The Vella Road subdivision to the north was approved in the early 1970's with many of the original parcels being further subdivided over the subsequent decades. As noted above, the applicants have indicated their desire to look to the future potential of the subject property, post decommissioning of the gravel pit. Staff are supportive of this direction to support the evolution of the property from industrial to a rural residential standard.

Professional Reports

Professional reports including a Riparian Areas Regulation exemption letter, septic suitability assessment, well assessment, and slope assessment have been submitted in support the proposed redesignation and subdivision applications. These reports are attached to this Board report and summarized below.

A letter dated May 13, 2018 has been received from Trina Koch, R.P.Bio, of Western Water Associates, as part of the subdivision process confirming that the watercourse shown on CSRD mapping on the subject property is a draw and not a watercourse. The letter confirms that the Riparian Areas Regulations do not apply to the property.

A geotechnical report dated September 26, 2018 has been completed by Larissa Laderoute, GIT and Rod Williams, P. Geo, of Onsite Engineering Ltd. The report includes recommendations for site modifications to mitigate the potential for a landslide occurring on the Proposed Remainder, which is an active gravel pit and is considered to be at high risk of localized landslide. It also concludes that provided recommended site preparations are completed, the risk of a landslide event occurring that would impact Proposed Lot 1 is very low. Further, the authors determined that the risk of a damaging event originating from the draws located above the property to the east is estimated to be low or very low. Finally, Staff note that this assessment was completed for the purposes of the current subdivision application which proposes one new lot plus remainder. If additional lots are proposed for subdivision in the future, an updated report would be required.

A septic suitability report summarizing findings of a site and soil assessment completed on November 18, 2018 has been provided by Oscar Long, ROWP, of Rhino Environmental Services. The report concludes that Proposed Lot 1 and the Proposed Remainder are suitable for Type 1 trench systems which would accommodate a daily design flow of 1600 litres per day (equivalent of a 4 bedroom house).

Finally, a well assessment for a water source on Proposed Lot 1, dated July 27, 2018 has been provided by Ryan Rhodes, P. Geo., of Western Water Associates Ltd. The report concludes that the well meets both the water quantity and water quality provisions of Subdivision Servicing Bylaw No. 641. A water source is not contemplated for the Proposed Remainder at this time as it will continue to be operated as a gravel pit. Covenant X201400 was registered on the title of the subject property in favour of the CSRD when the subject property was created by subdivision in 1987. The covenant prohibits construction or location of any residential dwelling or mobile home on the subject property until such time as an onsite water supply is provided meeting the standards of the subdivision servicing bylaw. The applicant may choose to apply for a Development Variance Permit to waive the requirements for proof of water on the Remainder Lot. If approved the covenant may require amendments.

SUMMARY:

The proposed bylaw amendment would allow the applicants to move forward with their application for a two lot subdivision, and would also allow for rural standard lots to be created following conclusion of gravel extraction activities on the Proposed Remainder.

Staff are recommending that Bylaw No. 725-15 be read a first time and that staff be directed to refer the bylaw to applicable agencies and First Nations. This will allow the opportunity for agencies to provide comments on the proposal and for these comments to be considered at a future board meeting.

Section 477 of the Local Government Act requires that after first reading the local government must consider the proposed OCP amendment in conjunction with their current financial and waste management plans. The proposed OCP amendment has been reviewed by the Operations Management and Financial Services departments, and it has been determined that the proposed bylaw is consistent with the CSRD's current waste management plan and financial plan.

IMPLEMENTATION:

As per CSRD Policy P-18 regarding Consultation Processes-Bylaws, staff is recommending the simple consultation process. Neighbouring property owners will first become aware of the application for OCP amendment when notice of development signs are placed on the property.

COMMUNICATIONS:

If the bylaw is given first reading it will be forwarded to the referral agencies. Agency comments will be provided with a future Board report. The applicant will be required to post Notice of Development signs on the subject property in accordance with Development Services Procedures Bylaw No. 4001.

DESIRED OUTCOMES:

That the Board endorse the staff recommendations.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area C Official Community Plan Bylaw No. 725
2. Subdivision Servicing Bylaw No. 641

Report Approval Details

Document Title:	2019-02-21_Board_DS_BL725-15_Zappone.docx
Attachments:	<ul style="list-style-type: none">- BL725-15_First.pdf- BL725_Excerpts_BL725-15.pdf- RAR_Exemption_letter_2018-05-13_BL725-15.pdf.pdf- Geotechnical_report_2018-09-26_BL725-15.pdf.pdf- Septic_letter_2018-11-18_BL725-15.pdf.pdf- Well_assessment_report_2018-07-27_BL725-15.pdf.pdf- Maps_Plans_Photos_BL725-15.pdf
Final Approval Date:	Feb 11, 2019

This report and all of its attachments were approved and signed as outlined below:



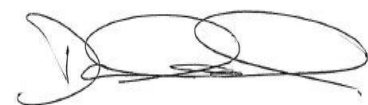
Corey Paiement - Feb 11, 2019 - 8:33 AM



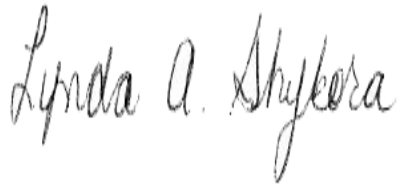
Gerald Christie - Feb 11, 2019 - 8:45 AM



Jodi Pierce - Feb 11, 2019 - 8:48 AM



Darcy Mooney - Feb 11, 2019 - 9:41 AM

A handwritten signature in cursive script that reads "Lynda A. Shykora".

Lynda Shykora - Feb 11, 2019 - 11:17 AM

A handwritten signature in cursive script that reads "C.A. Hamilton".

Charles Hamilton - Feb 11, 2019 - 11:27 AM

ONSITE

Engineering Ltd.

**Landslide Hazard Assessment for the
Proposed Subdivision of Lot 1, Section 22,
Township 21, Range 10, West of the 6th
Meridian, Kamloops Division Yale District,
Plan 38427**

**3453 Ford Road
Tappen, BC**

Prepared for:
688490 BC Ltd.
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September 26, 2018
File: 1765-1

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1.0 Introduction

As requested by Mike and Rhonda Zappone of 688490 BC Ltd., the property owners, Onsite Engineering Ltd. (OEL) was retained to carry out a Landslide Hazard Assessment for the proposed single lot and remainder lot subdivision of Lot 1, Section 22, Township 21, Range 10, West of the 6th Meridian, Kamloops Division Yale District, Plan 38427. The property is located in the rural community of Tappen, approximately 12km north of Salmon Arm, BC (see Figure 1).

This assessment is intended to provide assurance to the Columbia Shuswap Regional District (CSRD) approving officer that natural hazards which may be present at the site are quantified and mitigated as needed when the subdivision is submitted for approval. This report will identify the nature, extent, and probable frequency of the hazard or hazards and if required to recommend permanent protective works or appropriate building setbacks.

1.1 Scope of Assessment

This assessment addresses potential landslide *hazards*¹ on slopes within and adjacent to the property where they may impact the property. The objective of this landslide hazard assessment is to:

- Recognize and characterize landslides (active, inactive, dormant, and potential) within and adjacent to the property;
- Estimate associated landslide hazards and compare estimated hazards with a level of landslide safety² suggested by the approving jurisdiction; and
- If required, recommend permanent protective works or appropriate building setbacks.

The subject property consists of altered terrain used as a gravel pit operation and features dominantly gentle to moderate gradient slopes intersected by the steep gradient slopes of the excavations. The upper slopes of the property above the gravel pit feature moderate to moderately steep natural slopes extending up beyond the property to the west flank of Bastion Mountain. Due to these factors, a potential hazard to the property is identified as slope instability related to steep gradient terrain contained within the gravel pit and upslope areas.

Regional watershed mapping indicates that an unnamed stream originates approximately 130m upslope of the upper property line (see Figure 2). The mapping shows the stream following along the southern property line and then at approximately 160m upslope from the lower (west) property line, the mapping shows that the stream turns to the north to head through the centre of the gravel pit before turning west and heading along the northern property line to Ford Road. A prominent draw occupies the location of the mapped stream in the upper portion of the property but the draw diminishes along the southern property line in the lower portion of the property. No signs of significant surface flows were observed within the draw during the field review, however, there is potential for surface flow during an extreme runoff event. Flooding and/or debris flow hazards presented by the unnamed stream mapped on the property are identified as a potential hazard and are discussed further in this assessment.

1.2 Limitations

This assessment has been prepared in accordance with generally accepted geotechnical practises in British Columbia and in general conformance with the “Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia”. No other warranty expressed or implied is made.

¹ For the purpose of this study a landslide includes: rock falls, rock slumps, rock slides, rock avalanches, rock creep, debris falls, debris slides, debris flows, debris floods, earth falls, earth slumps, earth slides, earth flows, flow slides and earth creep.

² Level of safety from the effects of landslides includes levels of acceptable landslide hazard and landslide risk. The MOTI has suggested the use of levels at 1:475 for damaging landslides and 1:10,000 for life-threatening catastrophic events.

General observations are made on the existing slope gradients, shape, morphology and the general stability. Information on the subsurface soil, groundwater and bedrock conditions is gathered from hand-dug test holes, bedrock outcrops and the cutslopes on the existing roads in the surrounding area. Sub-surface conditions other than those identified may exist, requiring a review of the recommendations contained in this report, with amendments made as needed. Variations (even over short distances) are inherent and are a function of natural processes. The classification and identification of the type and condition of the geological units present are based on observations, experience in similar geologic conditions, and knowledge of published research on geologic conditions and processes in areas with similar geological environments. OEL does not represent or warrant that the conditions listed in the report are exact and the user should recognise that variations may exist.

To our knowledge, the CSRD has not adopted a level of safety with respect to landslide hazards; however, the Ministry of Transportation and Infrastructure (MoTI) has suggested criteria for acceptable landslide likelihood where there is potential for a damaging or catastrophic landslide to impact a property. An estimate of the likelihood or probability of a specific hazardous landslide reaching or initiating on the subject property is provided. The estimated likelihoods have been compared to the criteria suggested by the MoTI; however, it is the responsibility of the approving authorities and other stakeholders to decide if the hazard levels assessed in this analysis are acceptable.

Where recommendations are given to reduce the likelihood of landslide occurrence and/or mitigate the risk, the residual rating (where given) applies only if the recommendations in this report are followed.

2.0 Office and Field Review

The following airphotos were reviewed as part of this assessment:

- | | | |
|------------|----------------|--------|
| • BC1293 | No. 48 to 49 | (1951) |
| • BCC90092 | No. 123 to 124 | (1990) |
| • BCC94041 | No. 189 to 191 | (1994) |
| • BCC1026 | No. 138 to 139 | (2001) |
| • BCC07014 | No. 35 to 36 | (2007) |

The following information was also reviewed as part of this assessment:

- Images and digital terrain model obtained from Google Earth, copyright Province of BC. 2018. The date of this imagery is listed as 2004.
- Canadian Climate Normals available at http://www.climate.weatheroffice.ec.gc.ca/climate_normals.
- BC Digital Geology mapping retrieved from <http://maps.gov.bc.ca/ess/sv/imapbc/>.

Fieldwork was completed by Rod Williams, P. Geo., and Larissa Laderoute, GIT, of OEL on April 19, 2018. Fieldwork included a foot traverse of the site and adjacent areas while recording observations of surface topography and exposed soils in road cuts, shallow (<1m) hand dug test pits, and excavations within the gravel pit. Representative site photos are included at the end of this report.

2.1 Conventions Followed

This assessment was completed in accordance with the document titled “Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia³”. Soil classifications follow the Unified Soil Classification System (USCS). Slope gradient classification, and landform descriptions use terminology defined in the publication Terrain Classification System for British Columbia B.C. Ministry of Environment 1997.

³ Association of Professional Engineers and Geoscientists in British Columbia (APEGBC), 2010.

3.0 Site Overview

The lower slopes of the subject property have been modified due to the gravel pit operations on the property which have been conducted since the early 1960s. The slopes within the gravel pit are separated into four distinct areas for simplicity and are the salt shed, lower pit, middle pit, and upper pit and are roughly shown in Figure 2. Terrain above the gravel pit has remained relatively untouched with the exception that the slopes were logged in the mid-2000s and a series of trails were constructed to facilitate harvesting. The natural slope profile of the property consists of an overall concave profile with gentle gradient slopes in the lower portion of the property that gradually increase to moderate at the toe of the valley sidewall and increase to moderately steep approaching the mid to upper slopes of the sidewall. A prominent ridge extends out from the valley sidewall which has been the area of focus for gravel extraction.

The slope gradient extending into the property from Ford Road and through the lower pit is generally 0-15% for approximately 140m. At the rear of the lower pit, the slope gradient increases to 70-75% for approximately 10m leading up to the middle pit. The slope gradient is generally 5-15% in the middle pit for approximately 140m before reaching the rear of the middle pit which is sloping at 80-90% for 15m and leads to the upper pit. The property owner has placed material in a berm at the edge of the upper pit to prevent noise pollution caused by gravel extraction activities from entering the valley. On the other side of the placed material, the slope gradient is 0-5% for approximately 110m leading to the toe of the current excavation in the upper pit which is approximately 27m tall and sloping at 160%. Extending from the top of the excavation and generally up the apex of the ridge that extends out from the valley sidewall, the slope gradient is roughly 35-40% for approximately 200m before increasing to 50% for another 200m to the upper property line. On either side of the ridge slopes generally fall away and blend into the overall valley sidewall.

Bedrock underlying the subject property is mapped as Lower Paleozoic mudstone, siltstone, and shale fine clastic sedimentary rocks of the Mount Ida Assemblage – Sicamous Formation. Bedrock observed in the field consisted of relatively weak, highly fractured shale consistent with the mapped lithology.

Surficial geology mapping for the area indicates that the surficial materials should consist of fan deposits composed of poorly sorted gravel, sand, silt, and clay above present base-level.

The subject property is located in the Interior Douglas-Fir (IDF) mw2 biogeoclimatic zone. Climate in this zone typically consists of short, warm and dry summers and cool winters with minimal precipitation. The closest climate station to the study area with sufficient data to determine climate normal is located in Salmon Arm, BC, approximately 14km south of the study site. Records at this station indicate that rainfall levels are highest from March to July and October to December with snow cover from December to March. The average annual precipitation in the region is 1468.1mm with 1313.9mm occurring as rainfall⁴. The station is located at an elevation of 70.1m asl.

The total area of the subject property is 18.3ha and is proposed for subdivision into two lots (Lot 1 and the Remainder). Proposed Lot 1 will be 2ha in size leaving 16.3ha for Remainder Lot 1. It is our understanding that proposed Lot 1 will be used as a commercial property for log home manufacturing. The property is currently used as a gravel pit and a salt shed is located on proposed Lot 1, but will be removed as part of the proposed development.

The property is currently accessed by three entry points from Ford Road (Gate 1 through 3). Gates 2 and 3 are located on proposed Lot 1, while Gate 1 is located on Remainder Lot 1. Gate 3 is proposed to be decommissioned and Gate 2 will be used and the single entry point to proposed Lot 1. Gate 1 will be used as the access point to the remaining gravel excavations on Remainder Lot 1. The driveway on Remainder Lot 1 extends approximately 350m along the southern property line from Gate 1 up to the terrain present on the top of the

⁴ Environment Canada. (2013). Canadian Climate Normals. Retrieved from www.climate.weather.gc.ca

upper gravel pit. The driveway contains a ditchline on the southern side that is partially filled with sediment due to suspended sediment in the runoff from the gravel pit.

The slopes above the subject property extend to the height of land of a ridge on the west flank of Bastion Mountain that separates the White Creek and Farrell Creek drainages. Several dry swales and small draws originate on the slopes below the ridge (see Figure 2). The draw of the unnamed stream that is shown on the regional watershed mapping originates within this area. A second dry draw originates to the south of the subject property and merges with the mapped draw before diminishing above the road that accesses the terrain above the gravel pit. A more pronounced draw originates above the subject property and heads along the northern boundary of the property. The draw diminishes prior to reaching the development on the lower slopes of the hillside.

The largest draw features a 50-55% gradient and steep gradient slopes (up to 90% for 15m) were noted on the sidewalls. The sidewalls were generally rock controlled and no indicators of potential slope instability apart from minor erosion and weathering of bedrock exposures were noted. All of the draws are glacial meltwater features that no longer convey significant runoff. No alluvial channels are developed within the draws. The draws extend down into the property and converge approximately 270m upslope of the present extents of the gravel pit. Below the area of confluence a single broad draw extends down along the southern property line, broadening out and decreasing to a gradient of less than 20%. The draws may host runoff and small erosional event following a large stand replacing wildfire but under present conditions surface runoff and significant sediment movement are not expected. Additionally, any events that initiate following a disturbance event would runout in the upper portion of the property well upslope of the present gravel pit operation.

Within the upper portion of the property the draws are crossed by several trails constructed during timber harvesting on the property. The trail construction resulted in minor fill in the base of several of the draws. Evidence of minor erosion was noted during the field review but the trail fill is not resulting in significant diversion of surface flows in the draws. It appears that the draws experienced minor runoff in the recent freshet period.

The draws originating upslope of the property do not presently conduct significant surface flows. Within this region of BC draws similar to those found on this property that are formed by glacial meltwater generally do not experience significant runoff or debris flow/debris flood events under normal conditions. However, following disturbances such as large wildfire events, draws such as these can host runoff and mass wasting events if the fire results in loss of the canopy and vegetative mat and the development of hydrophobic soils. Large scale disturbance of the contributing slopes to these draws by a wildfire could lead to increased rates of runoff and surface erosion. This is a result of the loss of the stand canopy which reduces the rate of rainfall interception, the loss of the upper soil organic layer making the soils more susceptible to erosion and the possible development of hydrophobic soils which reduces the rates of soil infiltration. These three factors result in increased runoff and increased rates of soil erosion resulting in increased runoff and sediment loading. Increased rates of runoff and surface erosion can lead to landslide events on the gully sidewalls further contributing to the sediment load and the initiation of debris flows or debris floods. Wildfires within this biogeoclimatic zone in southwestern BC have a return period of 100 to 200 years. The frequency of mass wasting events following a disturbance such as a wildfire are also dependent on the occurrence of a rainfall event of an intensity and duration sufficient to induce significant runoff, surface erosion and resultant mass wasting events.

4.0 Landslide Hazard Assessment

The MoTI suggests “where life-threatening catastrophic events are identified as a potential natural hazard to a building lot, the Qualified Professional is to consider events having a probability of occurrence of 1 in 10,000 years and is to identify areas beyond the influence of these extreme events.” In this case, a life-threatening event is defined as a landslide event that would runout to a building site or surrounding area on one of the proposed lots of the subdivision to cause significant damage to a house and potentially result in death or deaths of individual(s) in the structure. A review of the property and surrounding area concludes that there does not appear to be any

natural slopes steep enough or any other existing conditions (alluvial fans or active gullies) within or upslope of the property to warrant a concern for a life-threatening catastrophic landslide hazard. **Therefore, the results of our assessment conclude that a life-threatening catastrophic natural hazard warranting an assessment of the 1:10,000 year event is not foreseeable with the present lot layout for this property.** The only significant steep slopes identified are those within the current excavation of the gravel pit. This area is contained within an active mine permit area and is discussed below with respect to minimizing the risk presented by a damaging landslide.

4.1 Lot 1

4.1.1 Discussion

Proposed Lot 1 is located in the northwest corner of the property and is bound by private land to the north, proposed Remainder Lot 1 to the east and south, and Ford Road to the west. Lot 1 currently contains a salt shed that is planned to be removed following approval of the subdivision. It is our understanding that the proposed lot will be used as a commercial property for log home manufacturing and no permanent residential structures will be built on the property. A well has recently been installed on Lot 1 to service the proposed operations.

Lot 1 is currently accessed by Gates 2 and 3. Gate 3 provides access to the salt shed, while Gate 2 provides access to the lower pit. The ditchline of Ford Road flows under Gate 2 via a plugged and partially crushed 500mm diameter culvert to a crushed 400mm diameter culvert under Gate 3. Gate 3 is proposed to be decommissioned and the existing crushed 400mm diameter culvert will be removed and Gate 2 will be the only access to the proposed lot. Significant erosion and sediment deposition was observed in the ditchline and is likely the result of the lack of drainage measures in the gravel pit area within the property. A drainage ditch is present around the north and west side of the salt shed to drain water away from the structure and carry it down to Ford Road.

Terrain within Lot 1 features flat to gentle terrain in the northwest corner of the lot where the salt shed is currently located. The terrain to the south and east of the salt shed area leading to the lower pit contains an approximately 7m tall slope with a gradient of 65%. An access road is present extending from the east side of the salt shed to the lower pit. Terrain within the lower pit is generally flat; however, an approximately 5m tall mound of placed material and concrete waste is present in the centre of the lower pit.

It is our understanding that the property owners plan to remove the salt shed and fill in the area that contains the shed to create a 1% gradient slope extending up from Ford Road to the back of the proposed lot. The steep excavated slopes around Lot 1 will be sloped back to 67%, equivalent to a 1.5H:1V slope. A drainage swale will be constructed along the northern and southern property lines to drain surface flows to the ditchline of Ford Road. Additionally, a small ridge will be constructed along the northern property line to create a noise buffer.

Surficial materials observed within the gravel pit operations on the lot consisted of well drained gravelly sand to sand and gravel glaciofluvial material. Bedrock was not observed on the proposed lot, but was observed on the hillside upslope of the property. Evidence of surface flows or shallow subsurface flows was not observed on the proposed lot.

4.1.2 Results

Risk of a Damaging Event on the Property

The MoTI suggests that “when considering damaging events only, unless otherwise specified, a probability of occurrence of 1 in 475 years (10% probability in 50 years) for individual landslide hazards should be used as a minimum standard.” In this case, a damaging event is defined as a landslide event that would run out to or impact business operations on proposed Lot 1 of the subdivision to cause significant damage to a structure.

Proposed Lot 1 contains generally flat to gentle gradient terrain with steep gradient slopes contained within the current excavations used for gravel pit operations. It is our understanding that the gravel excavation operations

within the lot will cease and the lot will be used to manufacture log homes. It is also our understanding that the property owners intend to fill in the area containing the salt shed excavate the terrain within Lot 1 so as to create a 1% slope extending up from Ford Road into the proposed lot. Additionally, the slopes immediately surrounding Lot 1 will be sloped back to an angle no steeper than 1.5H:1V and two drainage swales will be constructed along the northern and southern boundaries to prevent drainage from the gravel operations above from draining into the proposed lot. **The likelihood or probability of a landslide event occurring on the proposed lot is estimated as very low given that the site preparations are completed as described above. This is equivalent to an annual probability of a specific hazardous landslide of <1:2500.**

Proposed Lot 1 is situated at least 300m downslope of the area where the upslope draws converge and the gradient drops to less than 20%. There is no potential for a runoff or mass wasting event that descends the draws following a major disturbance to reach proposed Lot 1.

As a result of these factors, the hazard of a damaging landslide event initiating within or running out to proposed Lot 1 is less than the 1:475 level of landslide safety suggested by the MOTI.

4.1.3 Recommendations

No recommendations concerning landslide hazard mitigation are suggested for Proposed Lot 1 of the proposed subdivision given that the following assumptions are completed:

1. All slopes bordering Proposed Lot 1 will be sloped back to an angle no steeper than 1.5H:1V.
2. The salt shed is removed and the area is filled in to create a 1% slope extending from Ford Road to the back of the property.
3. Drainage swales will be constructed along the northern and southern property lines to drain surface runoff towards the ditchline of Ford Road.

4.2 Remainder Lot 1

4.2.1 Discussion

Proposed Remainder Lot 1 is an irregular shaped lot bound by the Turner gravel pit on the adjacent property to the north as well as proposed Lot 1 to the north, crown land to the east, the Lessard gravel pit on the adjacent property to the south, and Ford Road to the west. Remainder Lot 1 does not currently contain any structures, but is used as an active gravel pit that will remain functional following subdivision approval.

Remainder Lot 1 will be accessed by Gate 1 in the southeast corner of the property. The ditchline of Ford Road follows along the western boundary of the property. A newer, partially plugged 400mm diameter culvert carries ditch flows under Gate 1 to a partially plugged 600mm diameter culvert that carries ditch flows under Ford Road and into a small swale on the property west of Ford Road. Significant erosion and sediment deposition was observed in the ditchline and is likely the result of the lack of drainage measures in the gravel pit on the property.

Terrain within Remainder Lot 1 features flat to gentle terrain in the southwest corner of the lot. A small, flat bench is present along the western property line, presumably used for parking, and is separated from the flat to gentle gradient terrain within the property by an approximately 2.5m tall mound of placed material. The terrain is generally flat extending to the excavated face of the middle pit. The excavation is generally sloping at 70-80% with some steeper sections of 90-95% slope gradients and extends for approximately 10-12m to the upper pit. Material has been placed at the top of the excavation for the middle pit to prevent noise pollution from travelling into the valley from the gravel pit operations; however, tension cracks have developed along the edge. In the event that a landslide did occur, the event would consist of a small surficial slide that would deposit immediately below on the flat area within the middle pit.

Terrain at the base of the upper pit is generally flat extending to the excavated face which is sloping at a gradient of 160% for approximately 27m. Due to the lack of drainage or sediment control measures, runoff from the upper pit is flowing over the excavated face of the middle pit and depositing a slurry of material on the flat to gentle gradient terrain within the middle pit. Although the excavated slopes are over-steep, they are composed of relatively compact materials and do not appear to show any signs of instability.

The terrain on the hillside above the gravel pit generally contains 35-40% gradient slopes for approximately 200m and increases to 50% gradient slopes extending to the upper property line. Terrain above the property is described in section 3.0.

The terrain coming down into the property from the Turner gravel pit to the north features slope gradients of 120% to near vertical for 10 to 12m that decrease to 60% for 7 to 10m. The slope is composed of sandy glaciofluvial deposits with abundant cobbles.

It is our understanding that the terrain within the upper gravel pit will be sloped towards the north as to direct runoff from the upper gravel pit north to the swale constructed along the northern boundary of proposed Lot 1 and is to be carried to the ditchline of Ford Road. This will prevent runoff from flowing over the excavation of the middle pit and the deposition of sediment within the middle pit.

Surficial materials observed within the gravel pit operations on the lot consisted of a thick layer of gravelly silt overlying varying layers of sand, silt, and gravelly sand glaciofluvial material. These materials appear to be well drained. Evidence of surface flows or shallow subsurface flows was not observed on the proposed lot outside of the gravel pit area. Bedrock was not observed on the proposed lot, but was observed on the hillside upslope of the property.

4.2.2 Results

Risk of a Damaging Event on the Property

Proposed Remainder Lot 1 contains generally moderate to moderately steep gradient terrain with steep gradient slopes contained within the current excavations for gravel pit operations. It is our understanding that there are no proposed structures on Remainder Lot 1 and that the property will still be used as a gravel pit. It is also our understanding that a drainage swale will be constructed through the upper pit to drain runoff to the north to the swale around proposed Lot 1 to be carried down to the ditchline of Ford Road. In addition, the mining activities conducted on the property are regulated by Mines Act and must be in agreement with its terms.

Under present conditions the steep gradient slopes of the excavations within the middle and upper pit have a significantly elevated likelihood of a landslide that could impact future development on the lot. The likelihood or probability of a landslide event occurring is estimated as high. A **high likelihood** means that **a landslide is likely** over the lifespan of the proposed development. Quantitatively, the probability of a landslide is estimated as 1/20 to 1/100 annual probabilities. **As a result, the hazard of a damaging landslide event initiating within the active gravel extraction areas on Proposed Remainder Lot 1 under present conditions greater than the 1:475 level of landslide safety suggested by the MOTI.**

4.2.3 Recommendations

It is our understanding that no buildings are proposed on Remainder Lot 1 as part of the current subdivision plan; however, the following recommendations are made with the potential for future development in mind:

1. While the gravel pit is in operation a setback must be maintained from the top of the excavated face of the middle pit (see Figure 5). A 2H:1V line should be projected down from the slope crest. No development may occur upslope (east of) the set back until the excavated face is sloped back as indicated in recommendation 2 below.
2. Following completion of gravel pit operations within Remainder Lot 1, the excavated faces of the middle pit and the upper pit within Remainder Lot 1 must be sloped back to an angle no steeper

than 1.5H:1V. Once this recommendation has been completed, the setback detailed in recommendation 1 above is no longer applicable and development can occur up to the toe of the re-contoured slope.

3. The terrain within the upper pit must be sloped to the north to carry runoff from the upper pit to the swale around proposed Lot 1 in order to prevent runoff from flowing over the excavated face of the middle pit.

4.2.4 Results

Risk of a Damaging Event Upslope of the Property

As discussed in Section 3.0 in this region, draws such as those present above the assessed property do have the potential to host mass wasting events following a large stand replacing wildfire event. In the case of the assessed property and the relatively small contributing area to the draws the likelihood of a mass wasting event with the potential to runout to the property is estimated to be in the range of 1/200 to 1/500. This estimate is based on a return period of 1/150 for a stand replacing wildfire and the conditions to initiate an event in the years after the wildfire. Such an event would not be expected to be large (i.e. not greater than 200m³) and the runout would terminate either in the lower gradient reach of the draw near the upper property line or in an extreme case, down in the area where the draws confluence approximately 270m upslope of the present extents of the gravel pit. This area is well upslope of the recommended upslope limit for development suggested in recommendation 2 above and the likelihood of the event running out beyond this point is estimated as <0.1. **Therefore, the likelihood or probability of a hazardous landslide event occurring on the terrain upslope of proposed remainder Lot 1 and running out to and impacting developments on the lot is estimated as low to very low (i.e. 1/2000 to 1/5000 annual probability).**

As a result, the hazard of a damaging landslide event initiating on the terrain upslope of Proposed Remainder Lot 1 and running out to and impacting development on the lot is significantly less than the 1:475 level of landslide safety suggested by the MOTI and no further recommendations are required.

5.0 Closure

This assessment has been carried out in accordance with generally accepted geotechnical practices. Conclusions and recommendations presented herein are based on visual site inspections. Assessments of soils and slope stability are based on interpretation of surface features and limited sub-surface investigation; actual ground conditions may vary from those inferred.

Factual data and interpretation contained within this report were prepared specifically for 688490 BC Ltd. with whom Onsite Engineering Ltd. has entered a contract. The local government, provincial government or other approving agency may rely on the findings of this report; no other party may rely upon this report without the express written permission of OEL.

We trust that this report satisfies your present requirements. Should you have any questions or comments, please contact our office at your convenience.

Sincerely,

Onsite Engineering Ltd.

Prepared by:



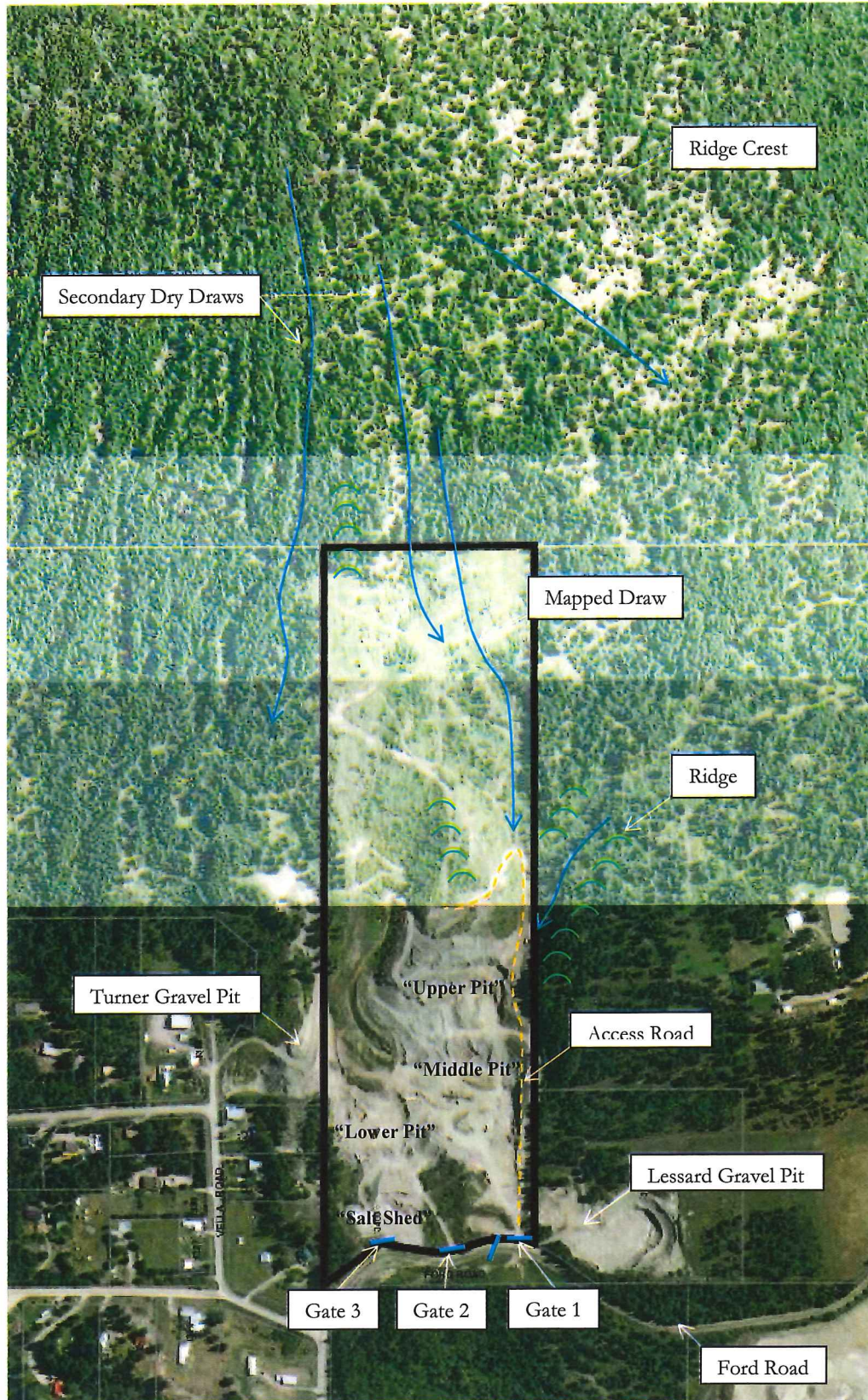
Larissa Laderoute, GIT
Junior Geoscientist



Rod Williams, P. Geo.
Senior Geoscientist



Figure 1 Location Key Map

**Figure 2: Detailed Site View**

688490 BC Ltd.
Landslide Hazard Assessment – 3453 Ford Road Subdivision

File: 1765-1
September 26, 2018

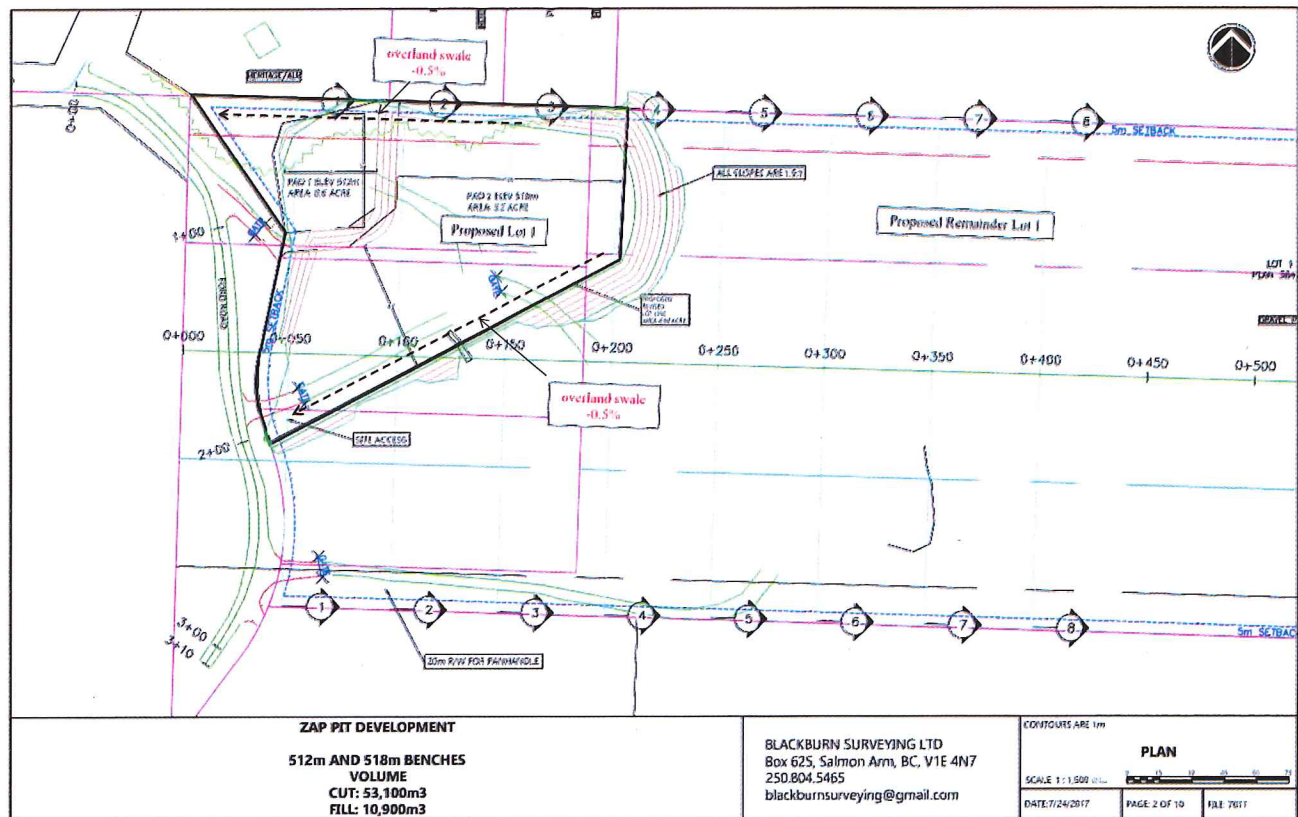


Figure 3 Proposed Lot Layout and proposed reclamation of proposed Lot 1.

688490 BC Ltd.
Landslide Hazard Assessment – 3453 Ford Road Subdivision

File: 1765-1
September 26, 2018



Figure 4 Aerial Imagery Site Plan of the subject property with contour and relative elevation data prepared by Rekon Solutions Inc. Note: The salt shed was remediated before this aerial image was recorded.

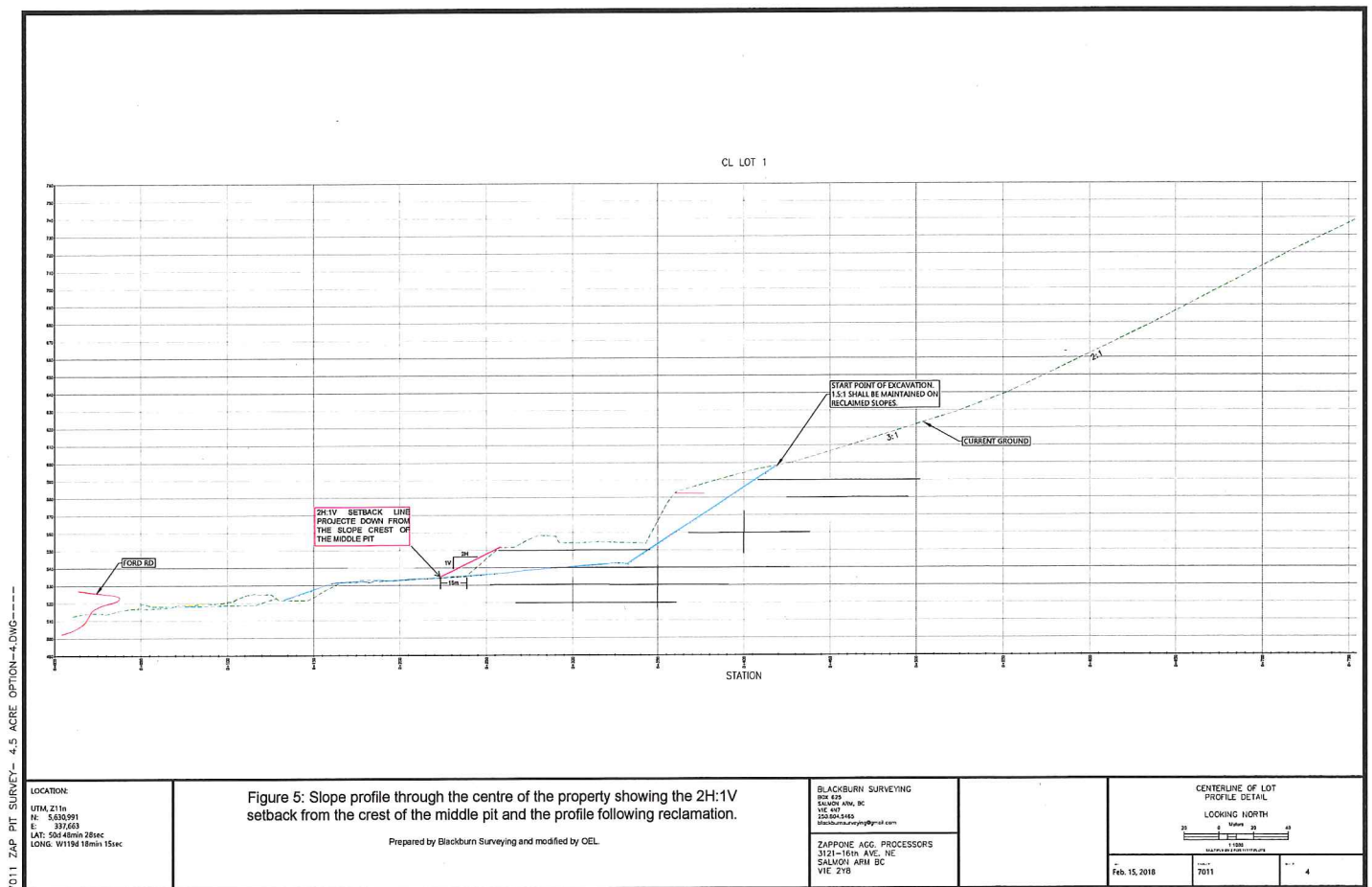




Photo 1 Gate 3 accessing the salt shed in the northwest corner of the property to be decommissioned, looking northwest.



Photo 2 Gate 2 accessing the lower pit in the central portion of the property, looking west.



Photo 3 Erosion from surface runoff on the access road at Gate 1, looking west.



Drainage ditch
around the salt shed

Photo 4 The salt shed on proposed Lot 1 and the access road from the salt shed to the lower pit, looking north.



Photo 5 The lower pit on proposed Lot 1, looking east. Note: The ground will be excavated to be level with the terrain within the salt shed and the slopes will be sloped back to 1:5V:1H.



Photo 6 Piled material within proposed Lot 1 to be removed and/or sloped back to 1.5V:1H, looking northeast.



Photo 7 Steep terrain extending down from adjacent gravel pit into proposed Remainder Lot 1.



Photo 8 Runoff down coming from the upper pit to the middle pit causing a slurry of deposition, looking east.



Photo 9 Excavated face of the upper gravel pit, looking north.



Photo 10 Broad, low gradient swale in the location of the mapped drainage feature, looking east.



Photo 11 Looking down the access road along the southern property line.



Photo 12 Gentle to moderately steep gradient terrain extending up the hillside along the northern property line, looking east.



Photo 13 Gentle to moderately steep gradient terrain extending up the hillside along the northern property line, looking east.



Photo 14 Uniform moderately steep gradient terrain along the upper property line.

APPENDIX D: LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Note: This Statement is to be read and completed in conjunction with the "APEGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia", March 2006/Revised September 2008 ("APEGBC Guidelines") and the "2006 BC Building Code (BCBC 2006)" and is to be provided for *landslide assessments* (not floods or flood controls) for the purposes of the Land Title Act, Community Charter or the Local Government Act. Italicized words are defined in the APEGBC Guidelines.

To: The Approving Authority

Date: September 26, 2018

Columbia Shuswap Regional District

555 Harbourfront Dr NE, Salmon Arm, BC, V1E 4P1

Jurisdiction and address

With reference to (check one):

- ☒ Land Title Act (Section 86) – Subdivision Approval
- ☐ Local Government Act (Sections 919.1 and 920) – Development Permit
- ☐ Community Charter (Section 56) – Building Permit
- ☐ Local Government Act (Section 910) – Flood Plain Bylaw Variance
- ☐ Local Government Act (Section 910) – Flood Plain Bylaw Exemption
- ☐ British Columbia Building Code 2006 sentences 4.1.8.16 (8) and 9.4 4.4.(2) (Refer to BC Building and Safety Policy Branch Information Bulletin B10-01 issued January 18, 2010)

For the Property:

Lot 1, Section 22, Township 21, Range 10, W6M, KDYD, Plan 38427; 3452 Ford Road, Tappen, BC

Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a *Qualified Professional* and is a *Professional Engineer* or *Professional Geoscientist*.

I have signed, sealed and dated, and thereby certified, the attached *landslide assessment* report on the Property in accordance with the *APEGBC Guidelines*. That report must be read in conjunction with this Statement. In preparing that report I have:

Check to the left of applicable items

- ☒ 1. Collected and reviewed appropriate background information
- ☒ 2. Reviewed the proposed *residential development* on the Property
- ☒ 3. Conducted field work on and, if required, beyond the Property
- ☒ 4. Reported on the results of the field work on and, if required, beyond the Property
- ☒ 5. Considered any changed conditions on and, if required, beyond the Property
- 6. For a *landslide hazard analysis* or *landslide risk analysis* I have:
 - ☒ 6.1 reviewed and characterized, if appropriate, any *landslide* that may affect the Property
 - ☒ 6.2 estimated the *landslide hazard*
 - ☒ 6.3 identified existing and anticipated future *elements at risk* on and, if required, beyond the Property
 - ☒ 6.4 estimated the potential *consequences* to those *elements at risk*
- 7. Where the Approving Authority has adopted a *level of landslide safety* I have:
 - ☐ 7.1 compared the *level of landslide safety* adopted by the Approving Authority with the findings of my investigation
 - ☐ 7.2 made a finding on the *level of landslide safety* on the Property based on the comparison
 - ☐ 7.3 made recommendations to reduce *landslide hazards* and/or *landslide risks*

- 8. Where the Approving Authority has **not** adopted a *level of landslide safety* I have:

- ☒ 8.1 described the method of *landslide hazard analysis* or *landslide risk analysis* used
- ☒ 8.2 referred to an appropriate and identified provincial, national or international guideline for *level of landslide safety*
- ☒ 8.3 compared this guideline with the findings of my investigation
- ☒ 8.4 made a finding on the *level of landslide safety* on the Property based on the comparison
- ☒ 8.5 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- ☒ 9. Reported on the requirements for future inspections of the Property and recommended who should conduct those inspections.

Based on my comparison between

Check one

- ☐ the findings from the investigation and the adopted *level of landslide safety* (item 7.2 above)
- ☒ the appropriate and identified provincial, national or international guideline for *level of landslide safety* (item 8.4 above)

I hereby give my assurance that, based on the conditions^[1] contained in the attached *landslide assessment* report,

Check one

- ☒ for *subdivision approval*, as required by the Land Title Act (Section 86), "that the land may be used safely for the use intended"

Check one

- ☒ with one or more recommended registered covenants.
- ☐ without any registered covenant.

- ☐ for a *development permit*, as required by the Local Government Act (Sections 919.1 and 920), my report will "assist the local government in determining what conditions or requirements under [Section 920] subsection (7.1) it will impose in the permit".
- ☐ for a *building permit*, as required by the Community Charter (Section 56), "the land may be used safely for the use intended"

Check one

- ☐ with one or more recommended registered covenants.
- ☐ without any registered covenant.

- ☐ for flood plain bylaw variance, as required by the "Flood Hazard Area Land Use Management Guidelines" associated with the Local Government Act (Section 910), "the development may occur safely".
- ☐ for flood plain bylaw exemption, as required by the Local Government Act (Section 910), "the land may be used safely for the use intended".

Rod Williams, P. Geo.
Name (print)

September 26, 2018
Date

Signature

^[1] When seismic slope stability assessments are involved, *level of landslide safety* is considered to be a "life safety" criteria as described in the National Building Code of Canada (NBCC 2005), Commentary on Design for Seismic Effects in the User's Guide, Structural Commentaries, Part 4 of Division B. This states:

"The primary objective of seismic design is to provide an acceptable level of safety for building occupants and the general public as the building responds to strong ground motion; in other words, to minimize loss of life. This implies that, although there will likely be extensive structural and non-structural damage, during the DGM (design ground motion), there is a reasonable degree of confidence that the building will not collapse nor will its attachments break off and fall on people near the building. This performance level is termed 'extensive damage' because, although the structure may be heavily damaged and may have lost a substantial amount of its initial strength and stiffness, it retains some margin of resistance against collapse".

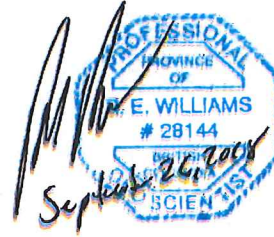
#201-231 Trans Canada Hwy; PO Box 2012

Address

Salmon Arm, BC, V1E 4R1

250-833-5643

Telephone



(Affix Professional seal here)

If the *Qualified Professional* is a member of a firm, complete the following.

I am a member of the firm Onsite Engineering Ltd.
and I sign this letter on behalf of the firm.

(Print name of firm)

July 27, 2018

WWAL Project: 18-030-01

Mike and Rhonda Zappone
 c/o 688480 BC Ltd.
 3121 – 16th Avenue
 Salmon Arm, B.C. V1E 2Y8

**Re: Evaluation of Water Quantity and Quality in support of a Proposed 2-Lot Subdivision,
 PID 008-096-937, Tappen, B.C.**

Western Water Associates Ltd. (WWAL) is pleased to provide this hydrogeological assessment for a groundwater source in support of a pending application for a 2-lot subdivision located in the Ford Road area, Tappen, B.C, within Electoral Area “C” of the Columbia Shuswap Regional District (CSRD). The purpose of this study is to verify that the proposed groundwater source meets the requirements of the CSRD Subdivision Servicing Bylaw #641 regarding quantity and year-round availability of groundwater. The address of the subject property is:

- Legal Address: L 1 Sec 22 TP 21 R 10 W of the 6th Meridian Kamloops Division Yale District PL 38427; PID: 008-096-937
- Civic Address: 3453 Ford Road, Tappen, BC V0E 2X2

PROJECT BACKGROUND

It is our understanding that an application for a proposed two lot subdivision (one new lot and a remainder) has been submitted to the CSRD. The property is currently 18.3 hectares and operated as a gravel pit. We also understand that the proposed subdivision would create a 2 hectare lot in the northwest corner of the site.

The property is currently zoned Medium Holdings, which has a minimum lot size of 8 hectares. Based on the documentation reviewed, a portion of the property will have to be rezoned to allow for a 2 hectare lot to be created and rezoning must occur before the subdivision application will be considered by the CSRD. Figure 1 illustrates the general location of the property, and Figure 2 displays the proposed subdivision layout.

REGULATORY REQUIREMENTS

The CSRD Subdivision Bylaw 641 (“the Bylaw”) requires proof of adequate onsite water supply as part of the subdivision permit process. There are two approaches outlined in the Bylaw: the owner-directed approach and the professional-directed approach. In this case, the CSRD requested that the professional-directed approach be followed for the subject property.

Key components of the Bylaw include:

- Section 8.8 of the Bylaw states that for each parcel, the groundwater source must be capable of sustainably providing 2,275 litres per day (0.42 US gpm) of water year-round. Testing to demonstrate sustainable well yield must be performed, and an assessment of well recovery and the potential for interference with nearby wells must be conducted.

- Well testing and subsequent reporting is to be carried out under the supervision of Professional Geoscientist or Engineer.
- Section 8.4 of the Bylaw requires that all groundwater sources must be located on the parcel which they will serve.
- Sections 8.11 through 8.13 outline documentation requirements requested by the CSRD, including information on the type and location of water sources and the location of potential contamination sources.
- Raw groundwater quality must be assessed and evaluated against the Guidelines for Canadian Drinking Water Quality. Where raw groundwater is found to be not potable, a Section 219 Covenant must be registered against the property, and a treatment system may need to be implemented to make the water potable.
- Section 8.1 of the Bylaw exempts lots with pre-existing dwelling units and onsite water sources from quantity and quality testing.

Schedule B of the Bylaw contains guidelines for the assessment and demonstration of water quality and quantity which were generally followed.

SITE PHYSIOGRAPHY AND GEOLOGY

The subject property is located on Ford Road, east of Trans-Canada Highway (Highway 1), approximately 3 km northeast of Tappen, B.C. The western portion of the property, where gravel pit operations are currently taking place, is moderately sloped towards the west. The eastern portion is composed predominately of forested, undeveloped land and is more steeply sloped than the western portion of the property. Elevations on the property range from approximately 768 m above sea level (m-asl) in the northeast corner to 506 m-asl in the northwest corner. A small residential subdivision is present to the north of the site. A mix of agricultural and industrial properties are present to the west and south of the site. Lands to the east are forested and undeveloped.

Hydrologic features in the area include a small tributary that is mapped on BC Water Resources Atlas as crossing the property from east to west, although surface water features were not directly observed at the site. This tributary is mapped as flowing to the western side of Highway 1 where it joins with White Creek, which subsequently flows to the south and discharges into Shuswap Lake at Tappen Bay, approximately 3.5 km from the site. WWAL completed an assessment of the reported small tributary within the context of the Riparian Areas Regulation (RAR) and found that the RAR was not applicable (WWAL 2018).

Bedrock in the area is mapped as sedimentary rocks of the Mount Ida Assemblage, which consist of mudstone, siltstone, limestone and shale. These rocks are reported as Cambrian to Silurian in age (408 to 570 million years before present) and are also a part of the Omenica metamorphic belt (ENV 2018).

Surficial geology in this area has been mapped as discontinuous benches of glacial drift and older deposits. The origin of these deposits is undetermined and may be the result of glacial and/or erosional events. (Fulton, Berti and Smith, 1963-1965)

HYDROGEOLOGIC SETTING AND NEARBY WELLS

The project site is located in the Monashee mountain region and within the South Thompson River watershed. The 1981-2010 climate normal data for the Salmon Arm Airport (Station ID: 1166R45; Environment Canada, 2018) indicates 653 mm of average annual precipitation.

Provincially mapped Aquifer 231IIC (the Sunnybrae Aquifer) is located beneath the project site. This sand and gravel aquifer is confined by a layer composed of clay and/or sandy clay with silty sand interbeds and has an average thickness of 68 m. Aquifer 231 is characterized as having moderate demand, moderate productivity and, due to the thick confining layer, low vulnerability to surface contamination. Flowing artesian conditions have been noted in records for several wells near Shuswap lake.

A search of the B.C. Water Resources Atlas (ENV, 2018) indicates ten wells are located within 250 m of the proposed new lot location. Information on these wells is contained in Table 1 and the location of the subject well and the nearby wells are shown in Figure 2. Nine of the eleven nearby wells are completed in an unconsolidated aquifer, and two are completed in bedrock.

Table 1. Select details for wells near the subject property

Well Tag Number (WTN)	Static Water Level (ft)	Well Depth (ft)	Aquifer Lithology	Construction Date	Reported Well Yield (US gpm)
39672	60	120	Bedrock	1978	15
37680	78	111	Sand	1977	3
39829	85	105	Sand & Gravel	1978	5
58167	-	200	Bedrock	1988	-
58099	-	220	Gravel	1988	60
39147	70	128	-	1978	8
31549	-	163	Sand & Gravel	1974	4
33697	80	203	Gravel	1975	4
32927	-	92	Sand & Gravel	1975	4
97314	208	334	Gravel	2009	5

WELL CONSTRUCTION AND TEST PUMPING

The well installed on proposed Lot 1 was drilled by Aqua Source Drilling of Vernon, B.C. (Qualified Well Driller WD 05081001) between April 2 and 10, 2018. The well was initially completed in an unconsolidated, sand and gravel unit. A well screen size of 0.050 of an inch (i.e. 50 slot) was selected and the screen was installed between 52.7 and 54.1 m (173 ft and 177.5 ft).

Under the supervision of WWAL, a 24-hour pumping test was completed on April 26 and 27, 2018 by Monashee Aquifer Testing (WD No. 05112301) using a temporary submersible pump powered by a generator. Pumping rates were verified by a flow meter and water depth measurements were collected regularly using an electric sounder, with the most frequent readings occurring early in the test and again at the beginning of recovery. The test was initially run at 0.3 L/s (5 US gpm), upped to 0.6 L/s (10 US gpm) after 20 minutes and returned to 0.3 L/s (5 US gpm) after 4 hours. Towards the end of the test, WWAL collected a water quality sample for comprehensive

July 27, 2018

Zappone Well Assessment

4

18-030-01

potability testing and submitted the samples in an ice filled cooler under chain of custody documentation to CARO Analytical Services (CARO) of Kelowna, B.C.

At the completion of the test, a total drawdown of 7.05 m (23.1 ft) was noted, with little to no recovery observed in the well two hours after the test. The test results indicated the sand and gravel material in which the well was screened was likely of limited areal extent, and possibly an isolated perched aquifer with limited recharge. As a result, the decision to deepen the well into bedrock was made. We note that WWAL returned to the site approximately 3 weeks after the April 26-27 pumping test and measured water levels in the well, at which time water levels had almost fully recovered. This result could be in part due to water pumped from the well infiltrating and returning to the aquifer, or in part due to recharge by two heavy precipitation events that occurred in the intervening weeks. In either event, the fact that the aquifer recovered indicates that the sand and gravel aquifer at the site is unconfined and recharged by infiltration locally.

Aqua Source Drilling returned to the site in May 2018 to deepen the well. Bedrock was encountered at 71 m-bgs (233 ft) and the well was drilled to a total depth of 91 m-bgs (300 ft-bgs). As completed, the well complies with the requirements of the *Groundwater Protection Regulation* including an annular surface seal, an adequate casing stick-up height, and appropriate capping and flood protection. At the conclusion of drilling, Aqua Source affixed steel Well ID Plate # 50347 to the well casing.

On June 4, 2018, Monashee Aquifer Testing returned to the site to complete a second 24-hour pumping test at a rate of 0.2 L/s (3 US gpm) on WPN 50347. In the days immediately prior to the pumping test, approximately 5 mm of rain fell. Water level data from the second pumping test are attached in Table A1 and plotted hydrographs of the data are presented in Figures A1 and A2. After an initial decrease of approximately 0.06 m (0.2 ft), water levels quickly stabilized in the well. A few minor fluctuations in water levels were observed throughout the test that were likely the result of flow adjustments and/or barometric pressure influences. A second water quality sample was collected towards the end of the test and submitted to the laboratory for analysis. At the conclusion of pumping, a total of drawdown of 0.2 m (0.4 ft) was observed and the water level recovered to above the initial static measurement within seven minutes.

Short and Long-Term Well Yield Assessment

In keeping with industry standards, WWAL typically calculates the long-term sustainable yield of a well based on the guidelines published by the province for evaluating long-term well capacity for a Certificate of Public Convenience and Necessity (CPCN Guidelines, Allen et al., 1999). The procedure involves projecting the drawdown trend measured in the well to a theoretical 100-day pumping duration and applying a 30% safety factor. Using a semi-logarithmic plot of the time versus the drawdown level, an extrapolation of the drawdown trend is made during the latter part of the tests (Figure A3).

In cases where pumping water levels stabilize during testing, the CPCN formula cannot be applied as intended. Since this is the case for this site, the subject well is rated at its test pumping rate of 3 US gpm, which surpasses the CSRD Bylaw requirement of 0.42 US gpm. The aquifer's response to pumping indicates that higher pumping rates from the well may be possible (the well drillers estimated a yield of 75 US gpm, which is quite high for a bedrock well). If the well is intended to be pumped at rates higher than those used for this assessment, additional testing should be carried out to confirm a suitable pumping rate.

Seasonal Water Level Variations

The Ministry of Environment does not maintain a monitoring well in the Tappen area, therefore direct observation of groundwater level variation in the bedrock aquifer is not available. Based on our experience with bedrock well installations located in lower elevation settings (i.e. not in mountainous terrain), a yearly water level variation on the order of 2 – 4 m is expected in response to seasonal changes in recharge. Annual high-water levels are likely to occur in May and June with lows in late winter. Although this testing program was carried out during inferred higher than average groundwater levels, over 14 m of drawdown was available¹ at the beginning of the test and the response to pumping was such that a decrease of one or even several metres in static water level will not hinder the well's ability to meet CSRD Bylaw requirements.

Potential for Well Interference

Well interference, where significant enough, can be a limiting factor to well yield. Groundwater development in the area is relatively low, and there are only two bedrock wells reported within 250 m of the site, both of which appear to be for domestic use (Figure 2). The potential for well interference is considered low due to the low density of wells in the area and the apparent productivity of the local bedrock aquifer source.

WATER QUALITY ASSESSMENT

For water quality assessment, WWAL defines the term potability as water which is pure enough and of sufficient quality to be consumed or used with low risk of immediate or long-term harm. With respect to evaluation against the Guidelines for Canadian Drinking Water Quality (GCDWQ – Health Canada 20118), potable water meets all health-based Maximum Allowable Concentrations (MAC). In samples where parameters are found to exceed only Aesthetic Objectives (AO), the water is considered to be potable but treatment may be desired to address taste or odor concerns.

All water testing was completed by CARO Analytical Services, in Kelowna, B.C., a CALA accredited laboratory. Table 2 below provides a summary of the water quality results compared to applicable water quality guidelines. Complete laboratory reports are provided as an attachment.

The water quality results from the well are good, and all parameters are within health-based MAC guidelines. Aesthetically, iron was detected at a concentration that exceeds AO guidelines. Iron is one of the most common elements in the earth's crust and its presence in groundwater is typically attributed to the weathering of rocks and minerals. At concentrations greater than 0.3 mg/L, iron is of capable staining plumbing fixtures, producing an unpalatable taste and generating an objectionable red-brown colour in water (Health Canada, 2018). Turbidity was detected at levels that exceed operational guidelines for water treatment systems. Although elevated turbidity does not directly pose a health risk, high particle content in water can harbor microorganisms and contain heavy metals (Health Canada, 2018).

With regard to water quality and private well water treatment, this is the homeowner's responsibility as the Ministry of Health does not regulate private water sources. Commercial home water treatment systems are readily-available and, when properly maintained and operated, treatment systems are capable of reducing

¹ Available drawdown in this well is the difference between the static water level and the bottom of the steel casing as installed (233 ft below ground). The bedrock borehole below the steel casing was not lined, and pump installation below 233 ft is not recommended. Additional available drawdown could be obtained by lining the lower part of the borehole and installing a pump at greater depth.

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concentrations to below guideline levels. For private wells, selection, operation and maintenance of such systems are the homeowner's responsibility. Additional water quality testing is typically required both prior to treatment system installation and after installation, with the initial sampling results used as a guide for designing the system.

Table 2. Groundwater Quality Summary WPN 50347

Field Parameter	Units	June 5, 2018	GCDWQ
pH (field/lab)	pH units	6.9/7.69	AO = 6.5 – 10.5
Conductivity (field/lab)	us/cm	695/754	n/a
Turbidity (field/lab)	NTU	3.90/4.03	OG < 1
General Parameters and Nutrients			
Total Dissolved Solids	mg/L	464	AO < 500
Hardness	mg/L	416	n/a
Alkalinity, CaCO ₃ (total)	mg/L	312	n/a
Fluoride	mg/L	0.15	MAC = 1.5
Nitrate, N	mg/L	<0.010	MAC = 10
Nitrite, N	mg/L	<0.010	MAC = 1
Chloride	mg/L	1.35	AO < 250
Sulfate	mg/L	116	AO < 500
Selected Total Ions and Metals			
Aluminum	mg/L	0.0959	AO < 0.1
Antimony	mg/L	<0.00020	MAC = 0.006
Arsenic	mg/L	<0.00050	MAC = 0.01
Barium	mg/L	0.0378	MAC = 1
Boron	mg/L	<0.0050	MAC = 5
Cadmium	mg/L	0.000043	MAC = 0.005
Chromium	mg/L	<0.00050	MAC = 0.05
Copper	mg/L	0.00698	AO < 1
Iron	mg/L	0.416	AO < 0.30
Lead	mg/L	0.00045	MAC = 0.01
Manganese	mg/L	0.0340	AO < 0.05
Selenium	mg/L	<0.00050	MAC = 0.01
Sodium	mg/L	9.51	AO < 200
Uranium	mg/L	0.00271	MAC = 0.02
Zinc	mg/L	0.0100	AO < 5
Bacteriological Parameters			
Total Coliforms	CFU/100mL	< 1	MAC < 1
E. Coli	CFU/100mL	<1	MAC < 1

Notes:

1. GCDWQ = Guidelines for Canadian Drinking Water Quality (Health Canada, 2018)
2. Green shaded values indicate exceedances of Aesthetic Objective (AO) or Operational Guideline (OG)

POTENTIAL GROUNDWATER DEVELOPMENT ON PROPOSED REMAINDER LOT

At present, Covenant X201400 is registered on the title of the subject property that “prohibits construction or location of any residential dwelling or mobile home until such time as an onsite water supply is provided meeting the standards of the subdivision servicing bylaw”. It is our understanding that the proponent is planning to apply for a Development Variance Permit to waive the proof of water requirements for the proposed Remainder lot, or potentially transfer the existing covenant to the Remainder lot. The Remainder lot is currently operated as a gravel pit and, as such, does not require a source of water at this time. Should future development of the Remainder lot necessitate a water source, it is our opinion that a viable groundwater well, capable of meeting all CSRD requirements, can be constructed within the boundaries of the Remainder.

CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our assessment we offer the following conclusions:

- C1** Our assessment of groundwater availability (i.e. quantity) is favourable. WPN 50347 is capable of supplying the CSRD Bylaw 641, Section 8.8 quantity requirement of providing 0.42 USgpm (2,275 liters per day). Our conclusion takes into account the potential for well interference with nearby wells, as well as seasonal fluctuations in groundwater levels.
- C2** Evaluation of the water quality sample collected indicates that raw water is of good quality and all health-based guidelines were met. Iron concentrations were detected at levels that exceed aesthetic guidelines and elevated levels of turbidity were observed. Treatments options to address both of these concerns are readily available.
- C3** If future modifications to the Remainder require the development of an additional water source, it is our opinion that it is feasible to construct a well on the remainder that would be capable of meeting CSRD subdivision bylaw requirements. It is our opinion that it would be reasonable to establish a new covenant or transfer the existing no building covenant to the Remainder lot until such time a water source on the Remainder is needed.

Based on the above conclusions, the following recommendations are made:

- R1** We recommend that all private well owners check their water quality periodically to ensure water they are consuming complies remains safe. WWAL recommends yearly water samples be collected and analyzed. Confirming and ensuring water potability is the responsibility of the well owner.
- R2** At present, inground septic disposal has not been installed on either lot. Should this change in the future, septic systems should be located a minimum of 30 m from any well.
- R3** The subject well has steel casing that extends to the bedrock interface located at 233 ft below ground. An open bedrock borehole is present between 233 ft and 300 ft and has not been lined with a PVC liner. If a PVC liner is not installed, we recommend that the submersible pump installed in the well be installed no deeper than the depth of the steel casing.

R4 This assessment was completed to assess the subject well's ability to meet the CSRD quantity requirement. We understand that the proposed use of the well, which will supply water to a possible log home building operation, may include uses other than private domestic use. If the well is to be used for anything other than private domestic purposes, the well will require a new-use groundwater licence under the *Water Sustainability Act*.

WELL OWNER RESPONSIBILITIES

In November 2005, a new Groundwater Protection Regulation was enacted in British Columbia intended to improve the safety and quality of groundwater in the Province. This regulation was replaced by a new Groundwater Protection Regulation on 29 February 2016 (BC Reg 29/2016) and continues previously established standards to protect groundwater supplies by requiring all water wells in British Columbia be properly constructed, maintained and, at the end of their service, properly decommissioned. More specifically, all newly constructed and altered wells must meet minimum construction standards including incorporation of a surface annular seal, a minimum of 30 cm casing stickup [above existing or modified ground surface], appropriate drainage away from the well, and completion with a secure well cap plus well identification plate drilled, responsibility for the well transfers to the owner to maintain the casing stickup, surface drainage away from the well, secure cap and well identification plate. This also includes maintaining the surface annular seal, if a pitless adapter is installed. Part 3 of the regulation has requirements for siting wells. Most significantly, Part 10 requires that well construction reports for all new and altered water supply wells be submitted to the Province. Prior to 2016, submission of well reports was voluntary.

With regard to water quality and private well water treatment, as noted above, this is the homeowner's responsibility as the Ministry of Health does not regulate private water sources. Finally, Division 2 of the Groundwater Protection Regulation says that all work on the well must be undertaken by a qualified well driller (QWD) or qualified pump installer (QPI). Registered QPI and QWD have identification cards issued by the BC MFLNRO and a list of such qualified professionals is maintained on line by the MFLNRO at <http://www2.gov.bc.ca/gov/content/environment/air-land-water/water/groundwater-wells/information-for-well-drillers-well-pump-installers>

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CLOSURE

We trust that the professional opinions and advice presented in this document are sufficient for your current requirements. Please note that there are restrictions and limitations that apply to the scope of our services and conclusions provided herein, as outlined on the attached Pump Test Report Limitations page. Should you have any questions, or if we can be of further assistance in this matter, please contact the undersigned.

WESTERN WATER ASSOCIATES LTD.**Reviewed by:**

Paul Williamson, M.Sc., GIT
Hydrogeologist

Ryan Rhodes, P.Geo.
Senior Hydrogeologist

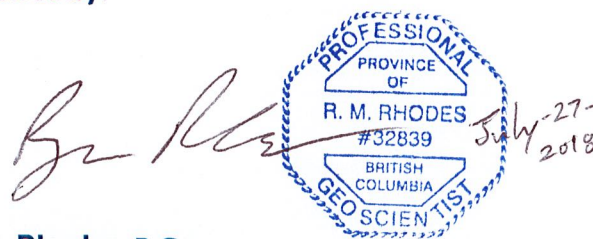
**Attachments:**

Figure 1: General Location of Project Site
 Figure 2: Detailed Site Orthophoto and Well Site
 Tables A1; Figures A1 and A2;
 Well Driller's Logs (For original and ultimate well completion)
 Laboratory WQ report

REFERENCES

Allen, D., A. Badry, B. Ingimundson, G. Wendling, B. Worobets, and N. Morrison. 1999. Evaluating long-term well capacity for a Certificate of Public Convenience and Necessity. Water Management Branch, B.C. Ministry of Environment, Land and Parks. Victoria.

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Fulton, R.J., Berti, R.R., Smith, G.W. 1963-1965. Surficial Geology – Shuswap Lake. Geological Survey Map 1391A

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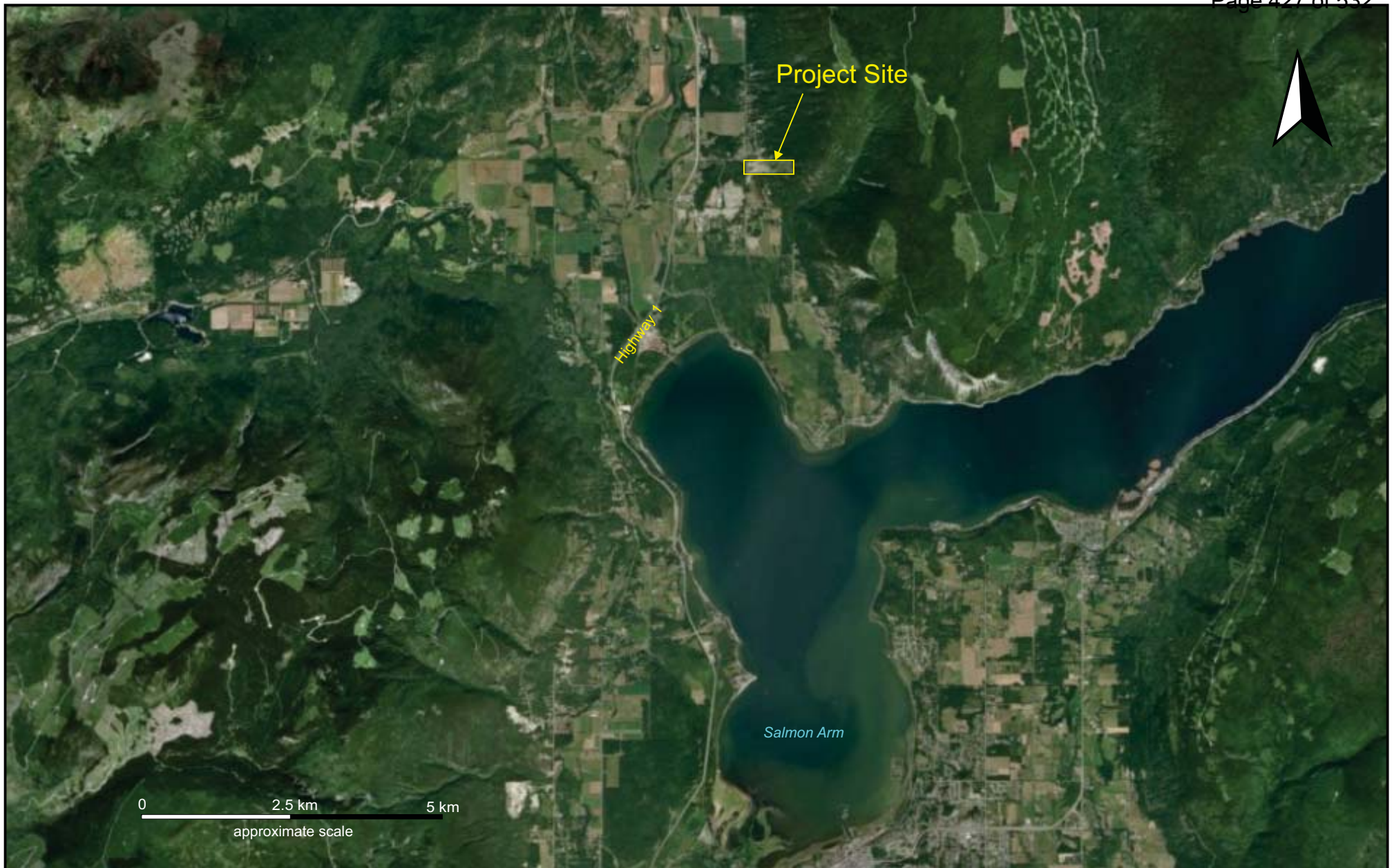


Figure 1 - General Location of Project Site

Date: July 2018

Image Source: Google Earth

WWAL Project: 18-030-01

Drawn by: RR

Checked by: DG

Client: Zaponne

Client Project:


western water
 ASSOCIATES LTD
 Consultants in Hydrogeology and Water Resources Management

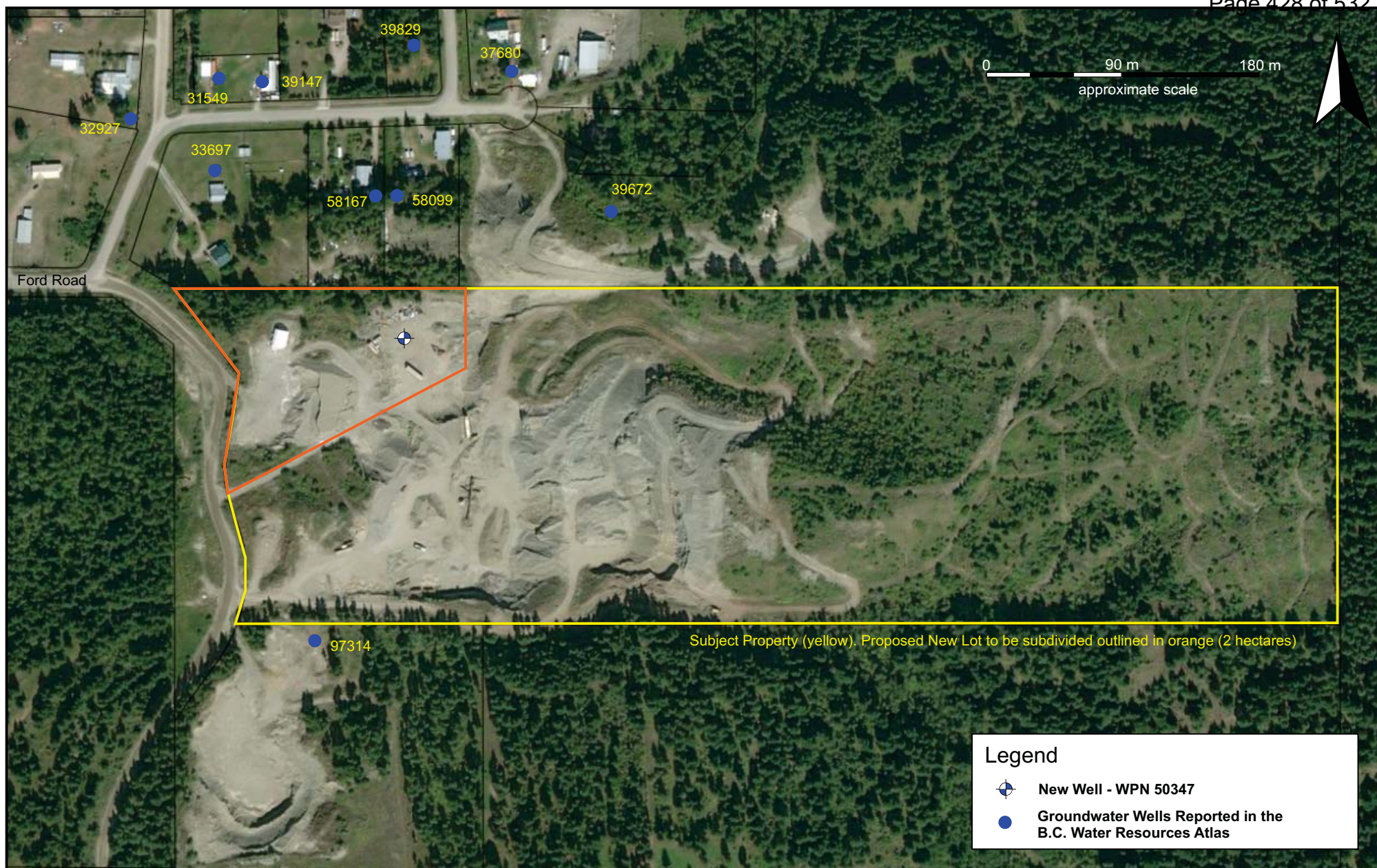


Figure 2 - Detailed Site Orthophoto and Well Site

Date: July 2018

Image Source: BC Water Resources Atlas

WWAL Project: 18-030-01

Drawn by: RR

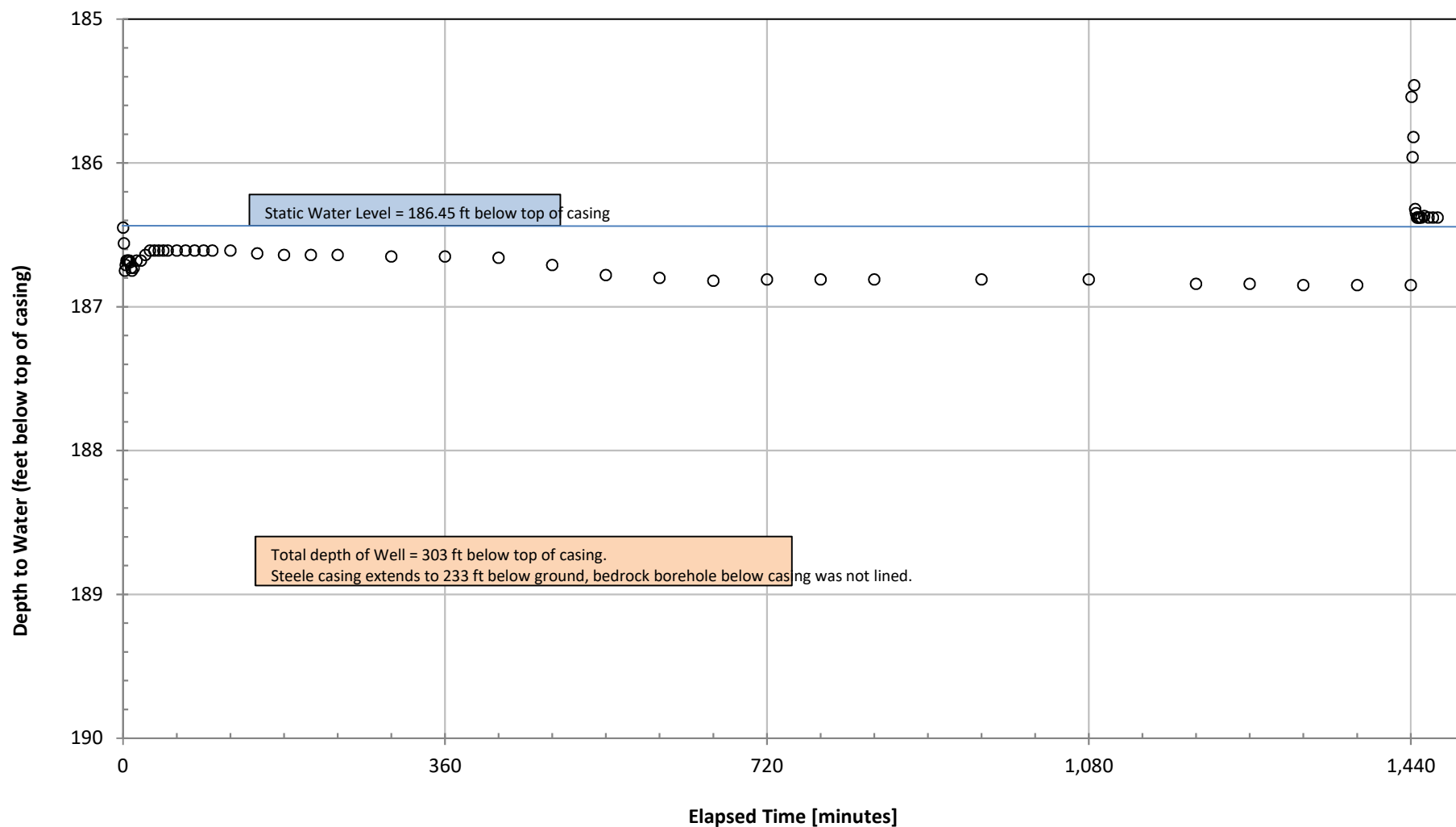
Checked by: DG

Client: Zaponne

Client Project:

Project No: 18-030-01, Table A1: Constant Rate Test - WPN 50347 - Zappone Well Assessment - Started June 4, 2018

Well depth = 300 ft		Well diameter = 6 in		Measurement method =		flowmeter	Pump Depth = 230 ft				
Comments	Real Time	Time since pump started, t (minutes)	Water level measurement (btoc) (m)	Water level measurement (btoc) (ft)	Water level changes (m)	Drawdown (ft)	Drawdown (m)	Pumping Rate (l/s)	Pumping Rate (USgpm)	Specific Capacity	
										L/s/m	Usgpm/ft
STATIC	June 4 10:00 AM	0.00	56.83	186.45	--	0.00	0.00	0.00	0	--	--
		1	56.86	186.56	0.03	0.11	0.03	0.19	3.0	5.6	27.3
		2	56.92	186.75	0.06	0.30	0.09	0.19	3.0	2.1	10.0
		3	56.91	186.71	-0.01	0.26	0.08	0.19	3.0	2.4	11.5
		4	56.90	186.68	-0.01	0.23	0.07	0.19	3.0	2.7	13.0
		5	56.90	186.68	0.00	0.23	0.07	0.19	3.0	2.7	13.0
		6	56.90	186.68	0.00	0.23	0.07	0.19	3.0	2.7	13.0
		7	56.90	186.68	0.00	0.23	0.07	0.19	3.0	2.7	13.0
		8	56.90	186.69	0.00	0.24	0.07	0.19	3.0	2.6	12.5
		9	56.91	186.73	0.01	0.28	0.09	0.19	3.0	2.2	10.7
		10	56.92	186.75	0.01	0.30	0.09	0.19	3.0	2.1	10.0
		12	56.91	186.73	-0.01	0.28	0.09	0.19	3.0	2.2	10.7
		15	56.90	186.68	-0.02	0.23	0.07	0.19	3.0	2.7	13.0
		20	56.90	186.68	0.00	0.23	0.07	0.19	3.0	2.7	13.0
		25	56.89	186.64	-0.01	0.19	0.06	0.19	3.0	3.3	15.8
		30	56.88	186.61	-0.01	0.16	0.05	0.19	3.0	3.9	18.7
		35	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		40	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		45	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		50	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		60	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		70	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		80	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		90	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		100	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		120	56.88	186.61	0.00	0.16	0.05	0.19	3.0	3.9	18.7
		150	56.88	186.63	0.01	0.18	0.05	0.19	3.0	3.5	16.7
		180	56.89	186.64	0.00	0.19	0.06	0.19	3.0	3.3	15.8
		210	56.89	186.64	0.00	0.19	0.06	0.19	3.0	3.3	15.8
		240	56.89	186.64	0.00	0.19	0.06	0.19	3.0	3.3	15.8
		300	56.89	186.65	0.00	0.20	0.06	0.19	3.0	3.1	15.0
		360	56.89	186.65	0.00	0.20	0.06	0.19	3.0	3.1	15.0
		420	56.89	186.66	0.00	0.21	0.06	0.19	3.0	3.0	14.3
		480	56.91	186.71	0.02	0.26	0.08	0.19	3.0	2.4	11.5
		540	56.93	186.78	0.02	0.33	0.10	0.19	3.0	1.9	9.1
		600	56.93	186.80	0.01	0.35	0.11	0.19	3.0	1.8	8.6
		660	56.94	186.82	0.01	0.37	0.11	0.19	3.0	1.7	8.1
		720	56.94	186.81	0.00	0.36	0.11	0.19	3.0	1.7	8.3
		780	56.94	186.81	0.00	0.36	0.11	0.19	3.0	1.7	8.3
		840	56.94	186.81	0.00	0.36	0.11	0.19	3.0	1.7	8.3
		960	56.94	186.81	0.00	0.36	0.11	0.19	3.0	1.7	8.3
		1080	56.94	186.81	0.00	0.36	0.11	0.19	3.0	1.7	8.3
		1200	56.95	186.84	0.01	0.39	0.12	0.19	3.0	1.6	7.7
		1260	56.95	186.84	0.00	0.39	0.12	0.19	3.0	1.6	7.7
		1320	56.95	186.85	0.00	0.40	0.12	0.19	3.0	1.6	7.5
		1380	56.95	186.85	0.00	0.40	0.12	0.19	3.0	1.6	7.5
		1440	56.95	186.85	0.00	0.40	0.12	0.19	3.0	1.6	7.5
Recovery		1441	56.55	185.54	-0.40	-0.91	-0.28	--	--	--	--
		1442	56.68	185.96	0.13	-0.49	-0.15	--	--	--	--
		1443	56.64	185.82	-0.04	-0.63	-0.19	--	--	--	--
		1444	56.53	185.46	-0.11	-0.99	-0.30	--	--	--	--
		1445	56.79	186.32	0.26	-0.13	-0.04	--	--	--	--
		1446	56.80	186.35	0.01	-0.10	-0.03	--	--	--	--
		1447	56.81	186.38	0.01	-0.07	-0.02	--	--	--	--
		1448	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1449	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1450	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1452	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1455	56.80	186.37	0.00	-0.08	-0.02	--	--	--	--
		1460	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1465	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--
		1470	56.81	186.38	0.00	-0.07	-0.02	--	--	--	--



Zappone Well Assessment
(WPN 50347)

TITLE

Figure A1 - Constant Rate Test Hydrograph, 3 US gpm



DRAWN PW

DATE June 4 - 5, 2018

JOB NO. 18-030-01

CHECKED RR

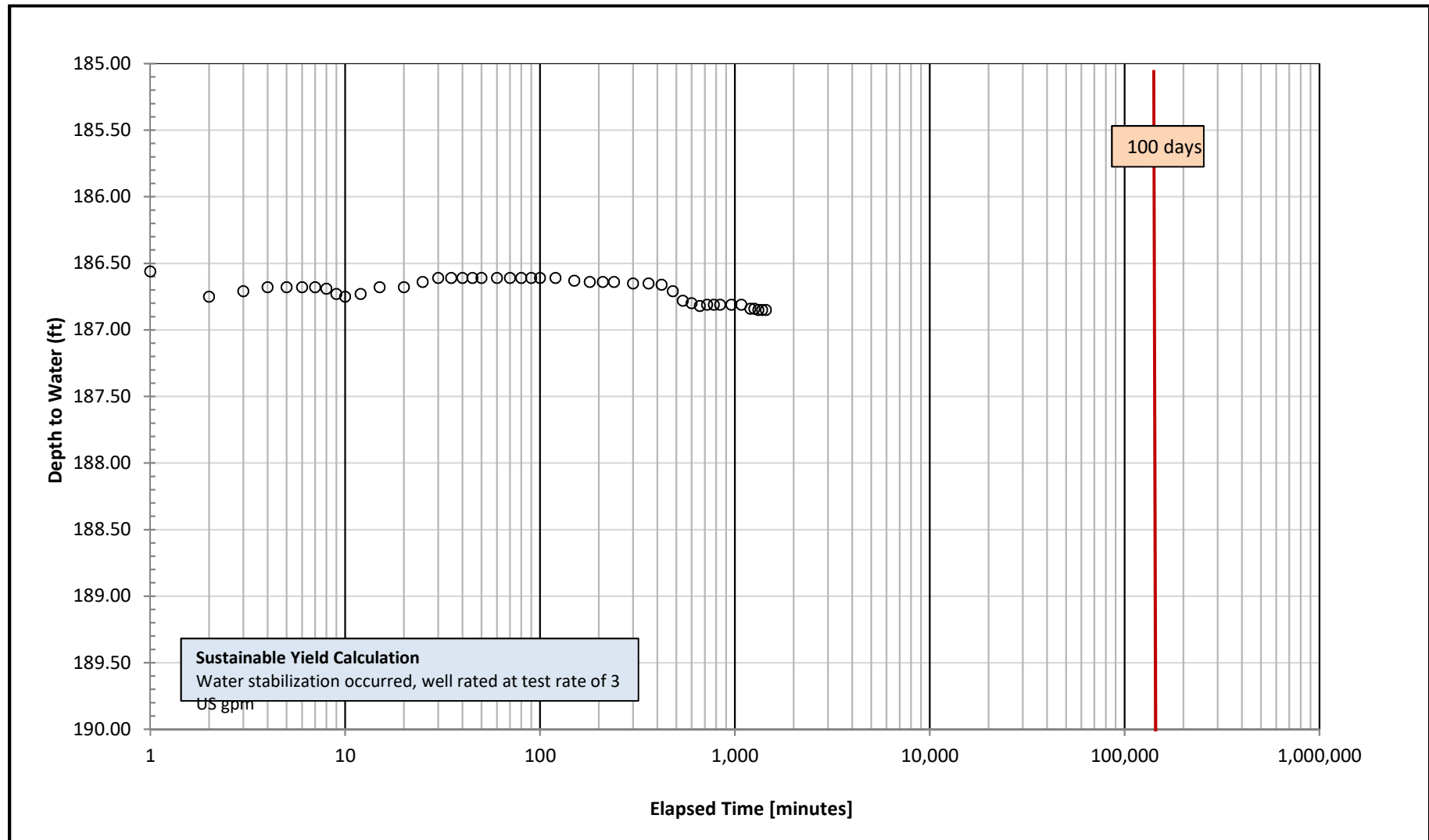
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DWG. NO. n/a

REVIEWED

FILE NO.

FIGURE NO. A1



Zappone Well Assessment
(WPN 50347)



TITLE

Figure A2 - Semi Log Plot - Constant Rate Pumping Test (3 US gpm)

DRAWN PW

DATE June 4 - 5, 2018

JOB NO. 18-030-01

CHECKED RR

SCALE n/a

DWG. NO. n/a

REVIEWED

FILE NO.

FIGURE NO. A2

CERTIFICATE OF ANALYSIS

REPORTED TO Western Water Associates Ltd
106 - 5145 26th Street
Vernon, BC V1T 8G4

ATTENTION Ryan Rhodes

PO NUMBER

PROJECT 18-030-01

PROJECT INFO

WORK ORDER 8060373

RECEIVED / TEMP 2018-06-05 14:45 / 7°C

REPORTED 2018-06-12 16:30

COC NUMBER B62383

Introduction:

CARO Analytical Services is a testing laboratory full of smart, engaged scientists driven to make the world a safer and healthier place. Through our clients' projects we become an essential element for a better world. We employ methods conducted in accordance with recognized professional standards using accepted testing methodologies and quality control efforts. CARO is accredited by the Canadian Association for Laboratories Accreditation (CALA) to ISO 17025:2005 for specific tests listed in the scope of accreditation approved by CALA.

Big Picture Sidekicks



You know that the sample you collected after snowshoeing to site, digging 5 meters, and racing to get it on a plane so you can submit it to the lab for time sensitive results needed to make important and expensive decisions (whew) is VERY important. We know that too.

We've Got Chemistry



It's simple. We figure the more you enjoy working with our fun and engaged team members; the more likely you are to give us continued opportunities to support you.

Ahead of the Curve



Through research, regulation knowledge, and instrumentation, we are your analytical centre for the technical knowledge you need, BEFORE you need it, so you can stay up to date and in the know.

If you have any questions or concerns, please contact me at jnobrega@caro.ca

Authorized By:

Jessica Nobrega, B.Sc.
Client Service Manager



1-888-311-8846 | www.caro.ca

#110 4011 Viking Way Richmond, BC V6V 2K9 | #102 3677 Highway 97N Kelowna, BC V1X 5C3 | 17225 109 Avenue Edmonton, AB T5S 1H7

TEST RESULTS

REPORTED TO Western Water Associates Ltd
PROJECT 18-030-01

WORK ORDER 8060373
REPORTED 2018-06-12 16:30

Analyte	Result	Guideline	RL Units	Analyzed	Qualifier
50347 (8060373-01) Matrix: Water Sampled: 2018-06-05 10:00					
Anions					
Chloride	1.35	AO ≤ 250	0.10 mg/L	2018-06-06	
Fluoride	0.15	MAC = 1.5	0.10 mg/L	2018-06-06	
Nitrate (as N)	< 0.010	MAC = 10	0.010 mg/L	2018-06-06	
Nitrite (as N)	< 0.010	MAC = 1	0.010 mg/L	2018-06-06	
Sulfate	116	AO ≤ 500	1.0 mg/L	2018-06-06	
General Parameters					
Alkalinity, Total (as CaCO ₃)	312	N/A	1.0 mg/L	2018-06-07	
Alkalinity, Phenolphthalein (as CaCO ₃)	< 1.0	N/A	1.0 mg/L	2018-06-07	
Alkalinity, Bicarbonate (as CaCO ₃)	312	N/A	1.0 mg/L	2018-06-07	
Alkalinity, Carbonate (as CaCO ₃)	< 1.0	N/A	1.0 mg/L	2018-06-07	
Alkalinity, Hydroxide (as CaCO ₃)	< 1.0	N/A	1.0 mg/L	2018-06-07	
Colour, True	< 5.0	AO ≤ 15	5.0 CU	2018-06-06	
Conductivity (EC)	754	N/A	2.0 µS/cm	2018-06-07	
Cyanide, Total	< 0.0020	MAC = 0.2	0.0020 mg/L	2018-06-07	
pH	7.69	7.0-10.5	0.10 pH units	2018-06-07	HT2
Temperature, at pH	23.9	N/A	°C	2018-06-07	HT2
Turbidity	4.03	OG < 1	0.10 NTU	2018-06-06	
Calculated Parameters					
Hardness, Total (as CaCO ₃)	416	None Required	0.500 mg/L	N/A	
Langelier Index	0.8	N/A	-5.0 -	2018-06-12	
Solids, Total Dissolved	464	AO ≤ 500	2.00 mg/L	N/A	
Total Metals					
Aluminum, total	0.0959	OG < 0.1	0.0050 mg/L	2018-06-10	
Antimony, total	< 0.00020	MAC = 0.006	0.00020 mg/L	2018-06-10	
Arsenic, total	< 0.00050	MAC = 0.01	0.00050 mg/L	2018-06-10	
Barium, total	0.0378	MAC = 1	0.0050 mg/L	2018-06-10	
Boron, total	< 0.0050	MAC = 5	0.0050 mg/L	2018-06-10	
Cadmium, total	0.000043	MAC = 0.005	0.000010 mg/L	2018-06-10	
Calcium, total	109	None Required	0.20 mg/L	2018-06-10	
Chromium, total	< 0.00050	MAC = 0.05	0.00050 mg/L	2018-06-10	
Cobalt, total	0.00030	N/A	0.00010 mg/L	2018-06-10	
Copper, total	0.00698	AO ≤ 1	0.00040 mg/L	2018-06-10	
Iron, total	0.416	AO ≤ 0.3	0.010 mg/L	2018-06-10	
Lead, total	0.00045	MAC = 0.01	0.00020 mg/L	2018-06-10	
Magnesium, total	35.1	None Required	0.010 mg/L	2018-06-10	
Manganese, total	0.0340	AO ≤ 0.05	0.00020 mg/L	2018-06-10	
Mercury, total	< 0.000040	MAC = 0.001	0.000040 mg/L	2018-06-10	CT5
Molybdenum, total	0.00116	N/A	0.00010 mg/L	2018-06-10	
Nickel, total	0.00093	N/A	0.00040 mg/L	2018-06-10	
Potassium, total	2.50	N/A	0.10 mg/L	2018-06-10	

TEST RESULTS

REPORTED TO PROJECT Western Water Associates Ltd
18-030-01

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Analyte	Result	Guideline	RL	Units	Analyzed	Qualifier
50347 (8060373-01) Matrix: Water Sampled: 2018-06-05 10:00, Continued						
Total Metals, Continued						
Selenium, total	< 0.00050	MAC = 0.05	0.00050	mg/L	2018-06-10	
Sodium, total	9.51	AO ≤ 200	0.10	mg/L	2018-06-10	
Strontium, total	3.60	N/A	0.0010	mg/L	2018-06-10	
Uranium, total	0.00271	MAC = 0.02	0.000020	mg/L	2018-06-10	
Zinc, total	0.0100	AO ≤ 5	0.0040	mg/L	2018-06-10	
Microbiological Parameters						
Coliforms, Total	< 1	MAC = 0	1	CFU/100 mL	2018-06-06	
Background Colonies	> 200	N/A	200	CFU/100 mL	2018-06-06	
E. coli	< 1	MAC = 0	1	CFU/100 mL	2018-06-06	

Sample Qualifiers:

CT5 This sample has been incorrectly preserved for Mercury analysis
HT2 The 15 minute recommended holding time (from sampling to analysis) has been exceeded - field analysis is recommended.

APPENDIX 1: SUPPORTING INFORMATION

REPORTED TO Western Water Associates Ltd
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Analysis Description	Method Ref.	Technique	Location
Alkalinity in Water	SM 2320 B* (2011)	Titration with H2SO4	Kelowna
Anions in Water	SM 4110 B (2011)	Ion Chromatography	Kelowna
Coliforms, Total in Water	SM 9222* (2006)	Membrane Filtration / Chromocult Agar	Kelowna
Colour, True in Water	SM 2120 C (2011)	Spectrophotometry (456 nm)	Kelowna
Conductivity in Water	SM 2510 B (2011)	Conductivity Meter	Kelowna
Cyanide, SAD in Water	ASTM D7511-12	Flow Injection with In-Line UV Digestion and Amperometry	Kelowna
E. coli in Water	SM 9222* (2006)	Membrane Filtration / Chromocult Agar	Kelowna
Hardness in Water	SM 2340 B* (2011)	Calculation: 2.497 [total Ca] + 4.118 [total Mg] (Est)	N/A
Langelier Index in Water	SM 2330 B (2010)	Calculation	N/A
pH in Water	SM 4500-H+ B (2011)	Electrometry	Kelowna
Solids, Total Dissolved in Water	SM 1030 E (2011)	Calculation: 100 x ([Cations]-[Anions])/([Cations]+[Anions])	N/A
Total Metals in Water	EPA 200.2* / EPA 6020B	HNO3+HCl Hot Block Digestion / Inductively Coupled Plasma-Mass Spectroscopy (ICP-MS)	Richmond
Turbidity in Water	SM 2130 B (2011)	Nephelometry	Kelowna

Note: An asterisk in the Method Reference indicates that the CARO method has been modified from the reference method

Glossary of Terms:

RL	Reporting Limit (default)
<	Less than the specified Reporting Limit (RL) - the actual RL may be higher than the default RL due to various factors
>	Greater than the specified Result
°C	Degrees Celcius
AO	Aesthetic Objective
CFU/100 mL	Colony Forming Units per 100 millilitres
CU	Colour Units (referenced against a platinum cobalt standard)
MAC	Maximum Acceptable Concentration (health based)
mg/L	Milligrams per litre
NTU	Nephelometric Turbidity Units
OG	Operational Guideline (treated water)
pH units	pH < 7 = acidic, pH > 7 = basic
µS/cm	Microsiemens per centimetre
ASTM	ASTM International Test Methods
EPA	United States Environmental Protection Agency Test Methods
SM	Standard Methods for the Examination of Water and Wastewater, American Public Health Association

General Comments:

The results in this report apply to the samples analyzed in accordance with the Chain of Custody document. This analytical report must be reproduced in its entirety. CARO is not responsible for any loss or damage resulting directly or indirectly from error or omission in the conduct of testing. Liability is limited to the cost of analysis. Samples will be disposed of 30 days after the test report has been issued unless otherwise agreed to in writing.

APPENDIX 2: QUALITY CONTROL RESULTS

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The following section displays the quality control (QC) data that is associated with your sample data. Groups of samples are prepared in "batches" and analyzed in conjunction with QC samples that ensure your data is of the highest quality. Common QC types include:

- **Method Blank (Blk):** A blank sample that undergoes sample processing identical to that carried out for the test samples. Method blank results are used to assess contamination from the laboratory environment and reagents.
- **Duplicate (Dup):** An additional or second portion of a randomly selected sample in the analytical run carried through the entire analytical process. Duplicates provide a measure of the analytical method's precision (reproducibility).
- **Blank Spike (BS):** A sample of known concentration which undergoes processing identical to that carried out for test samples, also referred to as a laboratory control sample (LCS). Blank spikes provide a measure of the analytical method's accuracy.
- **Matrix Spike (MS):** A second aliquot of sample is fortified with with a known concentration of target analytes and carried through the entire analytical process. Matrix spikes evaluate potential matrix effects that may affect the analyte recovery.
- **Reference Material (SRM):** A homogenous material of similar matrix to the samples, certified for the parameter(s) listed. Reference Materials ensure that the analytical process is adequate to achieve acceptable recoveries of the parameter(s) tested.

Each QC type is analyzed at a 5-10% frequency, i.e. one blank/duplicate/spike for every 10-20 samples. For all types of QC, the specified recovery (% Rec) and relative percent difference (RPD) limits are derived from long-term method performance averages and/or prescribed by the reference method.

Analyte	Result	RL Units	Spike Level	Source Result	% REC	REC Limit	% RPD	RPD Limit	Qualifier
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Anions, Batch B8F0421

Blank (B8F0421-BLK1)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Chloride	< 0.10	0.10 mg/L							
Fluoride	< 0.10	0.10 mg/L							
Nitrate (as N)	< 0.010	0.010 mg/L							
Nitrite (as N)	< 0.010	0.010 mg/L							
Sulfate	< 1.0	1.0 mg/L							

Blank (B8F0421-BLK2)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Chloride	< 0.10	0.10 mg/L							
Fluoride	< 0.10	0.10 mg/L							
Nitrate (as N)	< 0.010	0.010 mg/L							
Nitrite (as N)	< 0.010	0.010 mg/L							
Sulfate	< 1.0	1.0 mg/L							

LCS (B8F0421-BS1)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Chloride	16.3	0.10 mg/L	16.0		102	90-110			
Fluoride	3.95	0.10 mg/L	4.00		99	88-108			
Nitrate (as N)	4.10	0.010 mg/L	4.00		102	93-108			
Nitrite (as N)	2.10	0.010 mg/L	2.00		105	85-114			
Sulfate	16.1	1.0 mg/L	16.0		101	91-109			

LCS (B8F0421-BS2)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Chloride	16.1	0.10 mg/L	16.0		101	90-110			
Fluoride	3.93	0.10 mg/L	4.00		98	88-108			
Nitrate (as N)	4.11	0.010 mg/L	4.00		103	93-108			
Nitrite (as N)	2.10	0.010 mg/L	2.00		105	85-114			
Sulfate	16.2	1.0 mg/L	16.0		101	91-109			

General Parameters, Batch B8F0414

Blank (B8F0414-BLK1)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Turbidity	< 0.10	0.10 NTU							
Blank (B8F0414-BLK2)			Prepared: 2018-06-06, Analyzed: 2018-06-06						
Turbidity	< 0.10	0.10 NTU							

APPENDIX 2: QUALITY CONTROL RESULTS

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Analyte	Result	RL	Units	Spike Level	Source Result	% REC	REC Limit	% RPD	RPD Limit	Qualifier
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General Parameters, Batch B8F0414, Continued

LCS (B8F0414-BS1)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
Turbidity	38.6	0.10	NTU	40.0		96	90-110			
LCS (B8F0414-BS2)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
Turbidity	38.7	0.10	NTU	40.0		97	90-110			

General Parameters, Batch B8F0448

Blank (B8F0448-BLK1)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Cyanide, Total	< 0.0020	0.0020	mg/L							
LCS (B8F0448-BS1)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Cyanide, Total	0.0195	0.0020	mg/L	0.0200		98	82-120			
LCS Dup (B8F0448-BSD1)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Cyanide, Total	0.0200	0.0020	mg/L	0.0200		100	82-120	3	10	

General Parameters, Batch B8F0458

Blank (B8F0458-BLK1)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
Alkalinity, Total (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Phenolphthalein (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Bicarbonate (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Carbonate (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Hydroxide (as CaCO ₃)	< 1.0	1.0	mg/L							
Conductivity (EC)	< 2.0	2.0	µS/cm							
Blank (B8F0458-BLK2)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Alkalinity, Total (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Phenolphthalein (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Bicarbonate (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Carbonate (as CaCO ₃)	< 1.0	1.0	mg/L							
Alkalinity, Hydroxide (as CaCO ₃)	< 1.0	1.0	mg/L							
Conductivity (EC)	< 2.0	2.0	µS/cm							
LCS (B8F0458-BS1)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
Alkalinity, Total (as CaCO ₃)	101	1.0	mg/L	100		101	92-106			
LCS (B8F0458-BS2)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Alkalinity, Total (as CaCO ₃)	104	1.0	mg/L	100		104	92-106			
LCS (B8F0458-BS3)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
Conductivity (EC)	1380	2.0	µS/cm	1410		98	95-104			
LCS (B8F0458-BS4)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
Conductivity (EC)	1400	2.0	µS/cm	1410		100	95-104			
Reference (B8F0458-SRM1)				Prepared: 2018-06-06, Analyzed: 2018-06-06						
pH	7.02	0.10	pH units	7.01		100	98-102			
Reference (B8F0458-SRM2)				Prepared: 2018-06-07, Analyzed: 2018-06-07						
pH	7.02	0.10	pH units	7.01		100	98-102			

General Parameters, Batch B8F0468

APPENDIX 2: QUALITY CONTROL RESULTS

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Analyte	Result	RL Units	Spike Level	Source Result	% REC	REC Limit	% RPD	RPD Limit	Qualifier
General Parameters, Batch B8F0468, Continued									
Blank (B8F0468-BLK1)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Colour, True	< 5.0	5.0 CU							
LCS (B8F0468-BS1)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Colour, True	10	5.0 CU	10.0		102	85-115			
Microbiological Parameters, Batch B8F0392									
Blank (B8F0392-BLK1)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK2)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK3)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK4)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK5)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK6)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK7)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK8)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLK9)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKA)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKB)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKC)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKD)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							

APPENDIX 2: QUALITY CONTROL RESULTS

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Analyte	Result	RL Units	Spike Level	Source Result	% REC	REC Limit	% RPD	RPD Limit	Qualifier
Microbiological Parameters, Batch B8F0392, Continued									
Blank (B8F0392-BLKD), Continued				Prepared: 2018-06-06, Analyzed: 2018-06-06					
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKE)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKF)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKG)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							
Blank (B8F0392-BLKH)				Prepared: 2018-06-06, Analyzed: 2018-06-06					
Coliforms, Total	< 1	1 CFU/100 mL							
E. coli	< 1	1 CFU/100 mL							

Total Metals, Batch B8F0755

Blank (B8F0755-BLK1)				Prepared: 2018-06-09, Analyzed: 2018-06-10					
Aluminum, total	< 0.0050	0.0050 mg/L							
Antimony, total	< 0.00020	0.00020 mg/L							
Arsenic, total	< 0.00050	0.00050 mg/L							
Barium, total	< 0.0050	0.0050 mg/L							
Boron, total	< 0.0050	0.0050 mg/L							
Cadmium, total	< 0.000010	0.000010 mg/L							
Calcium, total	< 0.20	0.20 mg/L							
Chromium, total	< 0.00050	0.00050 mg/L							
Cobalt, total	< 0.00010	0.00010 mg/L							
Copper, total	< 0.00040	0.00040 mg/L							
Iron, total	< 0.010	0.010 mg/L							
Lead, total	< 0.00020	0.00020 mg/L							
Magnesium, total	< 0.010	0.010 mg/L							
Manganese, total	< 0.00020	0.00020 mg/L							
Mercury, total	< 0.000040	0.000040 mg/L							
Molybdenum, total	< 0.00010	0.00010 mg/L							
Nickel, total	< 0.00040	0.00040 mg/L							
Potassium, total	< 0.10	0.10 mg/L							
Selenium, total	< 0.00050	0.00050 mg/L							
Sodium, total	< 0.10	0.10 mg/L							
Strontium, total	< 0.0010	0.0010 mg/L							
Uranium, total	< 0.000020	0.000020 mg/L							
Zinc, total	< 0.0040	0.0040 mg/L							
LCS (B8F0755-BS1)				Prepared: 2018-06-09, Analyzed: 2018-06-10					
Aluminum, total	0.0218	0.0050 mg/L	0.0200		109	80-120			
Antimony, total	0.0222	0.00020 mg/L	0.0200		111	80-120			
Arsenic, total	0.0188	0.00050 mg/L	0.0200		94	80-120			
Barium, total	0.0201	0.0050 mg/L	0.0200		101	80-120			
Boron, total	0.0179	0.0050 mg/L	0.0200		89	80-120			
Cadmium, total	0.0197	0.000010 mg/L	0.0200		98	80-120			
Calcium, total	1.99	0.20 mg/L	2.00		100	80-120			
Chromium, total	0.0186	0.00050 mg/L	0.0200		93	80-120			
Cobalt, total	0.0190	0.00010 mg/L	0.0200		95	80-120			
Copper, total	0.0199	0.00040 mg/L	0.0200		100	80-120			

APPENDIX 2: QUALITY CONTROL RESULTS

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Analyte	Result	RL Units	Spike Level	Source Result	% REC	REC Limit	% RPD	RPD Limit	Qualifier
Total Metals, Batch B8F0755, Continued									
LCS (B8F0755-BS1), Continued					Prepared: 2018-06-09, Analyzed: 2018-06-10				
Iron, total	1.90	0.010 mg/L	2.00		95	80-120			
Lead, total	0.0205	0.00020 mg/L	0.0200		103	80-120			
Magnesium, total	2.09	0.010 mg/L	2.00		104	80-120			
Manganese, total	0.0183	0.00020 mg/L	0.0200		91	80-120			
Mercury, total	0.000851	0.000040 mg/L	0.00100		85	80-120			
Molybdenum, total	0.0190	0.00010 mg/L	0.0200		95	80-120			
Nickel, total	0.0187	0.00040 mg/L	0.0200		94	80-120			
Potassium, total	2.06	0.10 mg/L	2.00		103	80-120			
Selenium, total	0.0194	0.00050 mg/L	0.0200		97	80-120			
Sodium, total	2.08	0.10 mg/L	2.00		104	80-120			
Strontium, total	0.0192	0.0010 mg/L	0.0200		96	80-120			
Uranium, total	0.0237	0.000020 mg/L	0.0200		119	80-120			
Zinc, total	0.0198	0.0040 mg/L	0.0200		99	80-120			
Reference (B8F0755-SRM1)					Prepared: 2018-06-09, Analyzed: 2018-06-10				
Aluminum, total	0.313	0.0050 mg/L	0.303		103	82-114			
Antimony, total	0.0558	0.00020 mg/L	0.0511		109	88-115			
Arsenic, total	0.116	0.00050 mg/L	0.118		98	88-111			
Barium, total	0.829	0.0050 mg/L	0.823		101	83-110			
Boron, total	3.54	0.0050 mg/L	3.45		103	80-118			
Cadmium, total	0.0495	0.000010 mg/L	0.0495		100	90-110			
Calcium, total	11.8	0.20 mg/L	11.6		101	85-113			
Chromium, total	0.240	0.00050 mg/L	0.250		96	88-111			
Cobalt, total	0.0380	0.00010 mg/L	0.0377		101	90-114			
Copper, total	0.493	0.00040 mg/L	0.486		101	90-117			
Iron, total	0.494	0.010 mg/L	0.488		101	90-116			
Lead, total	0.212	0.00020 mg/L	0.204		104	90-110			
Magnesium, total	4.01	0.010 mg/L	3.79		106	88-116			
Manganese, total	0.107	0.00020 mg/L	0.109		98	88-108			
Mercury, total	0.00461	0.000040 mg/L	0.00489		94	80-120			
Molybdenum, total	0.199	0.00010 mg/L	0.198		101	88-110			
Nickel, total	0.240	0.00040 mg/L	0.249		96	90-112			
Potassium, total	7.69	0.10 mg/L	7.21		107	87-116			
Selenium, total	0.120	0.00050 mg/L	0.121		99	90-122			
Sodium, total	8.02	0.10 mg/L	7.54		106	86-118			
Strontium, total	0.375	0.0010 mg/L	0.375		100	86-110			
Uranium, total	0.0304	0.000020 mg/L	0.0306		99	88-112			
Zinc, total	2.40	0.0040 mg/L	2.49		96	90-113			

Western Water Associates Ltd. – Standard Disclaimer for Private Well Capacity Tests

Subject to the following conditions and limitations, Western Water Associates Ltd. (WWAL) conducted the investigation described in this report in a manner consistent with a reasonable level of care and skill normally exercised by members of the hydrogeology profession currently practicing under similar conditions in British Columbia.

1. The Scope of Work for the investigation has been limited by the budget set for the investigation in the work program. The scope of work completed has been reasonable having regard to that budget constraint.
2. The pumping test analysis results are solely intended to demonstrate private domestic well compliance with the water production requirements in the applicable Regional District or local government bylaw(s), and the test and water production results or findings may not be applicable at higher production rates.
3. The investigation described in this report has relied upon information provided by third parties concerning climate, local and regional geology, the history of well development, borehole stratigraphy, presence of aquifers, and existence of nearby wells as indicated by a search of the provincial databases. Except as stated in this report, we have not made an independent verification of third-party information.
4. The investigation documented in this report has been made in the context of existing government regulations and guidelines in effect as of the date of this report. Except as specifically noted herein, the investigation did not take into account any government regulations not in effect or promulgated as of the date of this report.
5. The findings and conclusions in this report are valid only for the specific property or properties and well or wells identified in the report; and may be considered current for a period of up to one year from the date of this report. Water quality sample results, if contained herein, unless stated otherwise herein, represent a single sample collected during the investigation and may or may not represent the long-term water quality produced by the well or wells, unless specifically commented on.
6. Well capacity, expressed as specific capacity or long-term sustainable yield, can change over time due to short and/or long-term climate fluctuations, changing conditions in the aquifer including the placement of more wells, and borehole or pumping system factors. It is the private well owner's responsibility to use water wisely, to periodically check the well and pump operation and engage water industry professionals at appropriate intervals in order to maintain reliable well production.
7. For more information on the responsibilities of private well owners, please visit the B.C. Ministry of Environment website at http://www.env.gov.bc.ca/wsd/plan_protect_sustain/groundwater/index.html

This report is intended for the exclusive use of Mike and Rhonda Zappone. It may not be used or relied upon in any manner whatsoever, or for any purpose whatsoever, by any other party. WWAL makes no representation of fact or opinion of any nature whatsoever to any person or entity other than Mike or Rhonda Zappone.

In accepting delivery of this report, Mike and Rhonda Zappone hereby agree that any and all claims which it may have against WWAL or any of its servants, agents, owners, or employees arising out of or in any way connected with the investigation described in this report or the preparation of this report, whether such claims are in contract or in tort, and whether such claims are based on negligence or otherwise, shall be limited to a total amount equal to the fees payable to WWAL under contract with Mike and Rhonda Zappone.



Groundwater Supply Development and Management

Source Water Assessment and Protection

Well Monitoring & Maintenance

Environmental & Water Quality Monitoring

Storm & Wastewater Disposal to Ground

Groundwater Modeling

Aquifer Test Design and Analysis

Geothermal / Geoexchange Systems

Policy and Guideline Development

Applied Research

Rural Subdivision Services

Environmental Assessment & Permitting

RHINO ENVIRONMENTAL SERVICES

Oscar Long.

Registered Onsite Wastewater Practitioner

2848 Schmid Road Sorrento B.C V0E 2W1



Cell 1-250-515-2619 Home Office 1-250-803-4623 email: rhinoenvironmental@hotmail.ca

Preamble

On Tuesday 13th of November, I attended the property of Mr. Mike Zappone to perform a site and soil assessment with the aim of providing suitable on- site waste water management options, for a land parcel which is over 18.26 Hectares. As the remainder parcel is over 2Hectares a site and soil assessment would be adequate to prove that a Type 1 trench based onsite wastewater system would be possible. This document is a summary of my findings.

Legal Description: Lot1, Section 22, TWP 21, Range 10, W6M, KDYLD, Plan38427.

Street address: 3453 Ford Road, Tappen, B.C

Owner: 688490 BC LTD, INC.NO. 688490

Owner Address: 3121 16th Avenue NE, Salmon Arm, BC, V1E 2Y8

This property encompasses 18.6 Hectares and has been mostly cleared and is currently operating as a gravel pit. The proposed subdivision encompasses 1.99 Hectares. During the site investigation, it was my aim to determine the most suitable area to design and install an on- site waste water system, taking into consideration the requirements set out in the Standard Practice Manual. The assessment consists of soil observation test pits, permeameter testing and visual observation in generality of the site. Test pit and permeameter summary shall be included this document for review. There is a well on the property and the critical setbacks to water are easily met. I chose this location to allow for a primary dispersal area and also a reserve dispersal area. This will support sustainable wastewater dispersal options, should this property be developed for residential use. This site did not exhibit any sign of groundwater. While I did not observe any seepage, I also did not observe gleyed soils or any strong redoxomorphic features in the soil horizons. Slope was also conducive to linear loading and therefore overall system contour length.

Rational For Design

The subdivision report criteria require that this dispersal system has enough area of infiltrative surface to accommodate flows from a 4 bedroom home with a minimum daily design flow of 1600 litres per day. There are no plans for the homeowner to install a Garburator (Installation of a Garburator will require a 50% larger septic tank, which represents significant cost increase to the installation of this system.)

I have come to the conclusion, that a Type 1 Trench gravity Distribution based Sewage Dispersal System would be an appropriate choice of technology for this site. Vertical separation within the soil profile is more than adequate for a Type One system >240cm. The restrictive layer is located at >2.8m depth. As the proposed on-site waste water system will be gravity based, I require that 24" of clean drain rock should be installed above the native soil to facilitate the positive interface of effluent with the soil Matrix. The reason for my choice is related mostly to lot soil type, (brunisollic soil type Gravelly Sand) and general topography (minimum 2% linear, slope type). My methods of practice are supported by utilization of the Kent-Watson Field Guide to Soil. The overall footprint of the dispersal area required shall be approximately 40m², which will provide adequate soil dispersal and address efficient oxygen flux.

The soils examined in this area of the property were found to be uniform in terms of structure and consistence. A total of 4 soil observation test pits were excavated for both the initial and reserve dispersal areas. I have assigned the same Hydraulic and Linear loading rates. Dispersal to this type of soil can be gravity based, as vertical separation exceeds the minimum standard as per Table II-14 SPM version 3.

1. It is my opinion that this type of system, as long as it is used within the design parameters, should have longevity and effectiveness for an extended period of time.
2. Hydraulic Loading Rate = 40 litres/meter²/Day
3. Daily Design Flow = 1600 litres / Day
4. Linear Loading Rate = 400 Litres/Day/meter

Area of infiltrative surface required = DDF/ HLR = 1600l/d÷40l/m²/d = **40 meters²**



Below are some images of the soil test pit profile



Image showing well setback 43 meters





Image showing strong blocky appearance in ped





Image showing gravelly sand exped.





Image showing strong blocky gravelly sand





Image showing a hand sample of this coarse granular soil





Image showing setback distance from well to soil test locations

If you require more information please do not hesitate to contact me by phone or e-mail.

Sincerely

Oscar Long R.O.W.P.

Declaration:

These plans and specifications are consistent with standard practice with regard to the Sewerage System Regulation and the Sewerage System Standard Practices Manual of the B.C. Ministry of Health. I have conducted a complete site evaluation and have exercised due diligence. I am a registered on-site practitioner authorized to plan and install onsite wastewater systems herein.



RHINO ENVIRONMENTAL SERVICES

Oscar Long.

Registered Onsite Wastewater Practitioner

2848 Schmid Road Sorrento B.C V0E 2W1

Cell 1-250-515-2619 Home Office 1-250-803-4623 email: rhinoenvironmental@hotmail.ca

Health Authority Initial Filing For Construction of Sewerage System:

Site investigation report, record of design and specifications for Subject Subdivision

Date: November 13th, 2018

Legal Description : Lot 1, Section22, Township 21, Range 10, W6M KDYLD, Plan 38427

Street Address: 3453 Ford Road, Tappen BC

Property Owner: 688490 B.C LTD. INC. NO 68849

Summary of Proposed Works: *(also see site plan attached)*

New onsite wastewater system to serve a 4 bedroom, @ up to 320m² residence(s)

Proposed wastewater system:

- daily design flow 1600L/day
- type 1 effluent residential strength
- 1200IG septic tank, 2 compartment with effluent filter
- gravity dispersal to 3 – 15m laterals, end feed so that each lateral section is 15m

Site Information:

Total parcel size: 1.99 Ha.

Potable Water Source: Onsite well >30 meters from onsite wastewater system

Proposed residence 4 bedroom, 320m² residence

Site/ Soil Evaluation: *see attached drawing for test pit locations*

Native Soil in area of proposed dispersal field:

Test pit #1

- 0 – 16" Gravelly sand with organics, brown, dry
- 16 – 23" Gravelly Sand, light brown, dry
- 23"- 96" Gravelly sand, dry,
roots, established

Test pit #2

- 0 – 8" Gravelly sand with organics, brown, dry
- 8 – 27" Gravelly Sand, light brown, dry
- 27"- 94" Gravelly coarse sand, dry
roots established



Test pit #3

- 0 – 12" Gravelly sand with organics, brown, dry
- 12 – 28" Gravelly Sand, light brown, dry
- 28" - 93" Gravelly sand, dry,
roots, established

Test pit #4

- 0 – 12" Gravelly sand with organics, brown, dry
- 12 – 30" Gravelly Sand, light brown, dry
- 30" - 99" Gravelly coarse sand, dry
roots established

☐ **Permeameter Test Summary**

- ☐ AH1 – KFS = 7225 mm/day
- ☐ AH2 - KFS = 7451 mm/day
- ☐ AH3 - KFS = 7431 mm/day
- ☐ AH4 - KFS = 7500 mm/day
- AH5 - KFS = 7621 mm/day
- AH6 - KFS = 7429 mm/day
- AH7 - KFS = 7500 mm/day
- AH8 - KFS = 7710 mm/day

**Limiting layer/design limit:**

Vertical separation will be designed from the design limit elevation selected at **240cm** based on the shallowest elevation of Gravelly Sand within the proposed dispersal area, as indicated by test pits.

Topography:

In vicinity of dispersal 1.5% falling North to South, ... remainder of lot generally level

Setbacks:

- No neighbouring wells
- No other breakout points within 15m.
- All other setbacks are also greater than required minimum SPM guidelines.

Constraints and design rationale:

- Overall site and soil constraints are minimal a sand blinding layer should be utilized to reduce the rate of vertical flow into soil
- Native soil depth above a restrictive layer of reduced permeability is from 240 cm to 280cm
- Gravity dispersal is selected.
- Proposed AIS of 40m².
- Vertical separation is maximum possible by at grade placement of trench dispersal

- Soil remediation will include scarification of native soil surface
- Resulting vertical separation will be greater than original native soil depth, approx. 270cm

Record of Design Information and Calculations:

Soil Type at Infiltrative Surface:

Receiving soil/infiltrative surface for this proposed system is native gravelly sand

(VS) Vertical separation:

Soil remediation will result in vertical separation slightly greater than original native soil depth, approx. **240cm** to 270cm, which meets the SPM standard of 90cm (36") VS for gravity dispersal.

(HLR) Hydraulic Loading Rate for Design: 40L/day/sq.m. for type 1 effluent to gravelly sand (SPM table ii 22)

Wastewater flow:

Typical residential "strength"

(DDF) Daily design flow: based on SPM table ii-8 4 bedroom residence with up to 330m²
= **1600L/day DDF**

(AIS) Calculation of minimum infiltrative surface: $1600/\text{day} \div 40\text{L}/\text{day}/\text{m}^2 = 40\text{m}^2$

(LLR) Linear loading proposed is 400 l/m/d

Configuration of Dispersal System:

selected trench width is **0.9m** for 3 laterals 1.8m apart.

Trench length is AIS/trench width, = **15m**



Specifications: see attached drawings

Trench Area:

- Remove sod with minimal excavation of underlying soil
- Scarify infiltrative surface
- Place washed drain rock at minimum of 60cm under laterals, 5cm (2") over the laterals
- Cover drain rock with Hydrophylic landscape cloth
- Place cover soil at minimum 15cm (6") depth, maximum 30cm (12")

Aggregates:

- Drain rock to be washed with minimal clay or silt and less than 1% passing the #200 sieve
- Cover soil to be loamy sand or sandy loam

Pipe:

- 4" sewer connections to be CSA
- 3" headers and laterals to be CSA
- End feed D box placement and headers...9 hole D box
- ensure accessibility to D box by appropriate service box

- 1.8m separation between laterals
- level placement of laterals to encourage even distribution... Cleanouts at end
- ensure 2% fall for 4" lines entering septic tank
- ensure 1% fall for effluent line from tank to D box and 1% for 3" headers from D box to laterals

Septic tank:

- 1250 IG 2 compartment
- install outflow effluent filter with handle extended to within 6" of access lid
- ensure easy access by installing risers as required to bring lids to slightly above surface grade

Miscellaneous specs

- Install all tanks on minimum of 5cm of bedding sand, level, consistent support, ...native backfill is OK for sides but with no cobbles or larger rock contacting tank walls, cover with sand
- Ensure easy access to tank lids for inspection and maintenance by installing risers to bring lids to slightly above finished surface
- Effluent filter handle extension to within 15 cm (6") of the access rims to avoid confined space entry issues.
- Ensure all piping is adequately bedded with sand, well supported
- ensure well supported, level placement of D box with careful leveling of flow by speed levelers. Confirm by water testing
- Do not alter structure of original soil in dispersal area, do not back trucks onto area, minimize loads/smearing/compaction, scarify shallow, do not install in wet conditions
- Establish appropriate vegetation cover of the dispersal field (grass)
- Protect the dispersal field and tanks from traffic, heavy loads, surface or sub surface flows of water

Declaration:

These plans and specifications are consistent with standard practice with regard to the Sewerage System Regulation and the Sewerage System Standard Practices Manual of the B.C. Ministry of Health. I have conducted a site evaluation and exercised due diligence. I am a registered on-site practitioner authorized to plan and install the system designed herein.



Septic system design/specifications 3453 Ford Road, Tappen BC4
of 5

RHINO ENVIRONMENTAL SERVICES

Oscar Long.

Registered Onsite Wastewater Practitioner

2848 Schmid Road Sorrento B.C V0E 2W1

Cell 1-250-515-2619 Home Office 1-250-803-4623 email: rhinoenvironmental@hotmail.ca

Health Authority Initial Filing For Construction of Sewerage System:

Site investigation report, record of design and specifications **for Remainder Parcel**

Date: November 13th, 2018

Legal Description : Lot 1, Section22, Township 21, Range 10, W6M KDYLD, Plan 38427

Street Address: 3453 Ford Road, Tappen BC

Property Owner: 688490 B.C LTD. INC. NO 68849

Summary of Proposed Works: *(also see site plan attached)*

New onsite wastewater system to serve a 4 bedroom, @ up to 320m² residence(s)

Proposed wastewater system:

- daily design flow 1600L/day
- type 1 effluent residential strength
- 1200IG septic tank, 2 compartment with effluent filter
- gravity dispersal to 3 – 15m laterals, end feed so that each lateral section is 15m

Site Information:

Total parcel size: 16.27 Ha.

Potable Water Source: Onsite well >30 meters from onsite wastewater system

Proposed residence 4 bedroom, 320m² residence

Site/ Soil Evaluation: *see attached drawing for test pit locations*

Native Soil in area of proposed dispersal field:

Test pit #1

- 0 – 10" Gravelly sand with organics, brown, dry
- 10 – 39" Gravelly Sand, light brown, dry
- 39" - 81" Gravelly sand, dry,
- No seepage

Test pit #2

- 0 – 9" Gravelly sand with organics, brown, dry
- 9 – 40" Gravelly Sand, light brown, dry
- 40" - 83" Gravelly coarse sand, dry
- minimal roots established



Test pit #3

- 0 – 5" Gravelly sand with organics, brown, dry
- 5 – 24" Gravelly Sand, light brown, dry
- 24" - 85" Gravelly sand, dry,
roots, established no seepage

Test pit #4

- 0 – 5" Gravelly sand with organics, brown, dry
- 5 – 25" Gravelly Sand, light brown, dry
- 25" - 84" Gravelly coarse sand, dry
roots established

☐ **Permeameter Test Summary**

- ☐ AH1 – KFS = 4741 mm/day
- ☐ AH2 - KFS = 4782 mm/day
- ☐ AH3 - KFS = 4611 mm/day
- ☐ AH4 - KFS = 4719 mm/day
- AH5 - KFS = 5284 mm/day
- AH6 - KFS = 5269 mm/day
- AH7 - KFS = 5199 mm/day
- AH8 - KFS = 5381 mm/day

**Limiting layer/design limit:**

Vertical separation will be designed from the design limit elevation selected at **210cm** based on the shallowest elevation of Gravelly Sand within the proposed dispersal area, as indicated by test pits.

Topography:

In vicinity of dispersal 1.5% falling North to South, ... remainder of lot generally level

Setbacks:

- No neighbouring wells
- No other breakout points within 15m.
- All other setbacks are also greater than required minimum SPM guidelines.

Constraints and design rationale:

- Overall site and soil constraints are minimal a sand blinding layer should be utilized to reduce the rate of vertical flow into soil
- Native soil depth above a restrictive layer of reduced permeability is from 210 cm to 240cm
- Gravity dispersal is selected.
- Proposed AIS of 40m².
- Vertical separation is maximum possible by at grade placement of trench dispersal

- Soil remediation will include scarification of native soil surface
- Resulting vertical separation will be greater than original native soil depth, approx. 270cm

Record of Design Information and Calculations:

Soil Type at Infiltrative Surface:

Receiving soil/infiltrative surface for this proposed system is native gravelly sand

(VS) Vertical separation:

Soil remediation will result in vertical separation slightly greater than original native soil depth, approx. **210cm** to 240cm, which meets the SPM standard of 90cm (36") VS for gravity dispersal.

(HLR) Hydraulic Loading Rate for Design: 40L/day/sq.m. for type 1 effluent to gravelly sand (SPM table ii 22)

Wastewater flow:

Typical residential "strength"

(DDF) Daily design flow: based on SPM table ii-8 4 bedroom residence with up to 330m²
= **1600L/day DDF**

(AIS) Calculation of minimum infiltrative surface: $1600/\text{day} \div 40\text{L}/\text{day}/\text{m}^2 = 40\text{m}^2$

(LLR) Linear loading proposed is 400 l/m/d

Configuration of Dispersal System:

selected trench width is **0.9m** for 3 laterals 1.8m apart.

Trench length is AIS/trench width, = **15m**



Specifications: see attached drawings

Trench Area:

- Remove sod with minimal excavation of underlying soil
- Scarify infiltrative surface
- Place washed drain rock at minimum of 60cm under laterals, 5cm (2") over the laterals
- Cover drain rock with Hydrophylic landscape cloth
- Place cover soil at minimum 15cm (6") depth, maximum 30cm (12")

Aggregates:

- Drain rock to be washed with minimal clay or silt and less than 1% passing the #200 sieve
- Cover soil to be loamy sand or sandy loam

Pipe:

- 4" sewer connections to be CSA
- 3" headers and laterals to be CSA
- End feed D box placement and headers...9 hole D box
- ensure accessibility to D box by appropriate service box

- 1.8m separation between laterals
- level placement of laterals to encourage even distribution...Cleanouts at end
- ensure 2% fall for 4" lines entering septic tank
- ensure 1% fall for effluent line from tank to D box and 1% for 3" headers from D box to laterals

Septic tank:

- 1250 IG 2 compartment
- install outflow effluent filter with handle extended to within 6" of access lid
- ensure easy access by installing risers as required to bring lids to slightly above surface grade

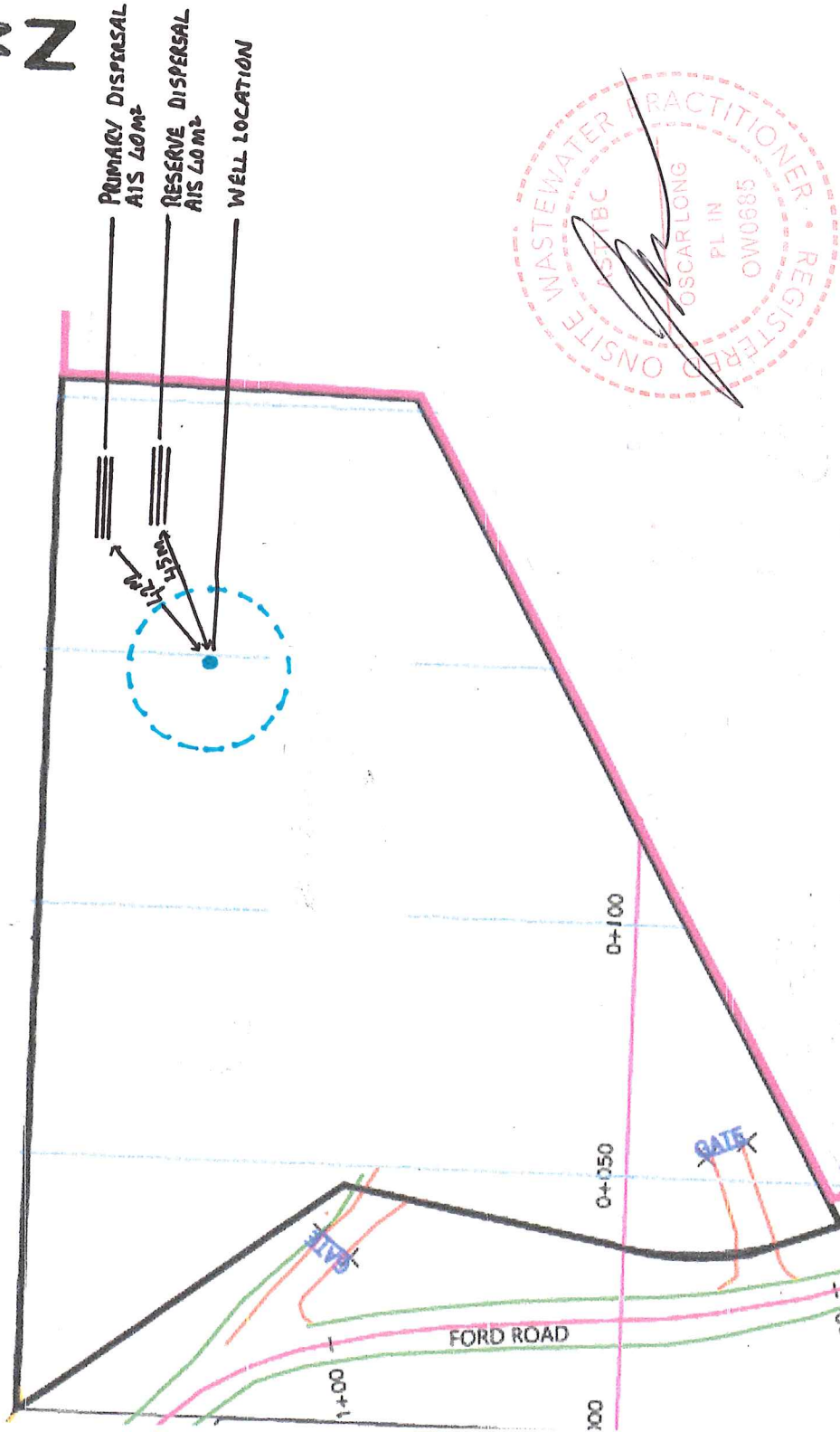
Miscellaneous specs

- Install all tanks on minimum of 5cm of bedding sand, level, consistent support, ...native backfill is OK for sides but with no cobbles or larger rock contacting tank walls, cover with sand
- Ensure easy access to tank lids for inspection and maintenance by installing risers to bring lids to slightly above finished surface
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- Ensure all piping is adequately bedded with sand, well supported
- ensure well supported, level placement of D box with careful leveling of flow by speed levelers. Confirm by water testing
- Do not alter structure of original soil in dispersal area, do not back trucks onto area, minimize loads/smearing/compaction, scarify shallow, do not install in wet conditions
- Establish appropriate vegetation cover of the dispersal field (grass)
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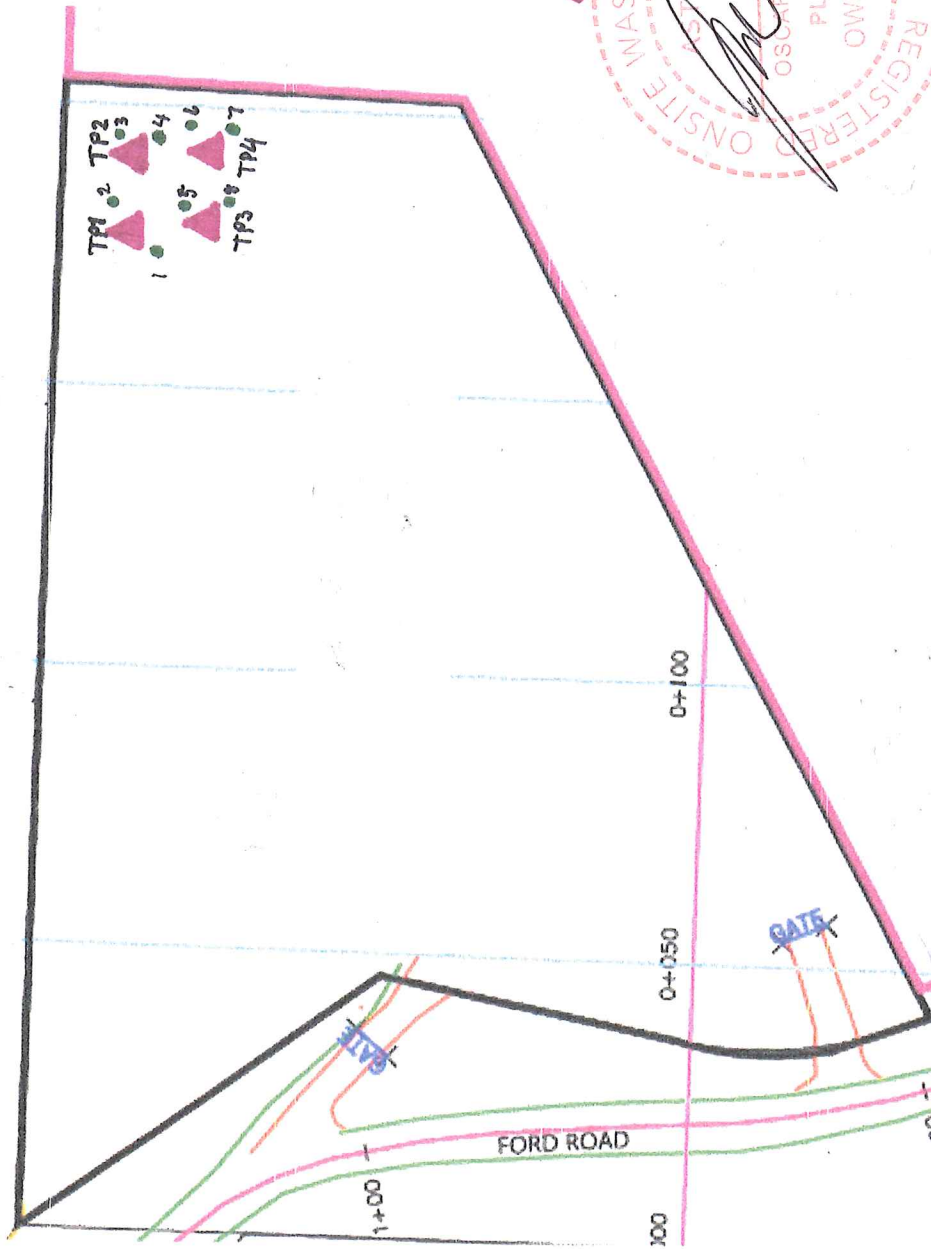
Declaration:

These plans and specifications are consistent with standard practice with regard to the Sewerage System Regulation and the Sewerage System Standard Practices Manual of the B.C. Ministry of Health. I have conducted a site evaluation and exercised due diligence. I am a registered on-site practitioner authorized to plan and install the system designed herein.

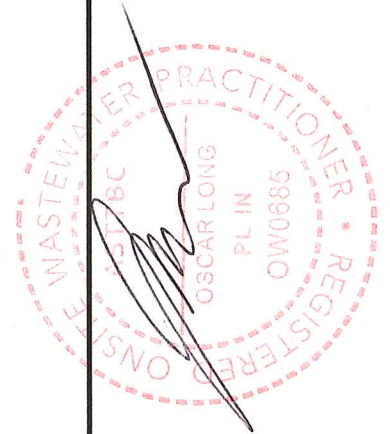




<p><u>Notes:</u> See construction detail documents for special notes.</p>	<p><u>Client:</u> Zappone</p> <p><u>Land Description:</u> Lot 1, Section 22, Township 21, Range 10, Plan Kap38427</p>	<p>RHINO ENVIRONMENTAL SERVICES</p> <p>Aspect: Plan View</p> <p>show PRIMARY AND SECONDARY DISPERSAL LOCATIONS</p> <p>Scale: 1:125</p>
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<p><u>Notes:</u> See construction detail documents for special notes.</p>	<p><u>Client:</u> Zappone <u>Land Description:</u> Lot 1, Section 22, Township 21, Range 10, Plan Kap38427</p>	<p>RHINO ENVIRONMENTAL SERVICES <u>Aspect:</u> Plan View show soil test pit locations and permeameter auger holes <u>Scale:</u> 1:125</p>
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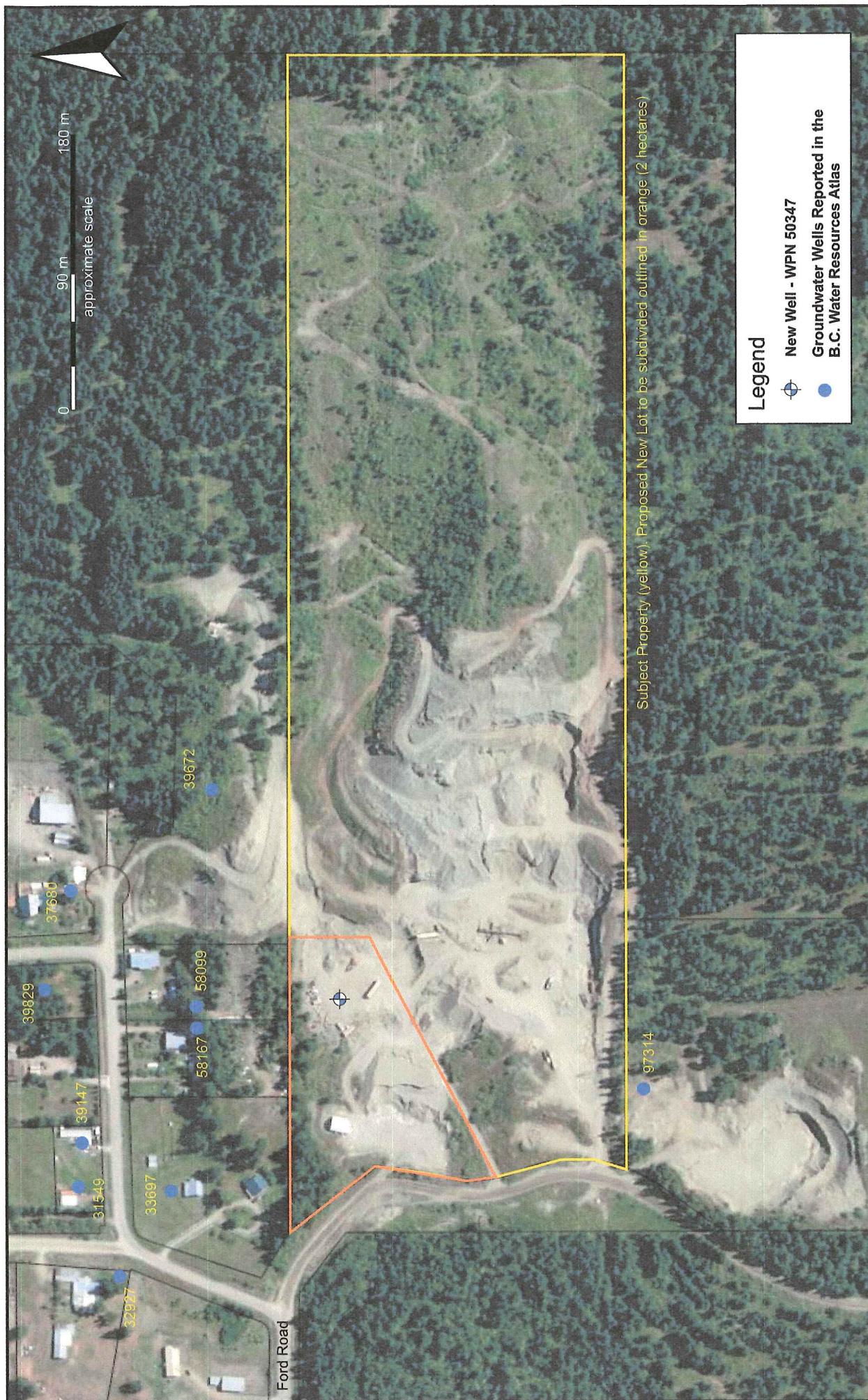


Figure 2 - Detailed Site Orthophoto and Well Site

Date: July 2018	Image Source: BC Water Resources Atlas	WWAL Project: 18-030-01
Drawn by: RR	Checked by: DG	Client Project:

MEMORANDUM

106-5145 26th Street, Vernon
British Columbia, Canada, V1T 8G4



Telephone: 250.541.1030
www.westernwater.ca

TO: Ms. Christine Lefloch, Columbia Shuswap Regional District **DATE:** 13, May 2018
FR: Trina Koch, B.Sc., R.P.Bio., WWAL **REFERENCE:** 18-030-02

RE: Riparian Area Regulation Exemption Letter for the Zappone Property at Lot 1, Sec 22, Twp 21, R10, W6M, KDYD, Plan 38427, near Tappen, B.C.

Background

Western Water Associates Ltd. (WWAL) has been retained by Mike and Rhonda Zappone to complete a Riparian Area Regulation (RAR) Assessment for proposed subdivision development at a gravel pit located along Ford Road at Lot 1, Sec 22, Twp 21, R10, W6M, KDYD, Plan 38427, near Tappen, B.C. (subject property) (Figure 1).

Online mapping (iMap 2018) of the subject property shows a water channel flowing from the east into the gravel pit (Figure 2). Because proposed subdivision development is within 30 m of the mapped water body, the CSRD requires a RAR Assessment Report be included with the development permit application.

RAR Assessment methodology includes completing a field investigation to determine if fish habitat exists in the water body and if the water body is connected to a fish bearing water body. Although a channel may not contain water in it, seasonal connectivity to a fish bearing water body can be determined if there is evidence of flowing water and no barriers to fish access (BC Government 2005). Evidence of flowing water consist of rounded substrate, defined channel banks, rafted debris, rilling (rivulets in the substrate) and aquatic vegetation.

Field Assessment

WWAL's Senior Biologist, Trina Koch R.P.Bio., who is trained in RAR Assessment methodology, completed a field investigation to support a RAR Assessment at the project site on April 25, 2018. Ms. Koch arrived on site at 2:30 pm. Weather conditions were dry and seasonally warm (~ 16°C).

Ms. Koch explored the mapped channel location. Three separate draws were located along the hillside within about 40 m of the mapped channel location (Photograph 1-3). Each of the three draws were dry and there was no evidence of historical water flow. There were no creek beds, defined channels, rilling, aquatic vegetation or rafted debris in the draws. The gravel pit below was dry in the location of the mapped channel (Photograph 4). No water was observed flowing through the culvert at Ford Road.

**Photograph 1. Draw 1****Photograph 2. Draw 2****Photograph 3. Draw 3****Photograph 4. Dry gravel pit****Photograph 5. Draw 1 tire tracks****Photograph 6. Dry angular gravel**

Draws 2 and 3 appeared to be used as footpaths and Draw 1 as a roadway (Photograph 5). There was no evidence of flow in the draws, rafted debris, defined channel banks, fish habitat, rounded substrate (Photograph 6) or connection to a fish bearing water body.

Conclusions

The water channel mapped on iMap BC located within the subject property is not a flowing water channel. Onsite observations show that three draws within 40 m of the mapped channel are used as footpaths or roadways. Because there is no evidence of flow in the draws and no connection to a fish bearing water body, the Riparian Area Regulation does not apply to this subdivision development.

Attachments:

Figure 1

Figure 2

Zappone
RAR Exemption Letter

- 3 -

13, May 2018
18-030-02

REFERENCES

BC Government. 2005. Riparian Areas regulation Assessment Methods.

https://www2.gov.bc.ca/assets/gov/environment/plants-animals-and-ecosystems/fish-fish-habitat/riparian-areas-regulations/rar_assessment_methods.pdf

iMap BC. 2018. Accessed May 10, 2018. <https://maps.gov.bc.ca/ess/hm/imap4m/>



Figure 1 - General Location of Project Site

Date: April 2018				Image Source: Google Earth		WWAL Project: 18-030-02	
Drawn by: RR		Checked by: DG		Client: Zaponne		Client Project:	

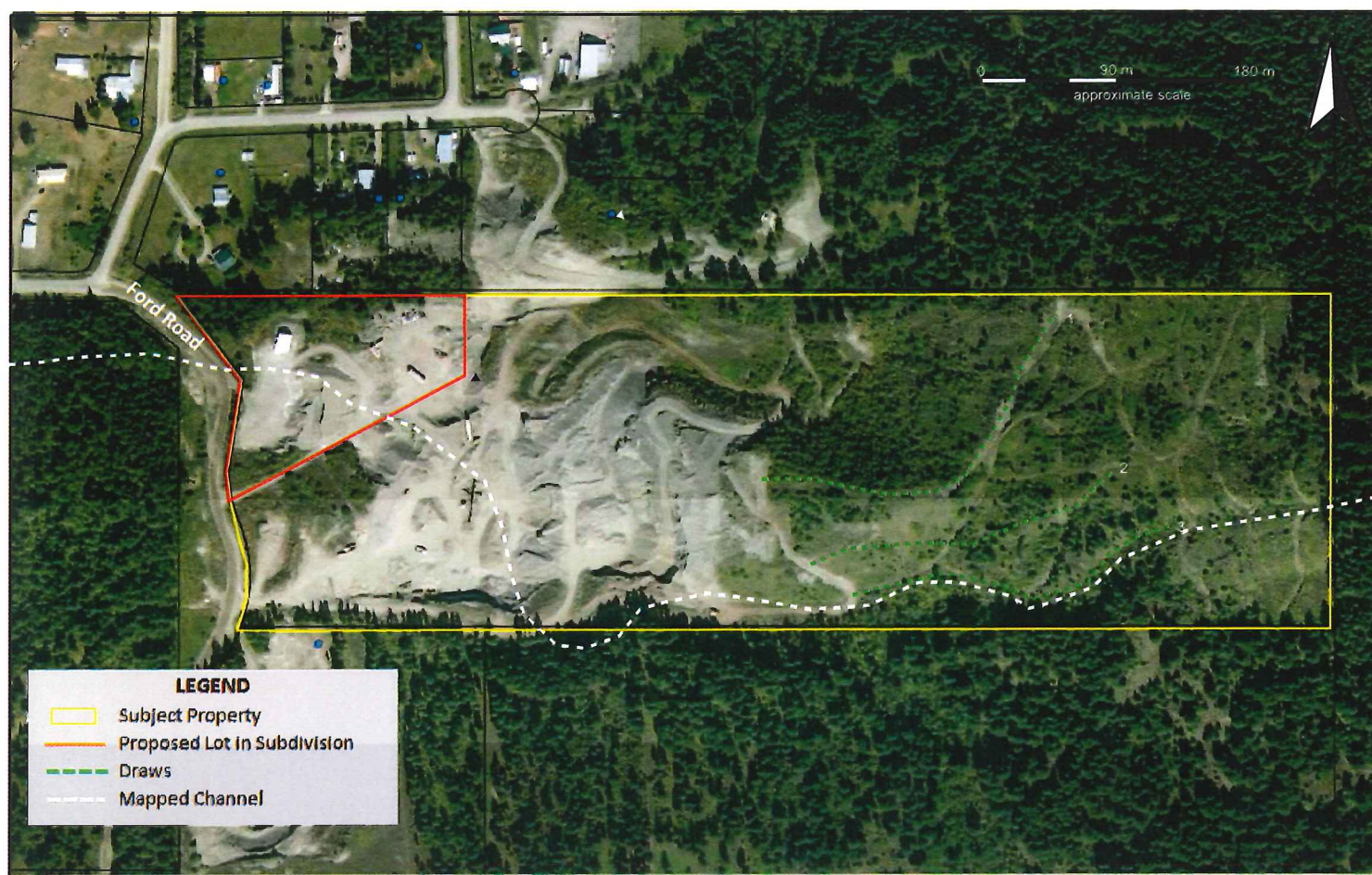


Figure 2 - Detailed Site Orthophoto with Field Investigation Features

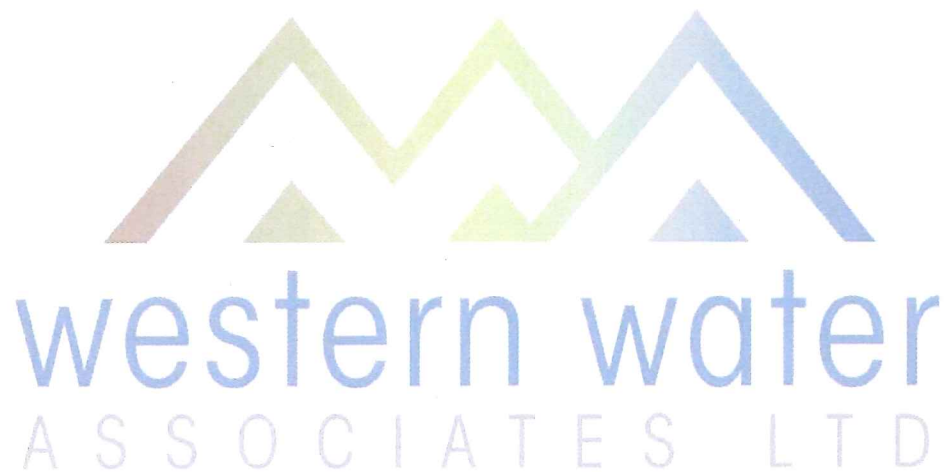
Date: May 10, 2018	Image Source: iMap BC	WWAL Project: 18-030-02
Drawn by: TK	Checked by: DG	Client: Zaponne
		Client Project:

Statement of Limitations

1. This Document has been prepared for the particular purpose outlined in the work scope that has been mutually agreed to with the Client.
2. The scope and the period of service provided by Western Water Associates Ltd are subject to restrictions and limitations outlined in subsequent numbered limitations.
3. A complete assessment of all possible conditions or circumstances that may exist at the Site or within the Study Area referenced, has not been undertaken. Therefore, if a service is not expressly indicated, it has not been provided and if a matter is not addressed, no determination has been made by Western Water Associates Ltd. in regards to it.
4. Conditions may exist which were undetectable given the limited nature of the enquiry that Western Water Associates Ltd. was retained to undertake with respect to the assignment. Variations in conditions may occur between investigatory locations, and there may be special conditions pertaining to the Site, or Study Area, which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.
5. In addition, it is recognised that the passage of time affects the information and assessment provided in this Document. Western Water Associates Ltd's opinions are based upon information that existed at the time of the production of the Document. It is understood that the Services provided allowed Western Water Associates Ltd to form no more than an opinion of the actual conditions of the Site, or Study Area, at the time the site was visited and cannot be used to assess the effect of any subsequent changes in the quality of the Site, or Study Area, nor the surroundings, or any laws or regulations.
6. Any assessments made in this Document are based on the conditions indicated from published sources and the investigation described and on the results of laboratory analyses, which were limited to the quantification in select samples of those substances specifically identified in the report. No warranty is included, either expressed or implied, that the actual conditions will conform exactly to the assessments contained in this Document.
7. Western Water Associates Ltd's expresses no warranty with respect to the accuracy of the laboratory analyses, methodologies used, or presentation of analytical results by the laboratory. Actual concentrations of the substances identified in the samples submitted may vary according to the extraction and testing procedures used.
8. Where data supplied by the Client or other external sources, including previous site investigation data, have been used, it has been assumed that the information is correct unless otherwise stated.
9. No responsibility is accepted by Western Water Associates Ltd for incomplete or inaccurate data supplied by others.
10. The Client acknowledges that Western Water Associates Ltd may have retained sub-consultants affiliated to provide Services. Western Water Associates Ltd will be fully responsible to the Client for the Services and work done by all of its sub-consultants and subcontractors. The Client agrees that it will only assert claims against and seek to recover losses, damages or other liabilities from Western Water Associates Ltd.
11. This Document is provided for sole use by the Client and is confidential to it and its professional advisers. No responsibility whatsoever for the contents of this Document will be accepted to any person other than the Client. Any use which a third party makes of this Document, or any reliance on or decisions to be made based on it, is the responsibility of such third parties. Western Water Associates Ltd. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this Document.
12. As the evaluation and conclusions reported do not preclude the existence of other chemical compounds and that variations of conditions within the site may be possible, this report should be used for informational purposes only and should not be deemed as a comprehensive hydrogeological or chemical characterization of the site. If site conditions change or if any additional information becomes available at a future date, modifications to the findings, conclusions and recommendations in this report would be necessary.

Zappone
RAR Exemption Letter

13, May 2018
18-030-02



Groundwater Supply Development and Management

Source Water Assessment and Protection

Well Monitoring & Maintenance

Environmental & Water Quality Monitoring

Storm & Wastewater Disposal to Ground

Groundwater Modeling

Aquifer Test Design and Analysis

Geothermal / Geoexchange Systems

Policy and Guideline Development

Applied Research

Rural Subdivision Services

Environmental Assessment & Permitting

Contaminated Sites

Relevant Excerpts from Electoral Area C Official Community Plan Bylaw No. 725

(See Bylaw No. 725 for all policies)

3.1

General Land Use Management

The policies of this Plan aim to protect the rural character of this area, yet allow modest growth in settled areas that are, or will be, serviced by community water and sewer systems. By directing growth to the Village Centre and Secondary Settlement Areas as shown on Schedule B Land Use Designations – Overview, and Schedule C Land Use Designations - Mapsheets, there will be less impact on the rural and natural areas of the community, thereby protecting natural habitat and preserving the area's highly valued rural character. This settlement pattern will also facilitate shorter vehicle trips, as well as encourage more walking, bicycling and the use of public transit.

3.1.1 Objectives

- .1 To be thoughtful and careful stewards of the lands and waters of the South Shuswap to allow future generations an opportunity to appreciate and benefit from wise choices made by today's elected decision-makers.
- .2 To manage growth by directing development and redevelopment in existing settled areas and to discourage development outside these areas.
- .3 To provide a clear separation between rural and non-rural lands to preserve both rural and non-rural lifestyle choices.
- .6 To support forestry, mining and recreational uses provided they follow all Provincial regulatory requirements, and avoid conflicts with residential areas.
- .7 To work towards providing a range of housing types in the South Shuswap, principally within the Village Centre and Secondary Settlement Areas.

3.1.2 Policies

- .3 Secondary Settlement Areas in the South Shuswap are established on Schedules B and C, as Blind Bay, Sunnybrae, White Lake and Eagle Bay.
- .4 Outside the Village Centre and Secondary Settlement Areas, new residential development is generally discouraged unless co-located with an agricultural use. Strip commercial development between these development areas is not acceptable.
- .5 Development will only be considered in areas with lower environmental values within the Village Centre and Secondary Settlement Areas, thereby allowing for the protection of areas with higher environmental values as well as agricultural lands.
- .9 At the time of introducing zoning regulations to unzoned areas, existing uses and structures may be recognized in the zoning bylaw and that recognition will be considered as conforming to this OCP. New development, however, must conform to the policies and land use designations in this OCP.

3.4 Residential

3.4.1 Policies

.1 New residential development will be directed to the Village Centre and Secondary Settlement Areas identified on Schedules B and C. Outside these areas, residential development is discouraged unless co-located with an agricultural use.

.2 Residential development is subject to the following land use designations, housing forms and maximum densities:

Land Use Designation	Housing Form	Maximum Density
Medium Density (MD)	Detached	5 units/ac (1 unit/0.2 ac) 12 units/ha (1 unit/0.08 ha)
	Semi-detached	8 units/ac (1 unit/0.13 ac) 20 units/ha (1 unit/0.05 ha)
	Townhouse	12 units/ac (1 unit/0.13 ac) 30 units/ha (1 unit/0.03 ha)
Neighbourhood Residential (NR)	Detached, Semi-detached	2 units per 1 acre (1 unit/0.2 ha)
Country Residential (CR)	Detached, Semi-detached	1 unit per 1 acre (0.4 ha)
Rural Residential (RR)	Detached, Semi-detached	1 unit per 2.5 acres (1 ha)
Rural Residential 2 (RR2)	Detached, Semi-detached	1 unit per 5 acres (2 ha)
Small Holdings (SH)	Detached, Semi-detached	1 unit per 10 acres (4 ha)
Medium Holdings (MH)	Detached, Semi-detached	1 unit per 20 acres (8 ha)
Large Holdings (LH)	Detached, Semi-detached	1 unit per 25 acres (10 ha)
Rural Holdings (RH)	Detached, Semi-detached	1 unit per 148 acres (60 ha)



COLUMBIA SHUSWAP REGIONAL DISTRICT

NOTES ON THE MEETING

Electoral Area C Advisory Planning Commission

DATE: Monday, March 25, 2019
TIME: 7:00pm
PLACE: Upper Level
 Cedar Centre
 2316 Lakeview Drive
 Blind Bay BC V0E 2W2

Members Present:

Steve Wills	Chair
Cal Cosh	Recording Secretary
Ted Vlooswyk	Member
Brian Morris	Member
Millie Barron	Member
Alan Cook	Member

Director, Area 'C': Paul Demenok

Members Absent:

Simon Brown	Vice-Chair
Reg Walters	Member
Glenn Johanson	Member

Staff: Not in attendance

Applicants/Agents: Not in attendance

Agenda:

Call to order 7 pm
 Review of Agenda Material moved to accept – Morris / Barron

1. Electoral Area C Development Variance Permit No. 701-84**Civic Address:** 711 Viel Road**Legal Description:**

Lot 10, Section 19, Township 22, Range 11, West of the 6th Meridian, Kamloops Division
 Yale District, Plan 14328. (PID: 009-034-129)

Owner: Frederick and Eleanor Clark

This project requires a RAR – and report from a QEP at the same time as this variance is coming forward for consideration. The application seeks to address variances in a number of existing developments as well as the new retaining wall on the lakeside. Given the engineering and riparian requirements and reports in play and the extent of staff review and authority in these areas the Commission considered the overall site impact and wanted to support the new work and encourage the zoning compliance application.

That DVP 701-84 be supported for the set-back variances outlined.

Moved/Second

Cook / Morris

Carried:

unanimous

2. Electoral Area C Official Community Plan Amendment (Zappone) Bylaw No. 725-15**Civic Address:** 3453 Ford Road, Tappen**Legal Description:**

Lot 1 Section 22 Township 21 Range 10 West of the 6th Meridian Kamloops Division Yale
 District Plan 38427

Owner/ Applicant: 688490 BC Ltd / Mike and Rhonda Zappone

**To support the application to modify the Official Community Plan for this site and
 support the subdivision of a 2ha parcel from the parent parcel and be
 redesignated to RR2.**

Moved/Second:

Morris / Vlooswyk

Carried:

unanimous

3. Electoral Area C Development Variance Permit No. 701-87**Civic Address:** 3778 Eagle Bay Road**Legal Description:**

Lot 6, Section 2, Township 23, Range 10, West of the 6th Meridian, Kamloops Division
Yale District, Plan KAP62357. (PID: 024-205-681)

Owner: Rodney and Allyson Hannaford

The Development Variance is to allow for the construction of a new garage within the front parcel line setback. This would place the new garage near to the Eagle Bay Road and the Commission noted little option on the site and a significant elevation difference between the new garage as proposed and the roadway.

To support the variance application as outlined.

Moved /Second:
Carried:

Vlooswyk / Barron
unanimous

4. Development Variance Permit No. 701-85**Civic Address:** 14, 6421 Eagle Bay Rd**Legal Description:**

Strata Lot 14, Section 18, Township 23, Range 8, West of the 6th Meridian, Kamloops Division Yale District, Strata Plan KAS1797, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1. (PID: 023-518-332)

Owner: Steven and Christine Hardy**To support the required set back variances for the construction of a non-permanent structure.**

Moved /Second
Carried

Barron / Morris
unanimous

Adjourned:

7:27pm

**COLUMBIA SHUSWAP REGIONAL DISTRICT**

P.O. Box 978 SALMON ARM, BC V1E 4P1
 Telephone: 1-250-832-8194 Fax: 1-250-832-1083

FILE NO.

PL20180000198

DATE RECEIVED:

February 27, 2019

OPERATIONS MANAGEMENT**Comments:** Marianne

Terry Langlois
 Team Leader Utilities

No Concerns

Derek Sutherland
 Team Leader
 Protective Service

No concerns

Sean Coubrough
 Fire Services Coordinator

This property is within the boundaries of the Tappen Sunnybrae Fire Protection Area. Confirmation of compliance with access requirements as per MOTI guidelines and CSRD Subdivision Servicing Bylaw required. FireSmart principles and practices to be encouraged.

Ben Van Nostrand
 Team Leader
 Environmental Health

Consistent with the CSRD's Solid Waste Management Plan.

Ryan Nitchie
 Team Leader
 Community Services

No Concerns

Darcy Mooney
 Manager
 Operations Management

no concerns


COLUMBIA SHUSWAP REGIONAL DISTRICT

P.O. Box 978 SALMON ARM, BC V1E 4P1

Telephone: 1-250-832-8194 Fax: 1-250-832-3375

Staff Contact: Christine LeFloch, Development Services Assistant

FILE: BL725-15

DATE: Feb 27, 2019

DS received date: Feb 28, 2019
PHB-m²x3

RESPONSE SUMMARY

☐ Approval Recommended for Reasons Outlined Below

☐ Interests Unaffected by Bylaw.

☐ Approval Recommended Subject to Conditions Below.

☐ Approval not Recommended Due To Reasons Outlined Below.

☒ No Objections

The proposed bylaw has been reviewed as per S.477 of the Local Government Act and is consistent with the CSRD's current financial plan.

Signed By: _____

Title Manager, Financial Services

-

February 28, 2019

Date: _____

Agency CSRD



COLUMBIA SHUSWAP REGIONAL DISTRICT

P.O. Box 978 SALMON ARM, BC V1E 4P1

Telephone: 1-250-832-8194 Fax: 1-250-832-3375

Staff Contact: Christine LeFloch, Development Services Assistant

FILE: BL725-15

DATE: Feb 27, 2019

RESPONSE SUMMARY

☒ Approval Recommended for Reasons
Outlined Below

☐ Interests Unaffected by Bylaw.

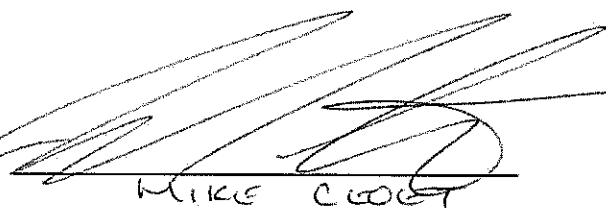
☐ Approval Recommended Subject to
Conditions Below.

☐ Approval not Recommended Due
To Reasons Outlined Below.

☐ No Objections

1. Property boundaries are clearly established by a licensed professional (BC Land Surveyor).
2. No entrances onto the subject property are allowed through the Mine Site. They must be from Ford Road.

Signed By:


MIKE CROFT

Title INSPECTOR OF MINES

MINISTRY OF ENERGY

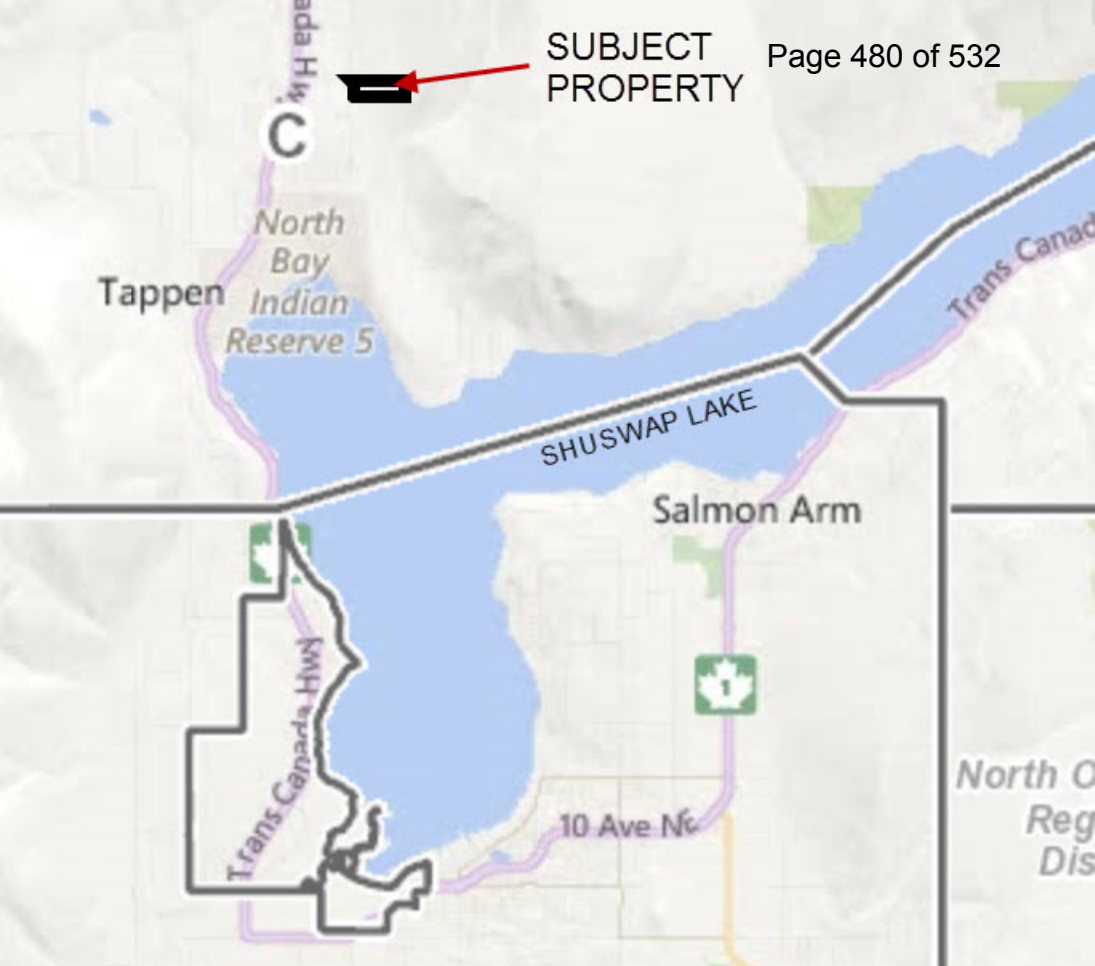
Agency MINES AND

PETROLEUM RESOURCES

Date: 2019-04-03

SUBJECT
PROPERTY

Page 480 of 532

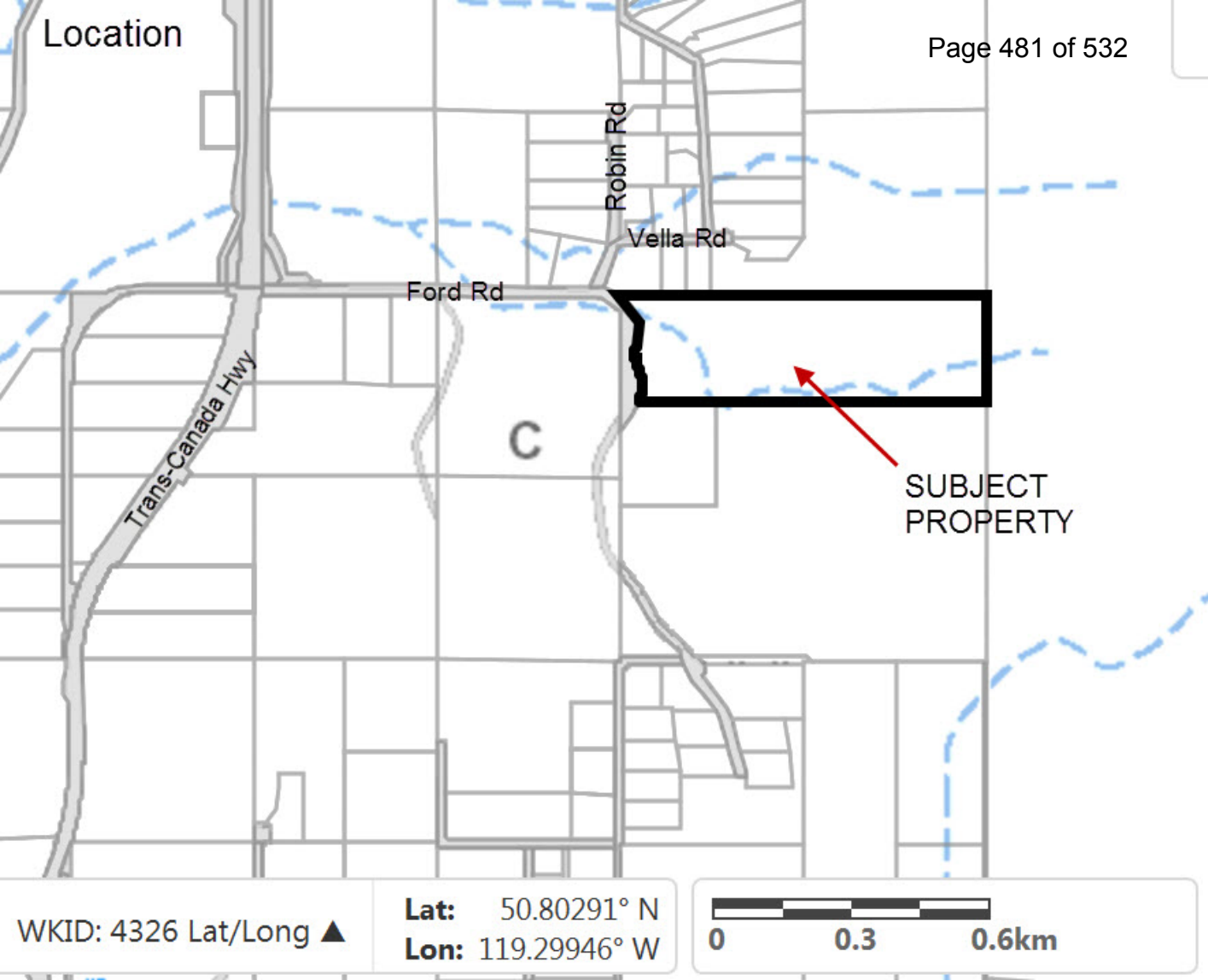


Long ▲

Lat: 50.75149° N

Lon: 119.39619° W



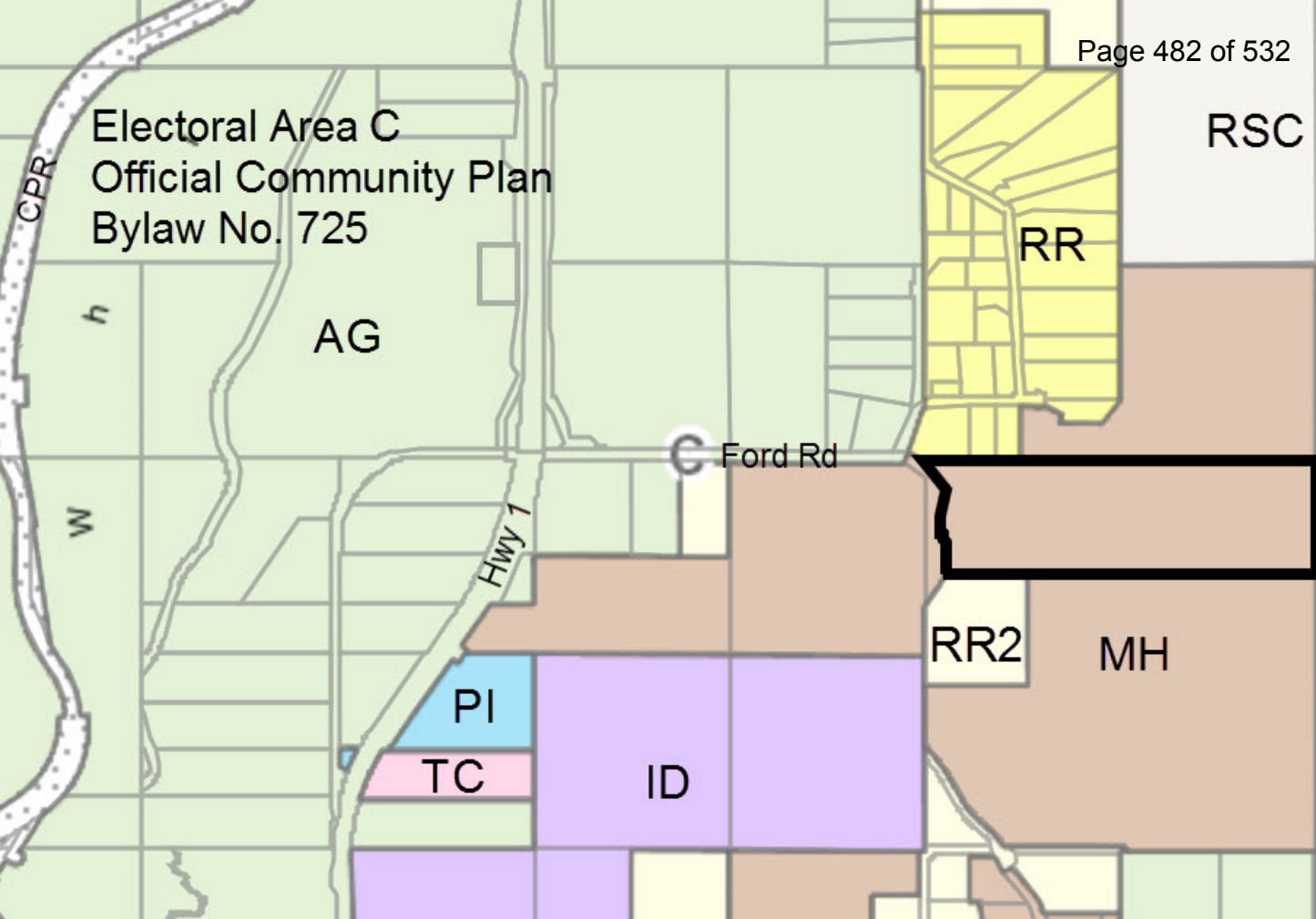


WKID: 4326 Lat/Long ▲

Lat: 50.80291° N

Lon: 119.29946° W

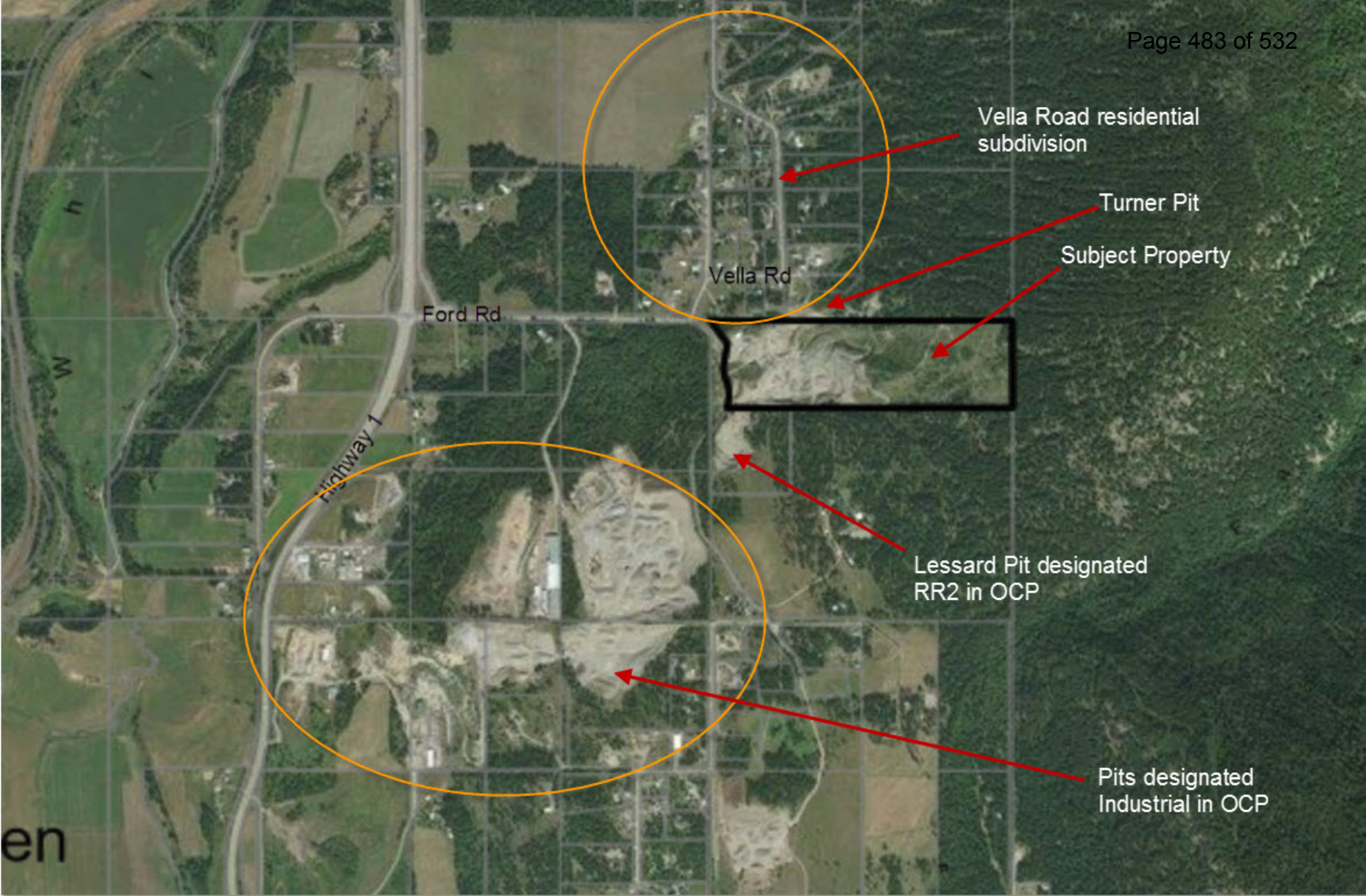

0 0.3 0.6km



WKID: 4326 Lat/Long ▲

Lat: 50.81392° N
Lon: 119.32793° W





Vella Road residential
subdivision

Turner Pit

Subject Property

Vella Rd

Ford Rd

Highway 1

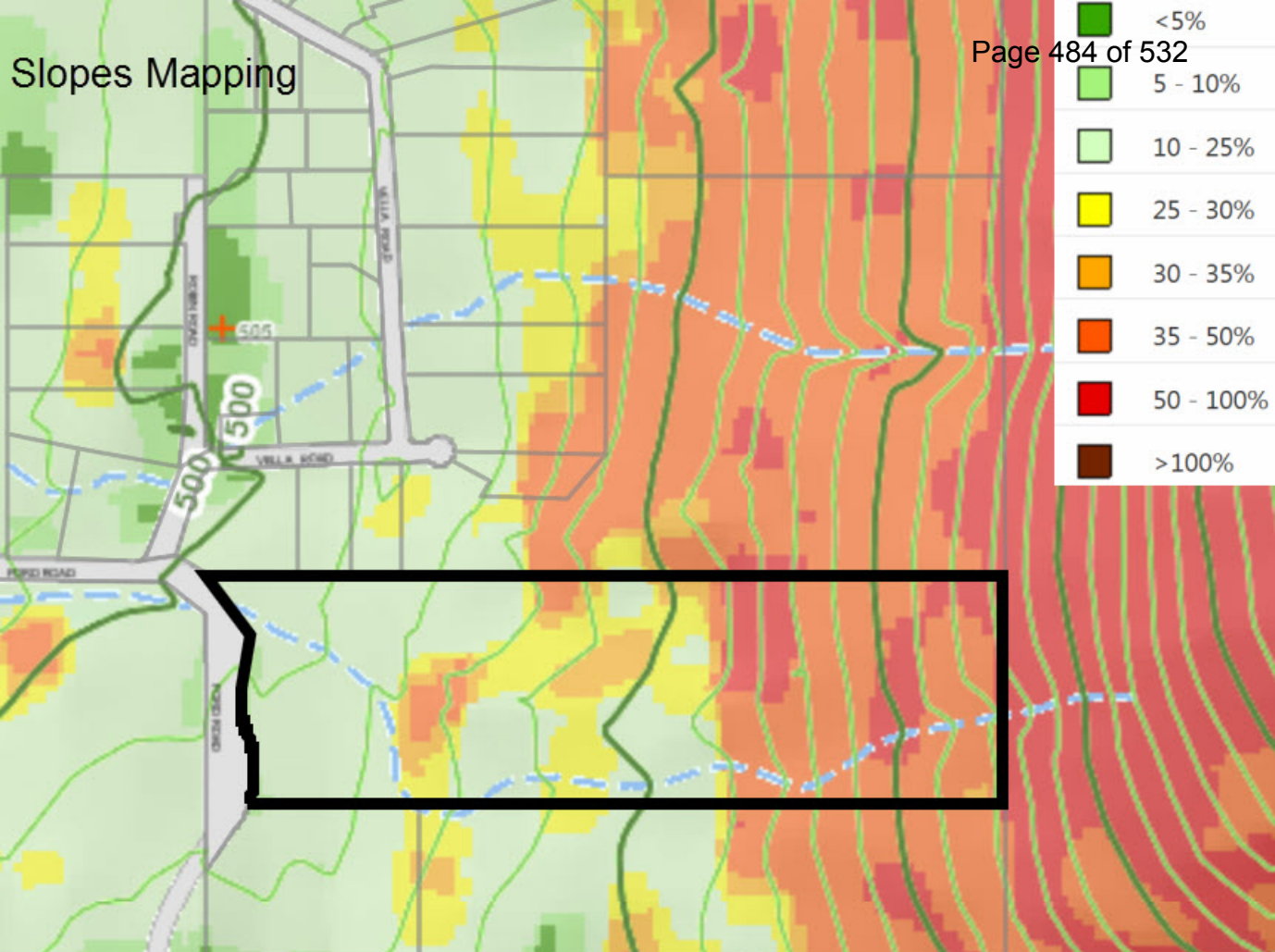
Lessard Pit designated
RR2 in OCP

Pits designated
Industrial in OCP

en

Slopes Mapping

Page 484 of 532



WKID: 4326 Lat/Long ▲

Lat: 50.81145° N

Lon: 119.30814° W

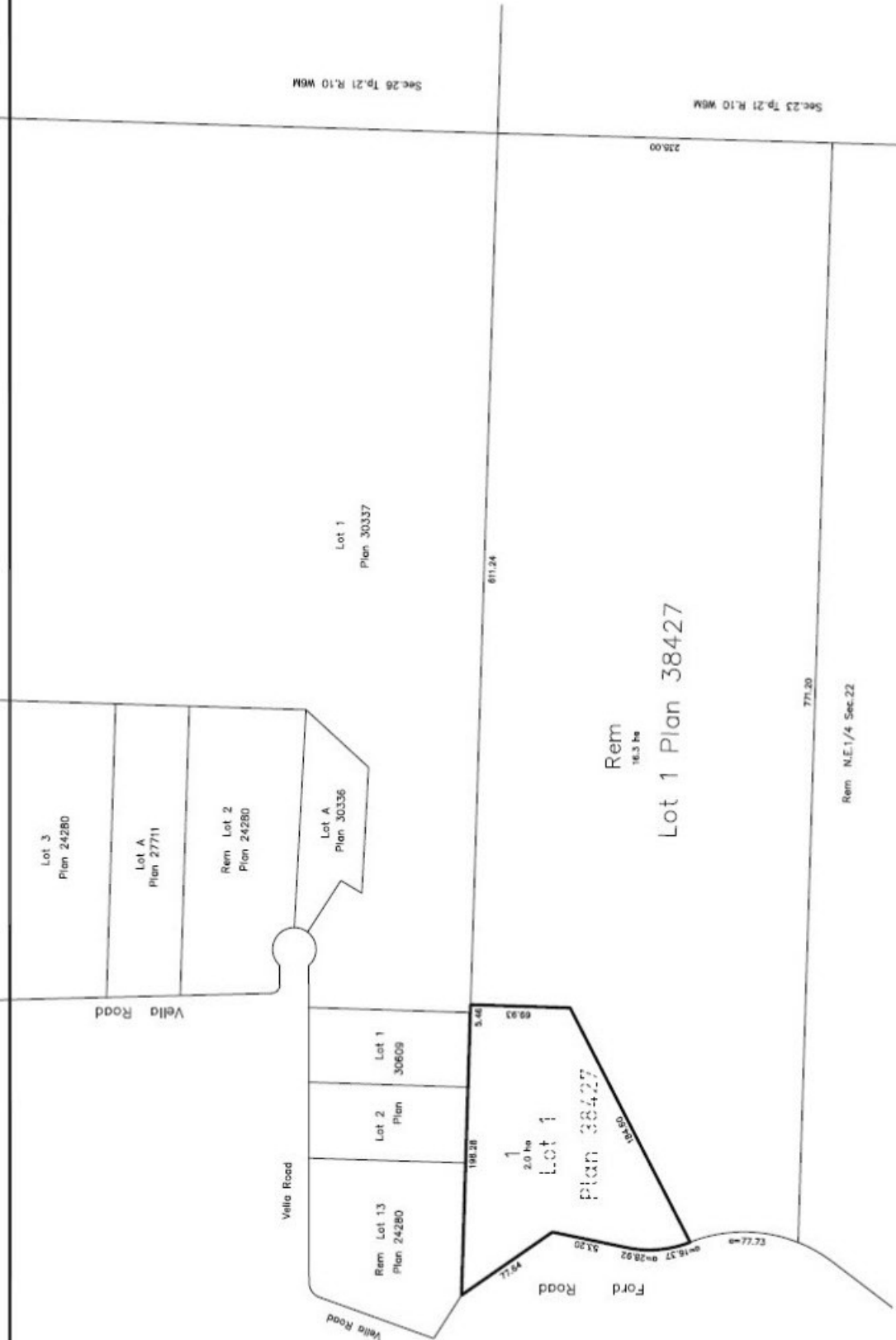


0

0.15

0.3km

August 31, 2017



Sketch Plan of Proposed Subdivision of
Part of Lot 1, Sec 27, Tp 21, R 10,
W6M, KDYD, Plan 38427

Scale 1:2000





01.23.2019



01.23.2019



01.23.2019



01.23.2019

Active pit and natural
steep slopes behind



BOARD REPORT

TO: Chair and Directors

File No: BL800-31 PL20180179
--

SUBJECT: Electoral Area F: Magna Bay Zoning Amendment (Coueffin) Bylaw No. 800-31

DESCRIPTION: Report from Candice Benner, Planner II, dated April 2, 2019
6346 Squilax-Anglemont Road, Magna Bay

RECOMMENDATION #1: THAT: "Magna Bay Zoning Amendment (Coueffin) Bylaw No. 800-31" be read a first time this 18th day of April, 2019;

AND THAT: the Board utilize the simple consultation process for Bylaw No. 800-31, and it be referred to the following agencies and First Nations:

- Ministry of Forests, Lands and Natural Resource Operations – Archaeology Branch;
- CSR D Operations Management;
- Relevant First Nations Bands and Councils.

SHORT SUMMARY:

The applicant is wanting to rebuild a garage that burned down at 6346 Squilax-Anglemont Road in Magna Bay. With the construction of the garage the property will exceed the maximum allowed parcel coverage for the RS zone. The applicant is proposing a site specific amendment to the RS zone to increase the permitted parcel coverage from 25% to 28%.

VOTING:	Unweighted Corporate <input type="checkbox"/>	LGA Part 14 (Unweighted) <input checked="" type="checkbox"/>	Weighted Corporate <input type="checkbox"/>	Stakeholder (Weighted) <input type="checkbox"/>
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BACKGROUND:

OWNERS:
Ricky Coueffin
Irene Coueffin

APPLICANT:
Ricky Coueffin

ELECTORAL AREA:
F (Magna Bay)

CIVIC ADDRESS:
6346 Squilax-Anglemont Road

LEGAL DESCRIPTION:

Lot 9, Section 13, Township 23, Range 10, W6M, KDYD, Plan 13493

PID:

006-909-698

SIZE OF PROPERTY:

0.142 ha

SURROUNDING LAND

USE PATTERN:

NORTH: Squilax-Anglemont Road, vacant

SOUTH: Shuswap Lake

EAST: Residential

WEST: Residential

DESIGNATION:

Electoral Area F Official Community Plan Bylaw No. 830

SSA –Secondary Settlement Area

CURRENT ZONE:

Magna Bay Zoning Bylaw No. 800

RS –Residential

PROPOSED ZONE:

RS –Residential –Special Regulation

CURRENT USE:

Single Family Dwelling, accessory building– (shed/boathouse)

PROPOSED USE:

Single Family Dwelling, accessory buildings (shed/boathouse and garage)

POLICY:

See attached "BL800_Excepts_BL800-31.pdf".

The existing and proposed use are consistent with the SSA –Secondary Settlement Area designation in Electoral Area F Official Community Plan Bylaw No. 830.

FINANCIAL:

There are no financial implications to the CSRD regarding this application.

KEY ISSUES/CONCEPTS:

The applicant's garage burned down in a fire in July 2018; he is wanting to rebuild the new garage on the same footprint as the old garage due to siting constraints on the property. The proposal is for a two-storey structure: a 1 bay garage first floor with office space in the basement.

The property has an existing single family dwelling and accessory building (shed/boathouse); with the re-construction of the garage, the parcel coverage will be 28% which will exceed the 25% permitted in the RS zone.

Parcel coverage is defined in Bylaw No. 800 as the horizontal area within the vertical projection of the outermost walls of the buildings on a parcel expressed as a percentage of the parcel area.

Parcel coverage is used in zoning regulation as a tool to limit density. By restricting the total area that can be developed on a property this limits the potential habitable area of a dwelling(s). Parcel coverage typically applies to zones with smaller sized parcels that require land area for onsite servicing, such as a groundwater well, on-site sewage disposal system, and stormwater management. Staff has initiated a process to review and increase the maximum parcel coverages permitted in the Electoral F zoning bylaws; the proposal will be to increase the 25% maximum parcel coverages on residential properties.

The applicant has indicated that the basement will have a full bathroom with sink, toilet, and shower as well as a kitchenette that includes a sink, microwave, and fridge. The applicant has been advised that guest accommodation is not permitted on parcels less than 1 ha in the RS zone. The trigger for a structure to be considered a dwelling unit or guest accommodation is installation of a stove unit or a 220 electrical outlet. Neither a stove unit nor a 220 electrical outlet is being proposed.

Staff have requested servicing information for the proposed office to confirm that existing water and septic services can accommodate the additional use.

Development Variance Permit

The old garage was located at the front of the property, close to Squilax-Anglemont Road, and the west parcel line. The applicant would like to build the new garage in this same location which will require a Development Variance Permit as it would be located within the front and interior side parcel boundary setbacks.

The proposed setbacks for the garage, including eaves and gutters, would be 0.5 m from the front and interior side parcel boundary; the walls of the garage would be 1.0 m setback from the parcel lines.

The proposed height for the garage is 7.92 m, which is over the maximum allowed 6 m for an accessory building.

The maximum gross floor area for an accessory building is 55 m² in the RS zone; the proposed 2 storey garage exceeds the maximum floor area permitted; the gross floor area for the building is 58 m² which includes both floors. Bylaw No. 800 exempts off-street parking in floor area calculation; the first floor garage has two off-street parking spaces which are deducted from the total. The area for the first floor is 13 m² and the basement floor area is 45 m²; the combined total of which is 58 m². The old garage was also two storeys and so the floor area and height would have been similar.

The Board will review the DVP for issuance when this amendment is considered for adoption, should it proceed through further readings. The variance for consideration would be as follows:

The Magna Bay Zoning Bylaw No. 800 would proposed to be varied:

Section 5.5(2)(e) Maximum height for an accessory building from 6 m to 7.92 m for a garage;

Section 5.5(2)(f) Minimum setback from the front parcel boundary from 4.5 m to 0.5 m and from the interior side parcel boundary from 2.0 m to 0.5 m for a garage; and

Section 5.5(2)(g) Maximum gross floor area of an accessory building from 55 m² to 58 m² for a garage.

Staff consulted with the CSRD Building Services Department regarding future potential fire separation issues there may be for the garage, as it will be located within 2.4 metres of an interior side parcel line setback shared with the neighbouring property. The building department has indicated that there will be building material restrictions in order to meet fire resistant ratings for the west wall and overhang of the garage located within the setback; this will be addressed through the Building Permit process. The Building Department comments have been shared with the applicant.

The fire in 2018 also burned down the neighbour's garage at 6342 Squilax-Anglemont Road, for which the Board will review a Development Variance Permit (DVP800-32 Lamb) application for the rebuild of that garage at its April 18, 2019 Board meeting. Similar to the Coueffin's proposed garage, DVP800-32 proposes to vary front and interior side parcel setbacks, height, and gross floor area of a garage.

Staff is in receipt of an issued Setback Permit from Ministry of Transportation for the subject property that permits the garage to be within 4.5 m of the road right of way.

SUMMARY:

The applicant wants to rebuild a new garage on the old garage footprint. The applicant has applied for a site specific bylaw amendment to allow for 28% parcel coverage for the subject property; as the proposed garage construction on the property will exceed the maximum 25% parcel coverage permitted in the RS zone.

Staff are recommending that the bylaw be given first reading and staff be directed to send out referrals to applicable agencies and First Nations because:

- a garage is an accessory use consistent with zoning,
- a 3% increase in parcel coverage is considered minor; and,
- and staff are currently undergoing a review to consider increasing the maximum parcel coverage in the Electoral Area F zoning bylaws.

IMPLEMENTATION:

Consultation Process

As per CSRD Policy No. P-18 regarding Consultation Processes-Bylaws, staff recommends the simple consultation process. Neighbouring property owners will first become aware of the application to rezone when notice of development signs are posted on the property after first reading.

Referral Process

The following list of referral agencies is recommended:

- Ministry of Forests, Lands and Natural Resource Operations –Archaeology Branch;
- CSRD Operations Management;
- Adams Lake Indian Band;
- Little Shuswap Indian Band;
- Neskonlith Indian Band;
- Okanagan Indian Band;
- Shuswap Indian Band;
- Simpcw First Nation; and,
- Splots'in First Nation.

COMMUNICATIONS:

If the bylaw is given first reading it will be forwarded to the referral agencies. Agency comments will be provided with a future Board report. The applicant will be required to post a Notice of Development Sign on the subject property in accordance with Development Services Procedures Bylaw No. 4001.

DESIRED OUTCOMES:

That the Board endorse staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*


LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Electoral Area F Official Community Plan Bylaw No. 830
2. Magna Bay Zoning Bylaw No. 800
3. Building Department referral, March 6, 2019
4. Ministry of Transportation Setback Permit (2019-01269), March 28, 2019

Report Approval Details

Document Title:	2019-04-18_Board_DS_BL800-31_Coueffin.docx
Attachments:	<ul style="list-style-type: none">- BL800-31_First.pdf- BL800_Excerpts_BL800-31.pdf- Maps_plans_photos_BL800-31.pdf
Final Approval Date:	Apr 8, 2019

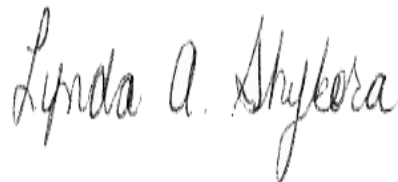
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 5, 2019 - 10:57 AM



Gerald Christie - Apr 5, 2019 - 11:40 AM



Lynda Shykora - Apr 8, 2019 - 12:49 PM



Charles Hamilton - Apr 8, 2019 - 1:34 PM

COLUMBIA SHUSWAP REGIONAL DISTRICT

MAGNA BAY ZONING
AMENDMENT (COUEFFIN) BYLAW NO. 800-31

A bylaw to amend the "Magna Bay Zoning Bylaw No. 800"

WHEREAS the Board of the Columbia Shuswap Regional District adopted Bylaw No. 800;

AND WHEREAS the Board deems it appropriate to amend Bylaw No. 800;

NOW THEREFORE the Board of the Columbia Shuswap Regional District in open meeting assembled, HEREBY ENACTS as follows:

1. "Magna Bay Zoning Bylaw No. 800", as amended, is hereby further amended as follows:

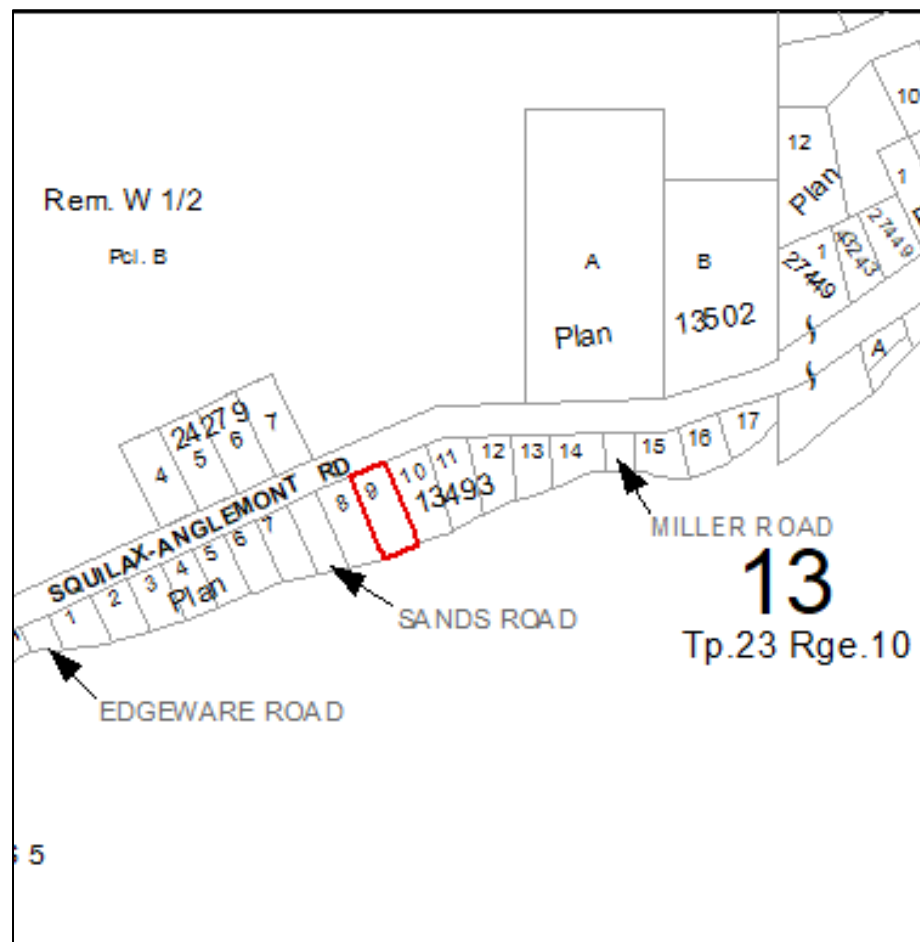
A. TEXT AMENDMENT

- i. Schedule A, Zoning Bylaw Text, Part 5 – Zones, Section 5.5 Residential -RS is hereby amended by adding subsection 7, in its entirety, including the attached map.

"(7)(a) In this subsection, lands are described by legal description and by map, and in the event of a discrepancy between the legal description of the lands or portion of the lands and the map, the map governs.

(b) despite the maximum parcel coverage as established in Section 5.5(2)(e), the maximum parcel coverage is 28%,

Only for Lot 9, Section 13, Township 23, Range 10, West of 6th Meridian, KDYD, Plan 13493, which is more particularly shown on the following map:



Bylaw No. 800-31

3

2. This bylaw may be cited as "Magna Bay Zoning Amendment (Coueffin) Bylaw No. 800-31"

READ a first time this _____ day of _____, 2019.

READ a second time this _____ day of _____, 2019.

PUBLIC HEARING held this _____ day of _____, 2019.

READ a third time this _____ day of _____, 2019.

ADOPTED this _____ day of _____, 2019.

CHIEF ADMINISTRATIVE OFFICER

CHAIR

CERTIFIED true copy of Bylaw No. 800-31
as read a third time.

CERTIFIED true copy of Bylaw No. 800-31
as adopted.

Chief Administrative Officer

Chief Administrative Officer

Relevant Excerpts from Magna Bay Zoning Bylaw No. 800

(See Bylaw No. 800 for all policies and land use regulations)

1.0 Definitions

ACCESSORY BUILDING is a detached building or structure that is customarily incidental to, subordinate to and exclusively devoted to a principal use or a single family dwelling, is not used for human habitation and is used for an accessory use or where permitted, for a home business;

FLOOR AREA is the total area of all floors in a building measured to the outside face of exterior walls. Where the context requires it, floor area is the total area of all floors in a portion of a building in a particular use, measured to the outside face of the walls of the area of the use. Floor area does not include off street parking areas, balconies, elevator shafts and areas used for building ventilation machinery;

GROSS FLOOR AREA is the total area of all floors in a building measured to the outside face of exterior walls. Where the context requires it, gross floor area is the total area of all floors in a portion of a building in a particular use, measured to the outside face of the walls of the area of the use.

PARCEL COVERAGE is the horizontal area within the vertical projection of the outermost walls of the buildings on a parcel expressed as a percentage of the parcel area.

5.5 Residential –RS

(1) Permitted Uses

The uses stated in this subsection and no others are permitted in the Residential zone, except as stated in Part 3 General Regulations.

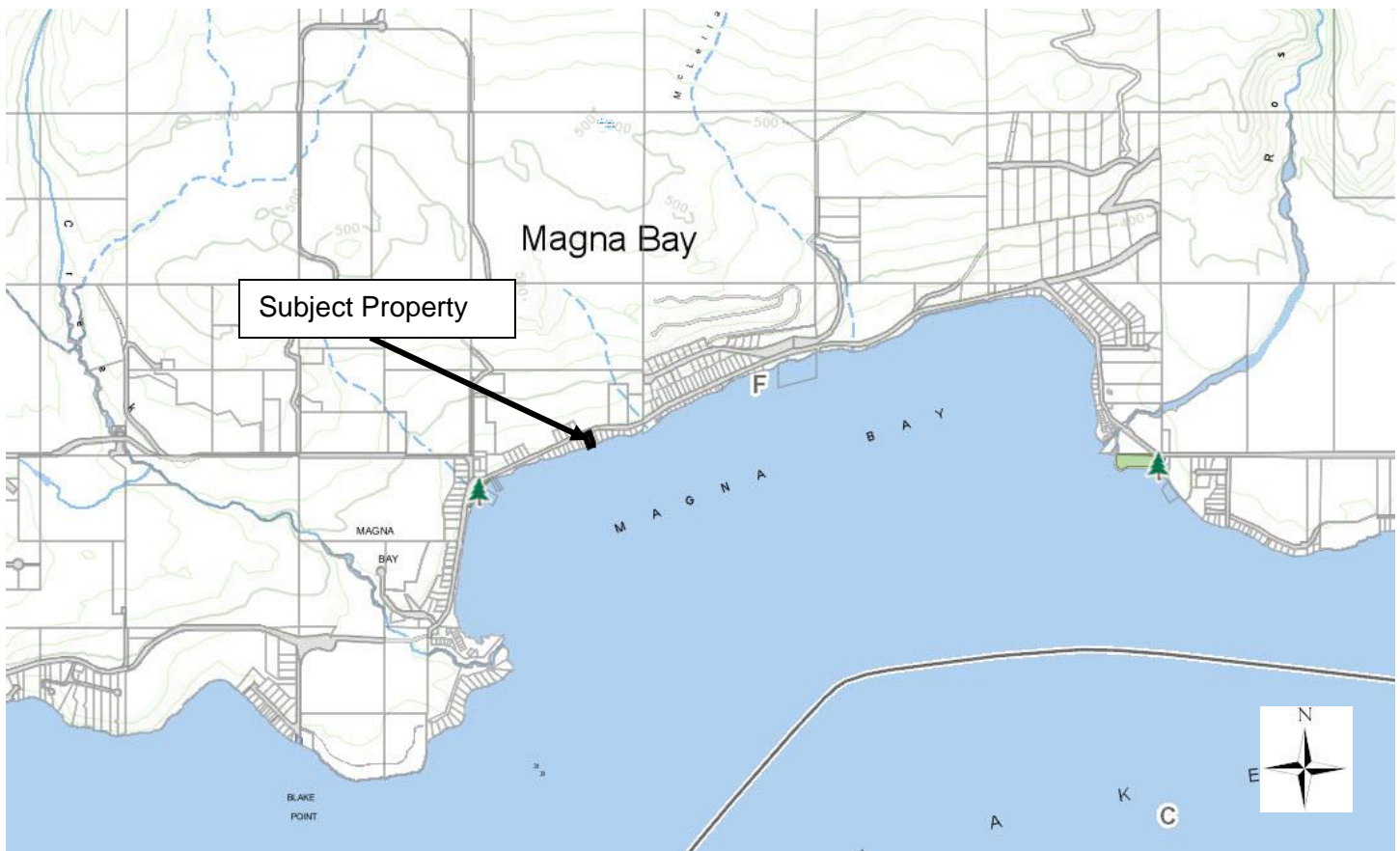
- (a) Single family dwelling
- (b) Bed and breakfast, permitted on a parcel 1 ha (2.47 ac.) or larger
- (c) Guest accommodation, permitted on a parcel 1 ha (2.47 ac.) or larger
- (d) Home business
- (e) Home industry, permitted on a parcel 4000 m² (0.99 ac.) or larger
- (f) Residential campsite
- (g) Standalone residential campsite
- (h) Accessory use

(2) Regulations

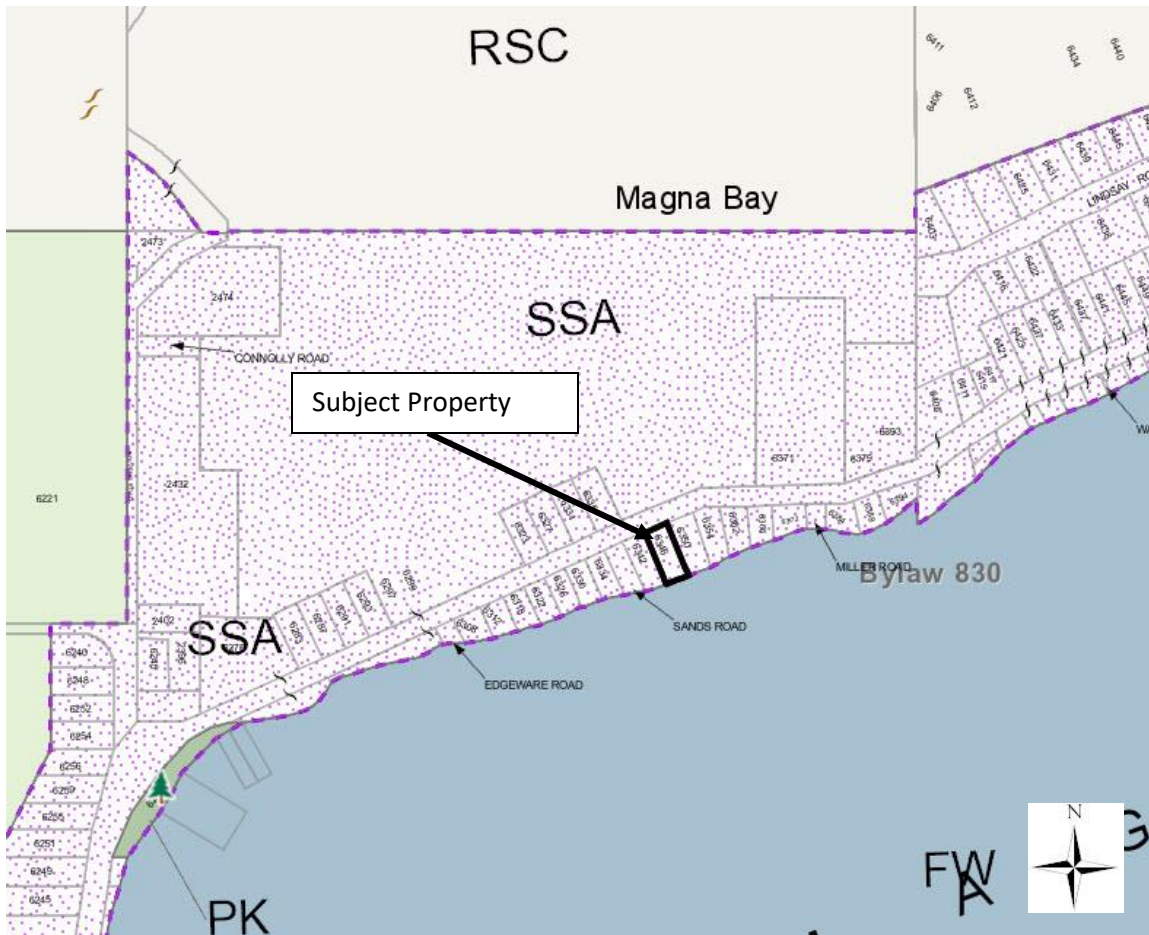
On a parcel zoned Residential: no land shall be used; no building or structure shall be constructed, located or altered; and no plan of subdivision approved; that contravenes the regulations stated in this subsection, except as stated in Part 3 General Regulations and Part 4 Off Street Parking and Off Street Loading Regulations.

COLUMN 1 MATTER REGULATED	COLUMN 2 REGULATION
(a) Minimum parcel size created by subdivision <ul style="list-style-type: none"> • where a parcel is served by both a community water system and a community sewer system • in all other cases 	4000m ² (1 ac.) 1 ha (2.47 ac.)
(b) Minimum parcel width created by subdivision	20 m (65.62 ft.)
(c) Maximum parcel coverage	25 percent
(d) Maximum number of single family dwellings per parcel	1
(e) Maximum height for: <ul style="list-style-type: none"> • Principal buildings and structures • Accessory buildings 	11.5 m (37.73 ft.) 6 m (19.69 ft.)
(f) Minimum setback of a building containing a home industry from each parcel boundary Minimum setback for all other uses from: <ul style="list-style-type: none"> • front parcel boundary • interior side parcel boundary • exterior side parcel boundary • rear parcel boundary 	10 m (32.81 ft.) 4.5 m (14.76 ft.) 2 m (6.56 ft.) 4.5 m (14.76 ft.) • for an accessory building 3 m (9.84 ft.) • for a single family dwelling and guest accommodation 4.5 m (14.76 ft.)
(g) Maximum gross floor area of an accessory building	55 m ² (592.02)

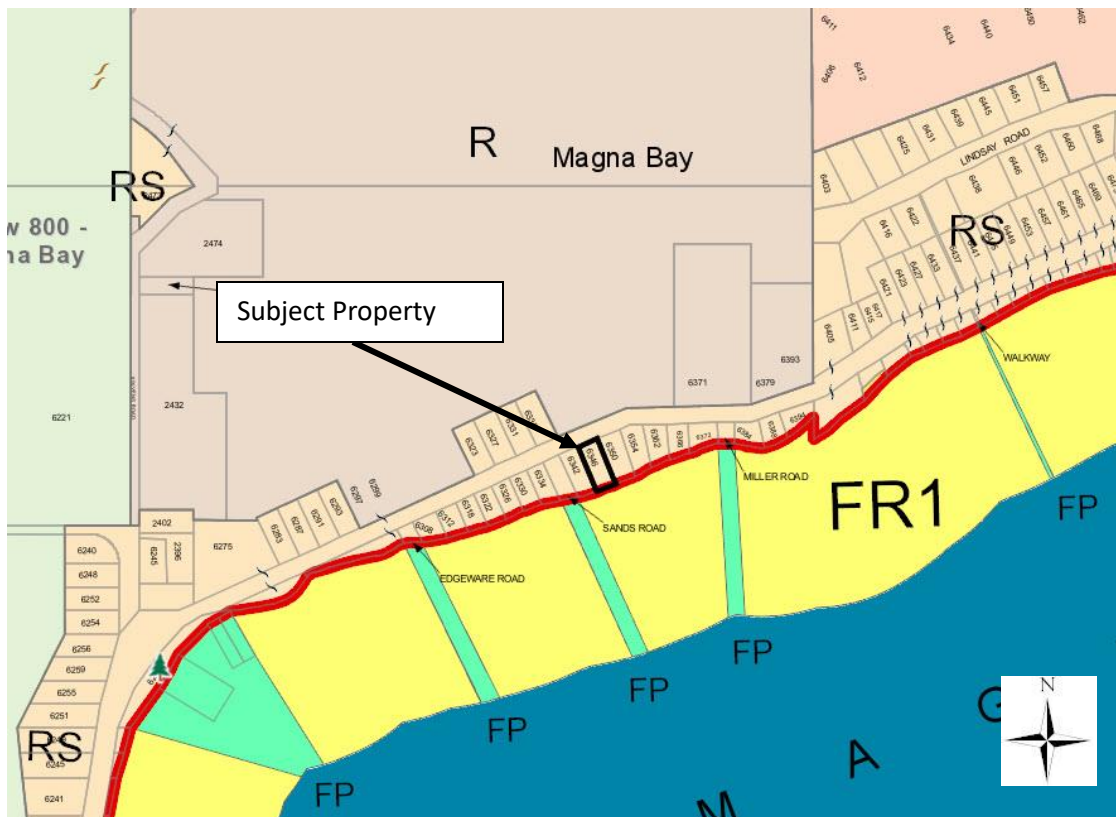
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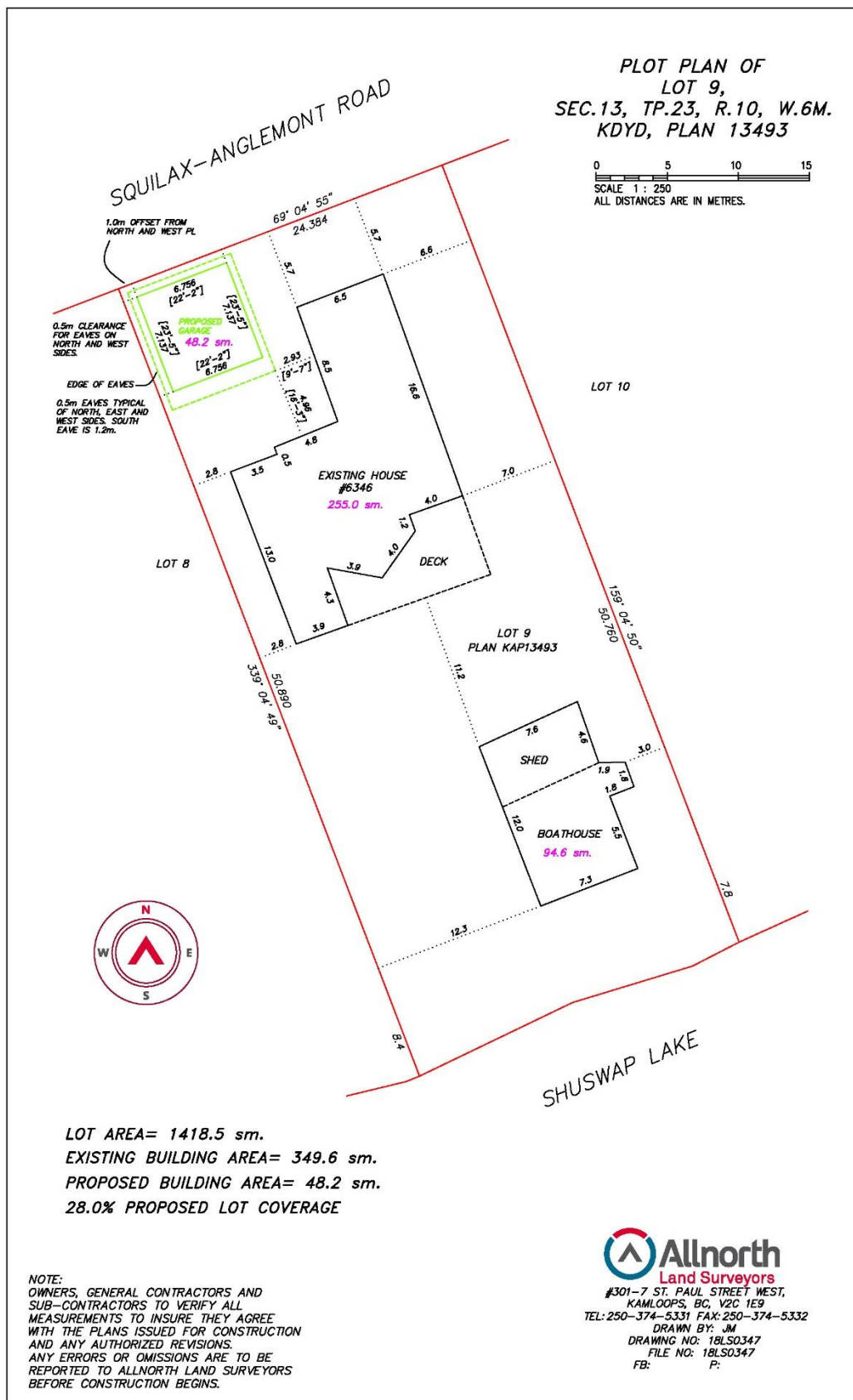
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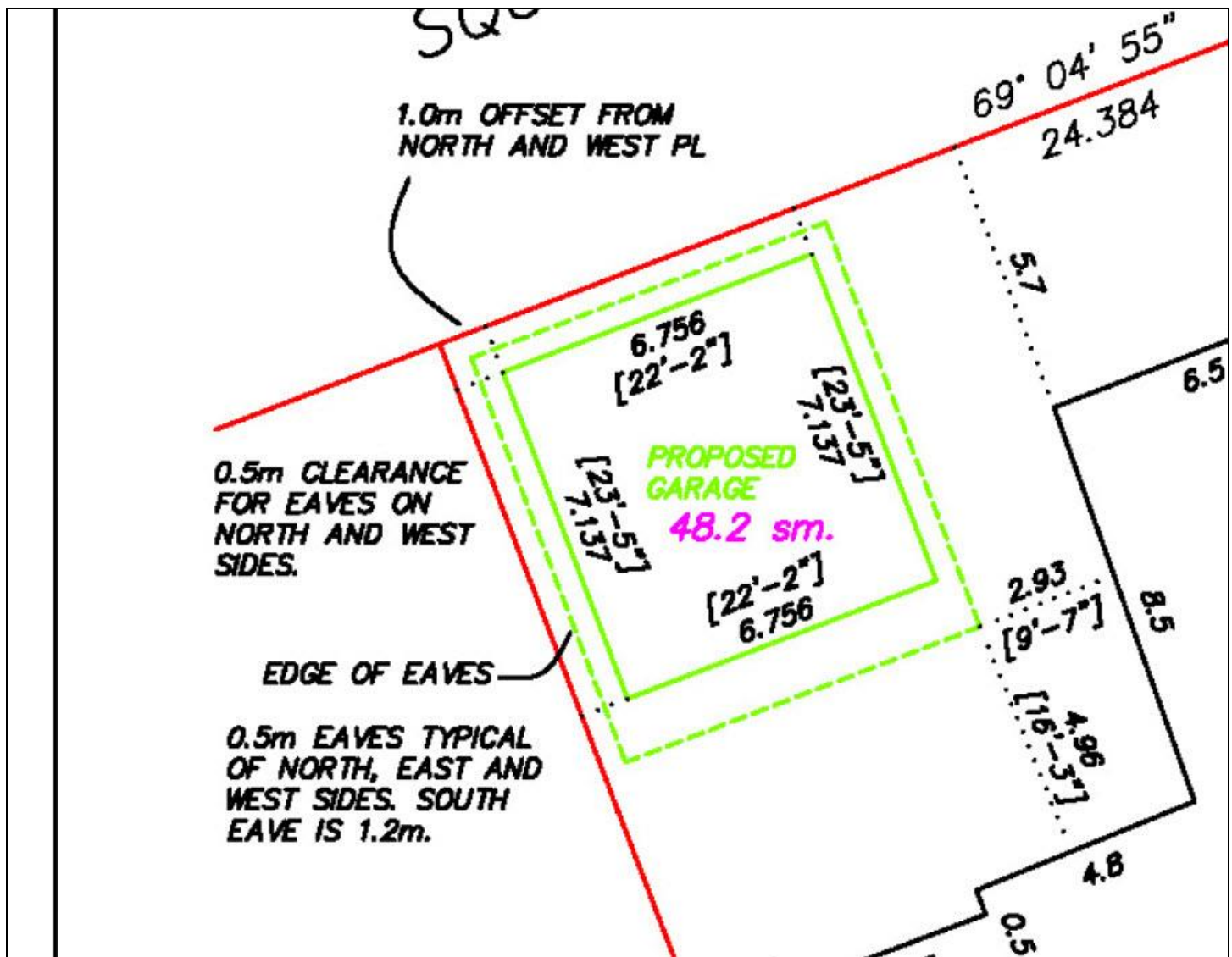


Zoning



Site Plan

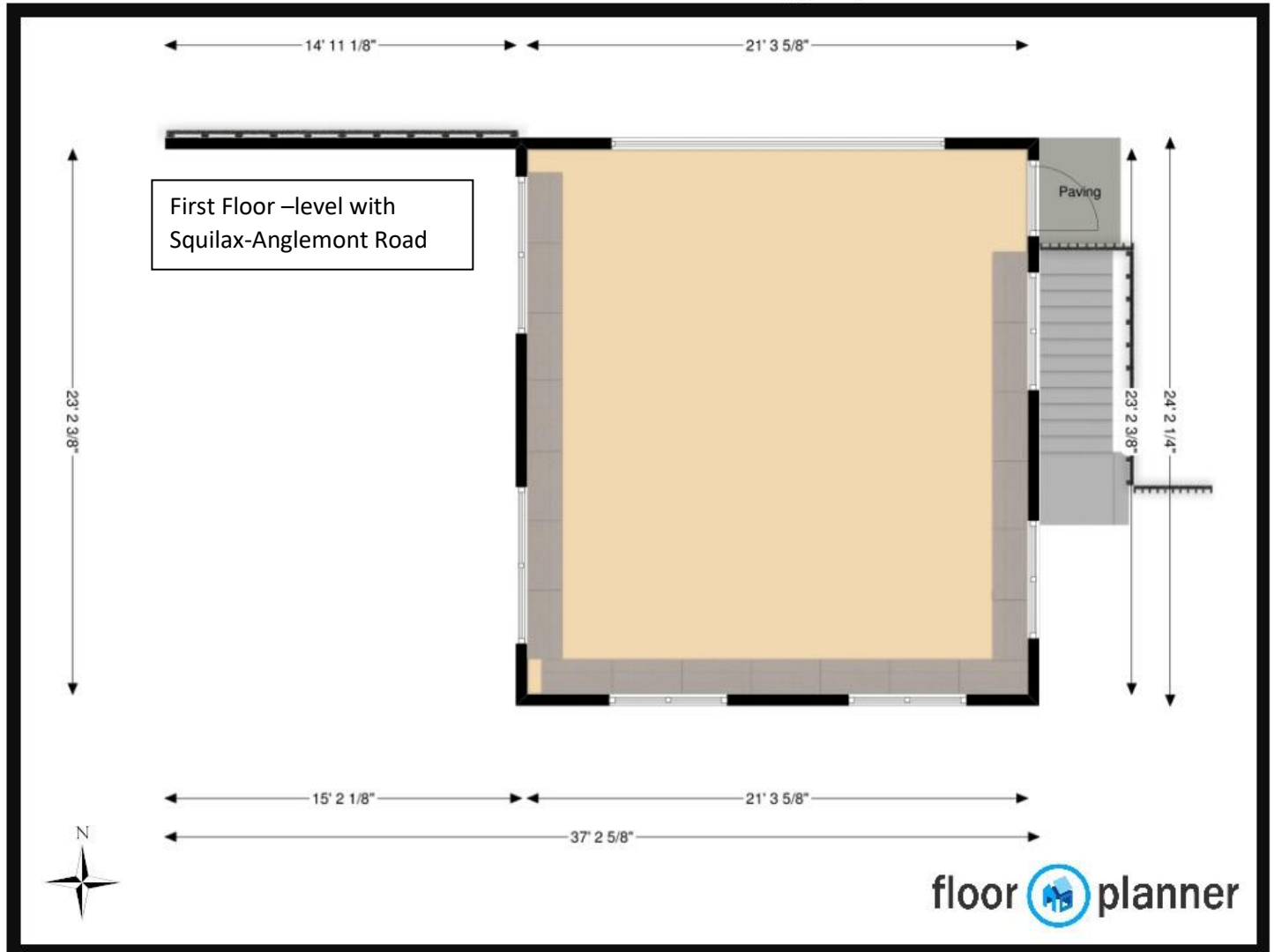




Building Plans

2/21/2019

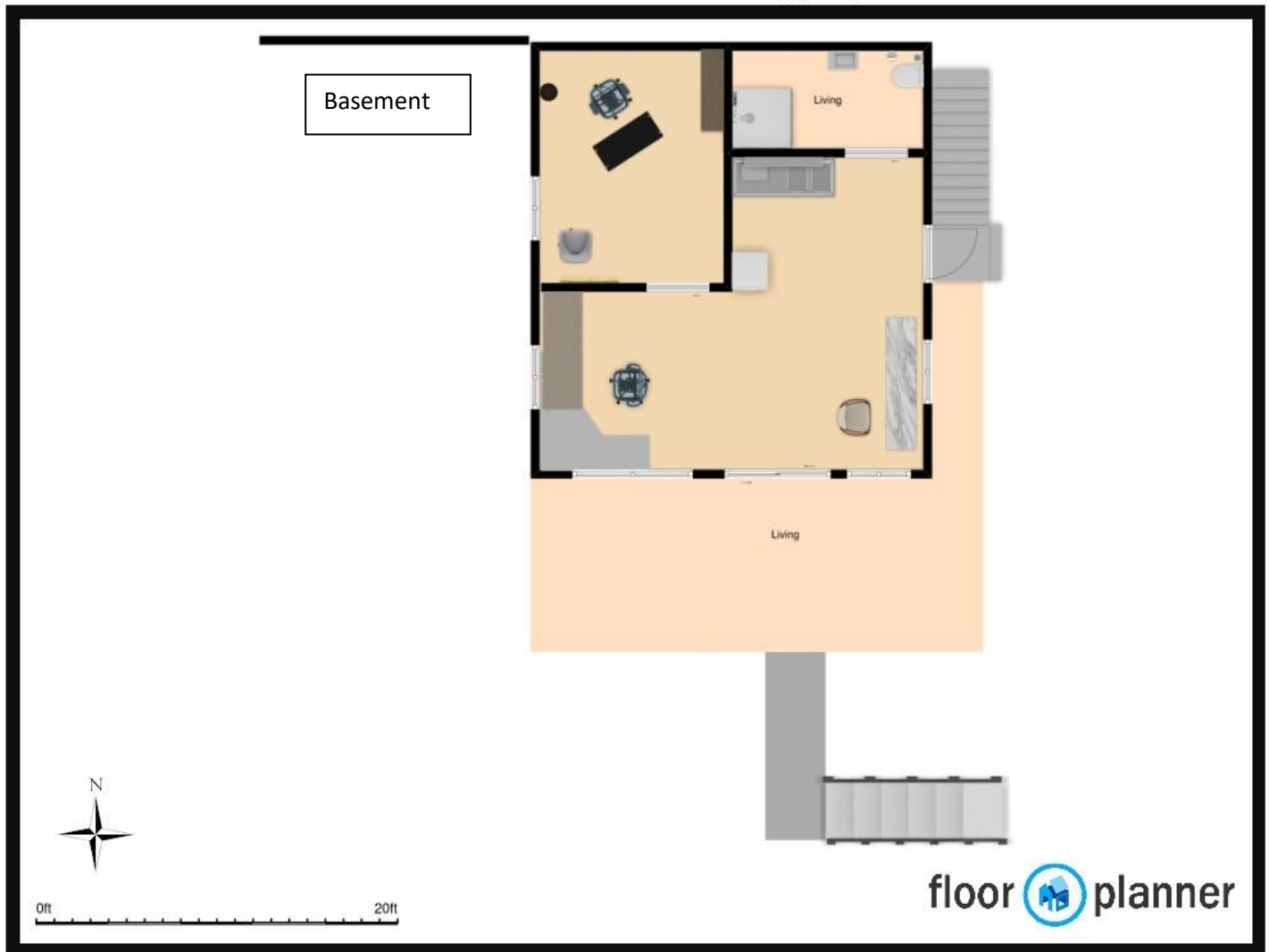
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Orthophoto



Google Maps Streetview of Old Garages



Subject property garage to the left and the neighbour's garage (DVP800-32) to the right

Photos



View of proposed garage location showing the neighbour's existing garage foundation



View of existing single family dwelling from neighbour's property



View of subject property from Squilax-Anglemont Road



View of accessory building (shed/boathouse) near Shuswap Lake on subject property



BOARD REPORT

TO: Chair and Directors

File No: BL825-40 PL20190030
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SUBJECT: Electoral Area F: Scotch Creek/Lee Creek Zoning Amendment (Mosher)
Bylaw No. 825-40

DESCRIPTION: Report from Erica Hartling, Planner I, dated March 29, 2019.
3740 Ancient Creek Lane, Scotch Creek

RECOMMENDATION: THAT: "Scotch Creek/Lee Creek Zoning Amendment (Mosher) Bylaw No. 825-40" be read a first time this 18th day of April, 2019;

AND THAT: the Board utilize the simple consultation process for Bylaw No. 825-40 and it be referred to the following agencies and First Nations:

- Interior Health Authority;
- Ministry of Transportation and Infrastructure;
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development – Archaeology Branch;
- CSRD Operations Management; and,
- Relevant First Nations Bands and Councils.

SHORT SUMMARY:

The subject property is located at 3740 Ancient Creek Lane in Scotch Creek of Electoral Area F. The owners are applying to amend the zone of the Scotch Creek/Lee Creek Zoning Bylaw No. 825 from MU – Mixed Use to R1 – Residential – 1. The proposed R1 zone will continue to allow a single family dwelling or standalone residential campsite as a principal use for the subject property but will not permit the commercial principal uses that are listed in the MU zone.

VOTING:	Unweighted Corporate	<input type="checkbox"/>	LGA Part 14 (Unweighted)	<input checked="" type="checkbox"/>	Weighted Corporate	<input type="checkbox"/>	Stakeholder (Weighted)	<input type="checkbox"/>
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BACKGROUND:

REGISTERED OWNER(S):
Christopher James Mosher, Athanasia Mosher

ELECTORAL AREA:
F

LEGAL DESCRIPTION:

Lot 6, Section 33, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP59951

PID:
023-873-809

CIVIC ADDRESS:

3740 Ancient Creek Lane, Scotch Creek

SURROUNDING LAND USE PATTERN:

North = Ancient Creek Lane, Residential properties

South = Residential properties

East = Cardy Drive, North Shuswap Storage Resort, and a Residential/Recreational property

West = Residential and Recreational properties

CURRENT USE:

Recreational - standalone residential campsite

PROPOSED USE:

No proposed change, current residential/recreational use to remain

PARCEL SIZE:

0.407 ha (1.01 acres)

DESIGNATION

Electoral Area F Official Community Plan Bylaw No. 830 (OCP)

NR - Neighbourhood Residential, Scotch Creek Primary Settlement Area

ZONE:

Scotch Creek/Lee Creek Zoning Bylaw No. 825

MU – Mixed Use

PROPOSED ZONE:

R1 – Residential – 1

SITE COMMENTS:

See "Maps_Plans_Photos_BL825-40.pdf" attached.

The subject property is currently used as a recreational lot and the owners have a standalone residential campsite (recreational trailer) as the principal use, with future plans to build a single family dwelling. The owners have no plans to develop the lot for commercial use. The property is surrounded by similar uses and most of the neighbouring properties either have a single family dwelling or a standalone residential campsite as the principal use.

POLICY:

See "BL830_BL825_Excerpts_BL825-40.pdf" attached.

Electoral Area F Official Community Plan Bylaw No. 830

- 11.1 General Land Use
- 12.8 NR - Neighbourhood Residential

Scotch Creek/Lee Creek Zoning Bylaw No. 825

- 5.12 MU – Mixed Use

- 5.7 R1 – Residential – 1

FINANCIAL:

There are no financial implications to the CSRD with regard to this application.

KEY ISSUES/CONCEPTS:**Proposal**

This application proposes to rezone the subject property from the MU to R1 zone to remove the commercial principal uses that are currently permitted in the MU zone. The property owners believe that a successful rezoning to the R1 zone will decrease their property taxes. The lot is currently used as a residential recreational property and the owners have no plans to utilize any of the commercial uses listed in the MU zone. The majority of the properties within the Ancient Creek Lane subdivision have been developed and most of the property owners have also opted to construct single family dwellings or have a standalone residential campsite as their principal use, instead of the various commercial uses available within the current MU zone.

Previous Bylaw Amendment

The Board reviewed a similar rezoning application (Bylaw No. 825-27) over two properties (3719 and 3723 Ancient Creek Lane) in the Ancient Creek Lane subdivision, requesting to remove the commercial uses that are permitted in the MU zone. These two properties were rezoned from MU to the R1 zone and the bylaw amendment was adopted February 20, 2014. Five community members residing in the area at the time were in attendance at the public hearing and all were in support of the proposed R1 zone. In addition, the referral agencies that responded to rezoning from MU to R1 all had no concerns with the proposed amendment.

Neighbourhood Residential (NR) Policies

The proposal is consistent with the NR designation and policies within Bylaw No. 830 and reflects the existing neighbourhood's character and general development patterns in the area. The subject property and neighbouring properties are considered Scotch Creek Larger Lots within the NR designation, which supports maintaining the existing setbacks, landscaping, visual buffers, building massing and building orientation of the residential/recreational neighbourhood.

Servicing

The subject property is within the Scotch Creek Primary Settlement Area of the OCP, which requires all new development to connect to a community water system and a community sewer system. At the time of subdivision all of the lots created within the Ancient Creek Lane subdivision were originally developed with individual groundwater wells. Currently no options exist in the subject area for either community water or sewer servicing and the owners have confirmed that the subject property is serviced by a residential on-site well and septic system.

A future community water service area is planned for Scotch Creek; however, the Ancient Creek Lane subdivision is not included in the planned Phase 1 service area and there is no set timeline for when a water service area and connection will be available to the subject property.

Access and Parking

The subject property is a corner lot to Ancient Creek Lane and Cardy Drive and is currently accessed off of Ancient Creek Lane. The property has plenty of room available to meet the minimum parking space requirements for the permitted uses of the R1 zone.

SUMMARY:

The owners have applied to amend Bylaw No. 825 to rezone the subject property from MU to R1. As the rezoning is in compliance with the OCP policies of the Neighbourhood Residential designation and reflects the dominant land use pattern within the area, staff recommends Bylaw No. 825-40 be given first reading and sent to the recommended referral agencies.

IMPLEMENTATION:**Consultation Process**

CSRD Policy P-18 regarding Consultation Processes – Bylaws, staff recommends the simple consultation process. Neighbouring property owners will first become aware of the application when a notice of application sign is posted on the subject property.

Referral Process

The following list of referral agencies is recommended:

- Interior Health Authority;
- Ministry of Transportation and Infrastructure;
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development – Archaeology Branch;
- CSRD Operations Management;
- Adams Lake Indian Band;
- Little Shuswap Indian Band;
- Neskonlith Indian Band;
- Okanagan Indian Band;
- Shuswap Indian Band;
- Simpcw First Nation; and,
- Splots'in First Nation.

COMMUNICATIONS:

If the Board gives Bylaw No. 825-40 first reading, the bylaw will be sent out to referral agencies. Referral responses will be provided to the Board with a future Board report, prior to delegation of a public hearing.

DESIRED OUTCOMES:

That the Board endorse staff recommendation.

BOARD'S OPTIONS:

1. *Endorse the Recommendation.*
2. *Deny the Recommendation.*
3. *Defer.*
4. *Any other action deemed appropriate by the Board.*

LIST NAME OF REPORT(S) / DOCUMENT(S) AVAILABLE FROM STAFF:

1. Official Community Plan Bylaw No. 830
2. Scotch Creek/Lee Creek Zoning Bylaw No. 825

Report Approval Details

Document Title:	2019-04-18_Board_DS_BL825-40_Mosher.docx
Attachments:	<ul style="list-style-type: none">- BL825-40_First.pdf- BL830_BL825_Excerpts_BL825-40.pdf- Maps_Plans_Photos_BL825-40.pdf
Final Approval Date:	Apr 10, 2019

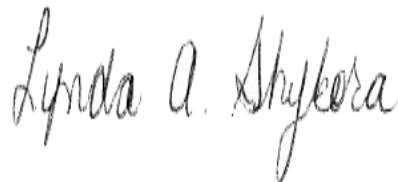
This report and all of its attachments were approved and signed as outlined below:



Corey Paiement - Apr 10, 2019 - 10:50 AM



Gerald Christie - Apr 10, 2019 - 1:09 PM



Lynda Shykora - Apr 10, 2019 - 3:09 PM

No Signature - Task assigned to Charles Hamilton was completed by assistant Lynda Shykora

Charles Hamilton - Apr 10, 2019 - 3:10 PM

COLUMBIA SHUSWAP REGIONAL DISTRICT

SCOTCH CREEK/LEE CREEK ZONING AMENDMENT

(MOSHER) BYLAW NO. 825-40

A bylaw to amend the "Scotch Creek/Lee Creek Zoning Bylaw No. 825"

WHEREAS the Board of the Columbia Shuswap Regional District adopted Bylaw No. 825;

AND WHEREAS the Board deems it appropriate to amend Bylaw No. 825;

NOW THEREFORE the Board of the Columbia Shuswap Regional District, in open meeting assembled, HEREBY ENACTS as follows:

1. "Scotch Creek/Lee Creek Zoning Bylaw No. 825", as amended, is hereby amended as follows:

A. MAP AMENDMENT

- i. Schedule B, Zoning Map, which forms part of "Scotch Creek/Lee Creek Zoning Bylaw No. 825" is hereby amended by:

Rezoning Lot 6, Section 33, Township 22, Range 11, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP59951, which part is more particularly shown hatched on Schedule 1 attached hereto and forming part of this bylaw, from MU – Mixed Use to R1 – Residential – 1.

2. This bylaw may be cited as "Scotch Creek/Lee Creek Zoning Amendment (Mosher) Bylaw No. 825-40"

READ a first time this _____ day of _____, 2019.

READ a second time this _____ day of _____, 2019.

PUBLIC HEARING held this _____ day of _____, 2019.

READ a third time this _____ day of _____, 2019.

ADOPTED this _____ day of _____, 2019.

CORPORATE OFFICER

CHAIR

CERTIFIED a true copy of Bylaw No. 825-40
as read a third time.

CERTIFIED a true copy of Bylaw No. 825-40
as adopted.

Corporate Officer

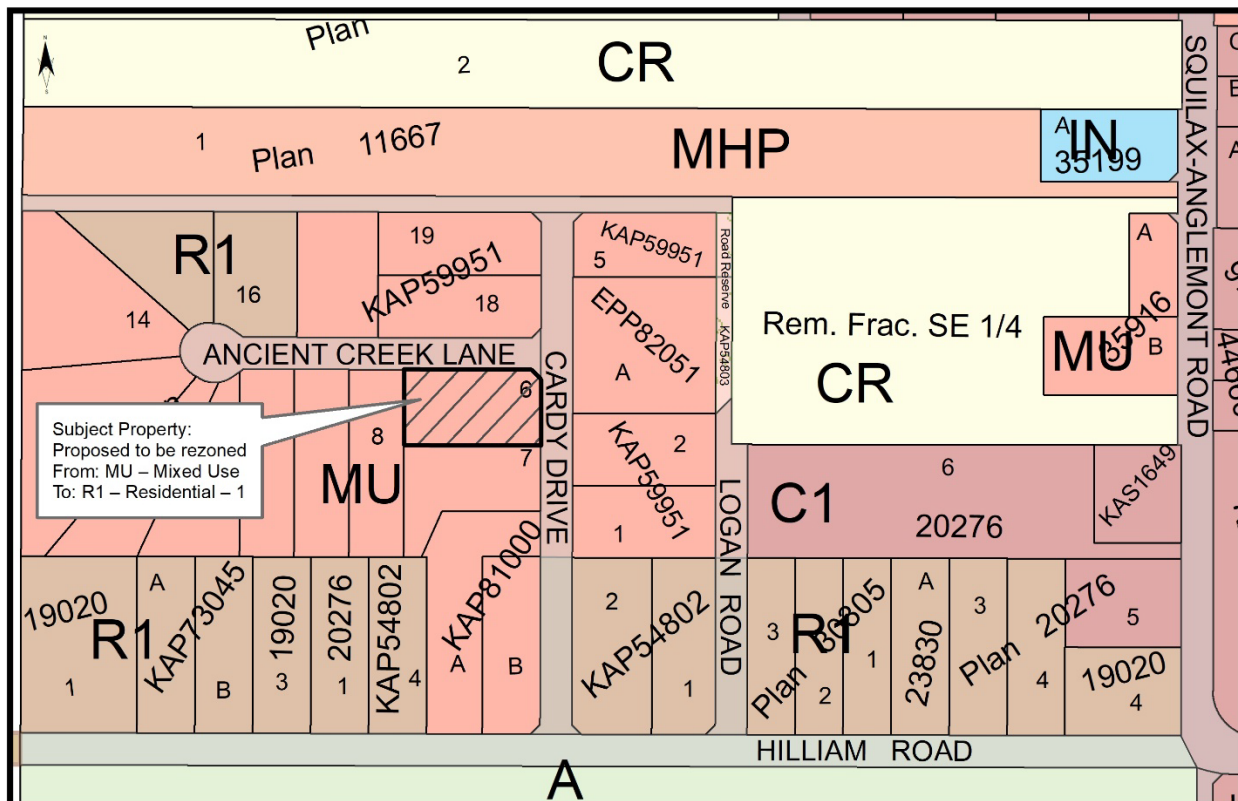
Corporate Officer

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SCHEDULE 1

ZONING AMENDMENT

SCOTCH CREEK/LEE CREEK ZONING AMENDMENT
(MOSHER) BYLAW NO. 825-40



Relevant Excerpts from

Electoral Area F Official Community Plan Bylaw No. 830

Scotch Creek/Lee Creek Zoning Bylaw No. 825

(See [Bylaw No. 830](#) and [Bylaw No. 825](#) for all policies and land use regulations)

Bylaw No. 830

11.1 General Land Use

Objective 1

To be thoughtful and careful stewards of the lands and waters of the North Shuswap to ensure that future generations will appreciate and benefit from wise choices made by today's elected decision-makers.

Objective 2

To direct growth and development in an organized and desirable manner, reinforcing established settlement patterns and discouraging development outside these settled areas.

Policy 3

Scotch Creek is the Primary Settlement Area. The Regional District will encourage residential, commercial, and light industrial growth in Scotch Creek that is consistent with the policies of this plan. All new development must be connected to community water and sewer systems.

12.8 NR - Neighbourhood Residential

Objective 1

The Neighbourhood Residential (NR) land use refers to development that is existing. The intent of this land use designation is to recognize that the existing neighbourhoods within Scotch Creek are an important part of the definition of the character of the area.

Policy 1

A "neighbourhood" is defined as an area of contiguous lots that have common setbacks, building orientation, and size, or that were constructed as part of a single development and form a coherent and commonly understood cluster. Refer to Map 1.

Policy 2

Development within Neighbourhood Residential areas will normally only take the form of infill (for example, construction of a new house on a vacant lot) or subdivision of an existing lot and construction of a new dwelling unit on each new lot.

Policy 3

Policies for infill in NR areas are intended to reflect and support the neighbourhood character and density, and to either maintain or improve conditions regarding setbacks, landscape, visual buffers, building massing, and building orientation. Refer to the following sections for guidelines for each neighbourhood.

1. Within existing neighbourhoods designated NR Neighbourhood Residential, a lot may be subdivided in two, providing that the size of each resulting parcel is equal to or larger than 1/4 acre (therefore only 1/2 acre lots or larger have potential for subdivision). This will ensure that the overall density of each neighbourhood remains comparable to existing density, while allowing sensitive intensification through the potential to subdivide larger lots.
2. Any new subdivision is considered as new development, and must be connected to community sewer and water services.
3. Construction of any new dwelling unit within any parcel designated as Neighbourhood Residential is strongly encouraged to conform to the guidelines for the neighbourhood in which it is found. The existing setback, landscape, visual buffers, building massing and building orientation of each neighbourhood are described in the following Neighbourhood Types sections (a key map is included to indicate the location of the neighbourhood type). By reflecting these conditions in any infill development, the existing character and conditions will be continued, while still allowing individuality and innovation in design.

Normally a maximum building height of two storeys is permitted.

Scotch Creek Larger Lot

Average Density: 1 - 2 units / acre (2.5 - 5 units / hectare)

Average Lot Sizes: 1/2 - 1 acre (0.2 - 0.4 hectares)

Front Setbacks: Range from 16 - 165 ft. (5 - 50 m)

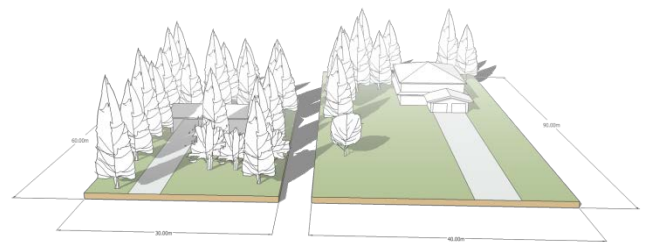
Side Setbacks: Building typically centred on lot

Rear Setbacks: Varies with front setbacks

Landscape: Native vegetation and turfgrass

Visual Buffers: Vegetation - As setbacks decrease, buffers increase

Building Massing: 1 - 2 storeys



Building Orientation: Towards the street front

Parking: Carport or garage placed behind house



Bylaw No. 825

5.12 Mu - Mixed Use

Principal Uses

- (1) The *uses* stated in this subsection and no others are permitted in the Mixed Use zone as principal *uses*, except as stated in Part 3: General Regulations:
- (a) *Day care*
 - (b) *Fuel storage*
 - (c) *Mini storage*
 - (d) *Office*
 - (e) *Outdoor sales*
 - (f) *Personal services*
 - (g) *Plant nursery and services*
 - (h) *Recreation services*
 - (i) *Single family dwelling*
 - (j) *Standalone residential campsite*

Secondary Uses

- (2) The *uses* stated in this subsection and no others are permitted in the Mixed Use zone as *secondary uses*, except as stated in Part 3: General Regulations:
- (a) *Accessory use*
 - (b) *Bed and breakfast*
 - (c) *Guest suite*
 - (d) *Home business*
 - (e) *Owner/operator dwelling*
 - (f) *Residential campsite*

5.7 R1 - Residential – 1

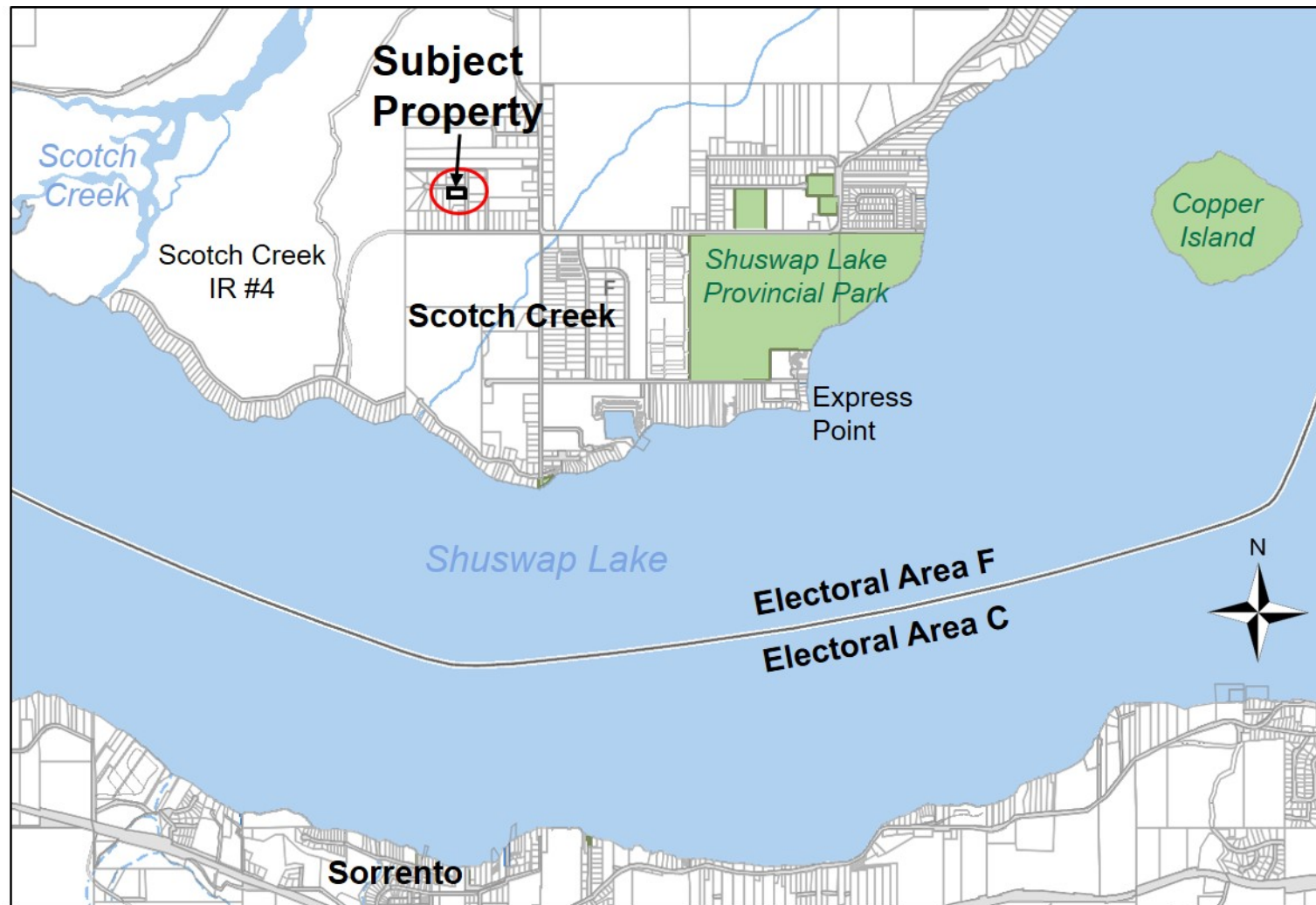
Principal Uses

- (1) The *uses* stated in this subsection and no others are permitted in the Residential - 1 zone as principal *uses*, except as stated in Part 3: General Regulations:
- (a) *Single family dwelling*
 - (b) *Standalone residential campsite*

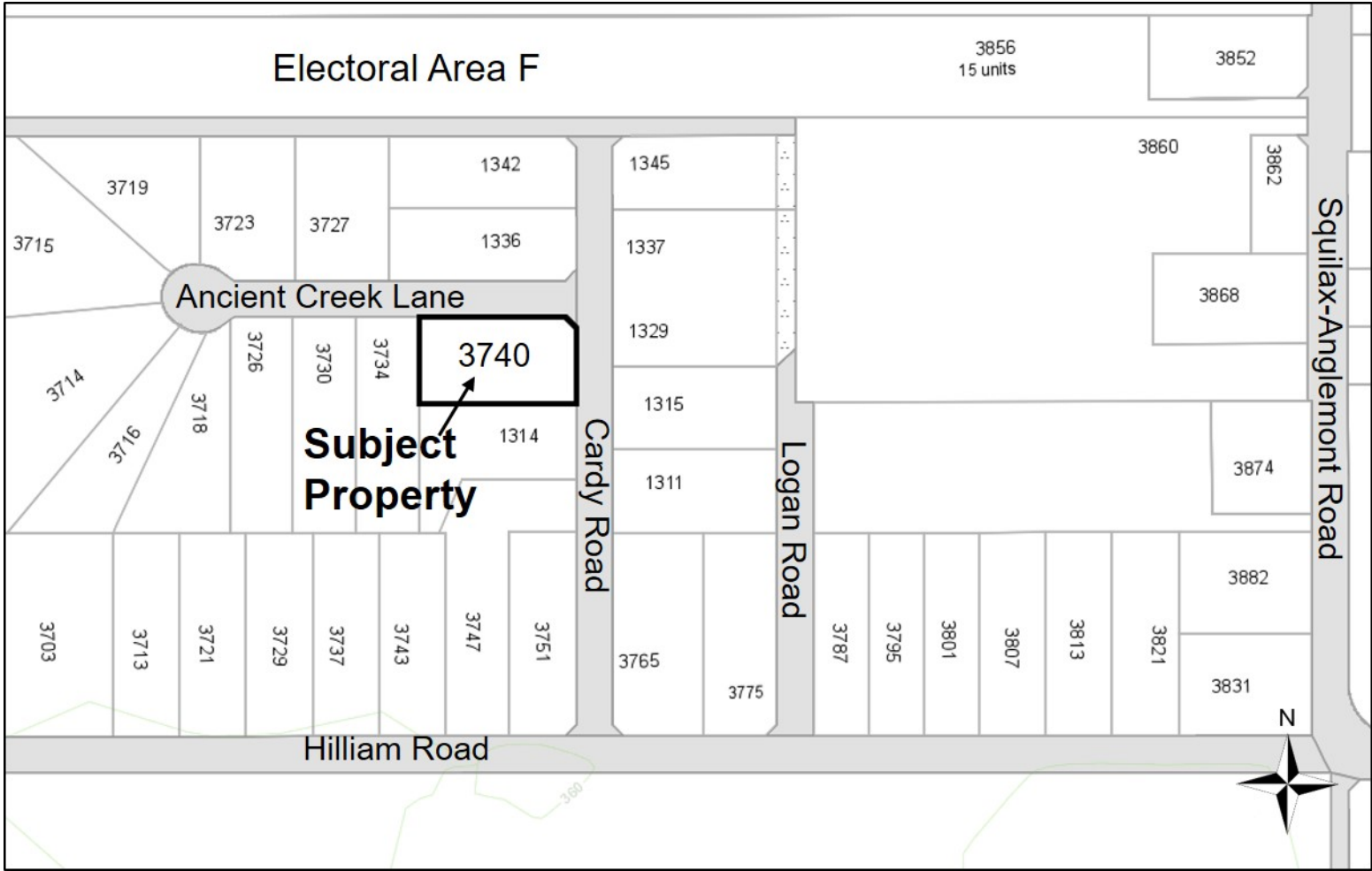
Secondary Uses

- (2) The *uses* stated in this subsection and no others are permitted in the Residential - 1 zone as *secondary uses*, except as stated in Part 3: General Regulations:
- (a) *Accessory use*
 - (b) *Bed and breakfast*
 - (c) *Guest accommodation*
 - (d) *Home business*
 - (e) *Residential campsite*

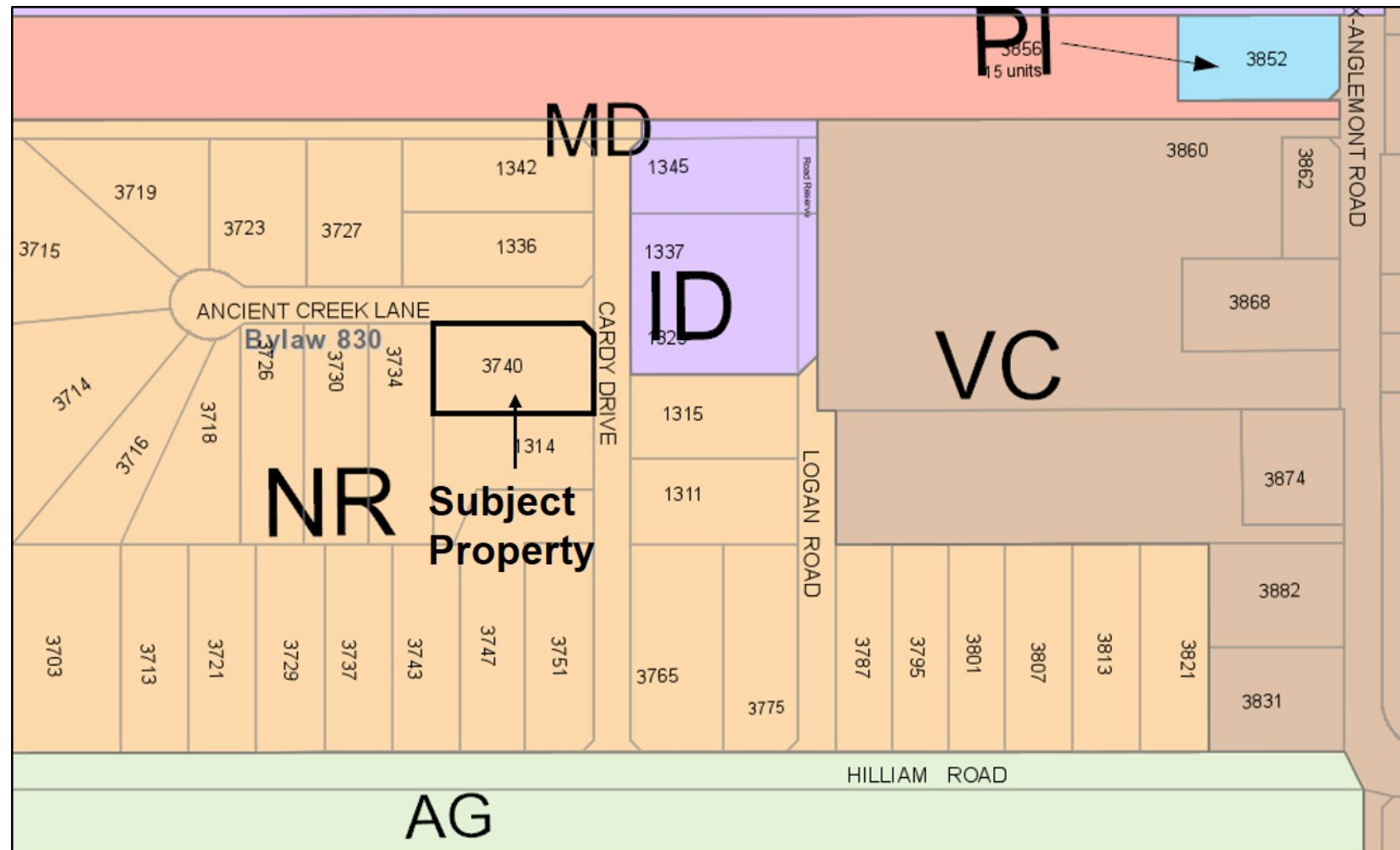
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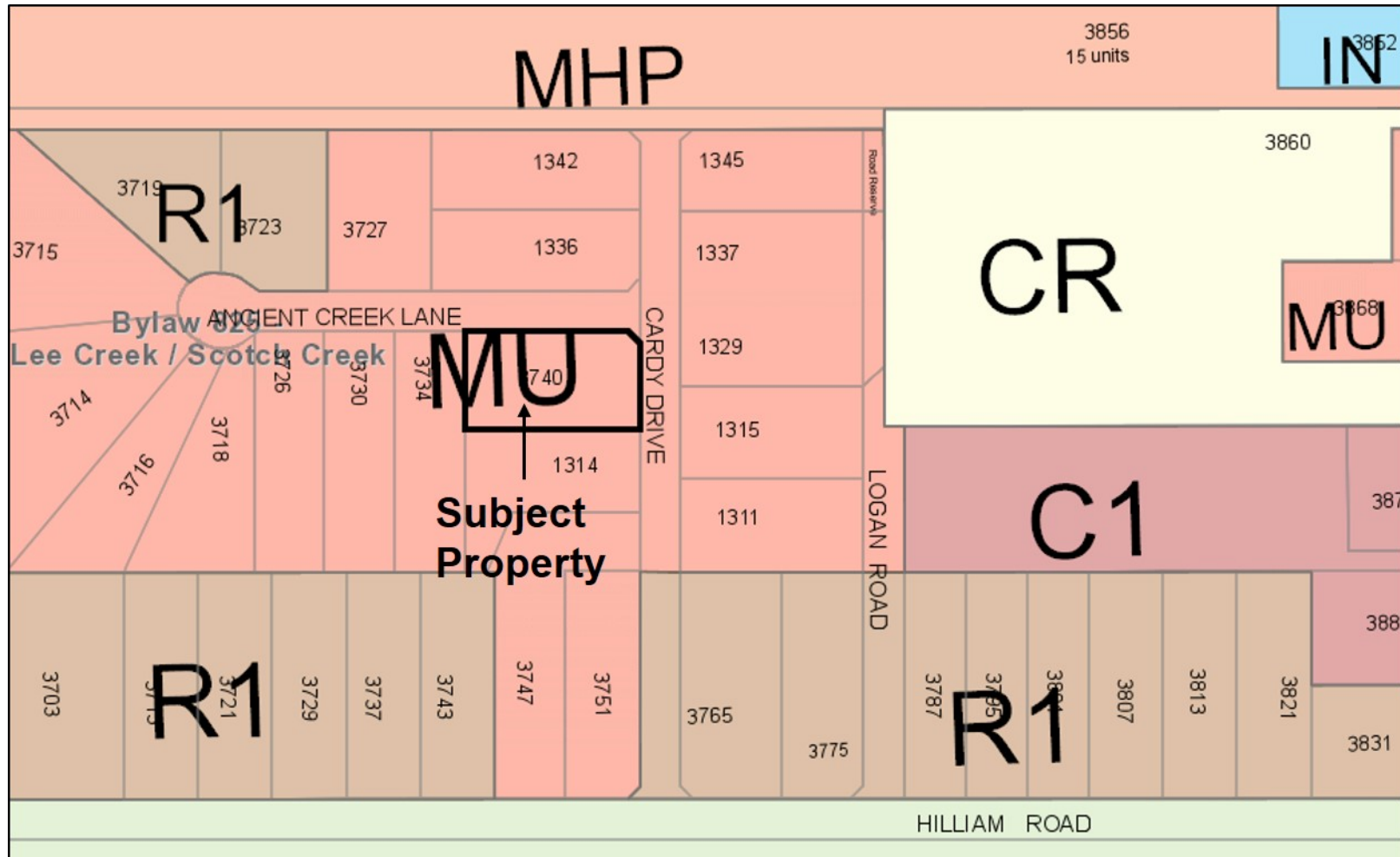
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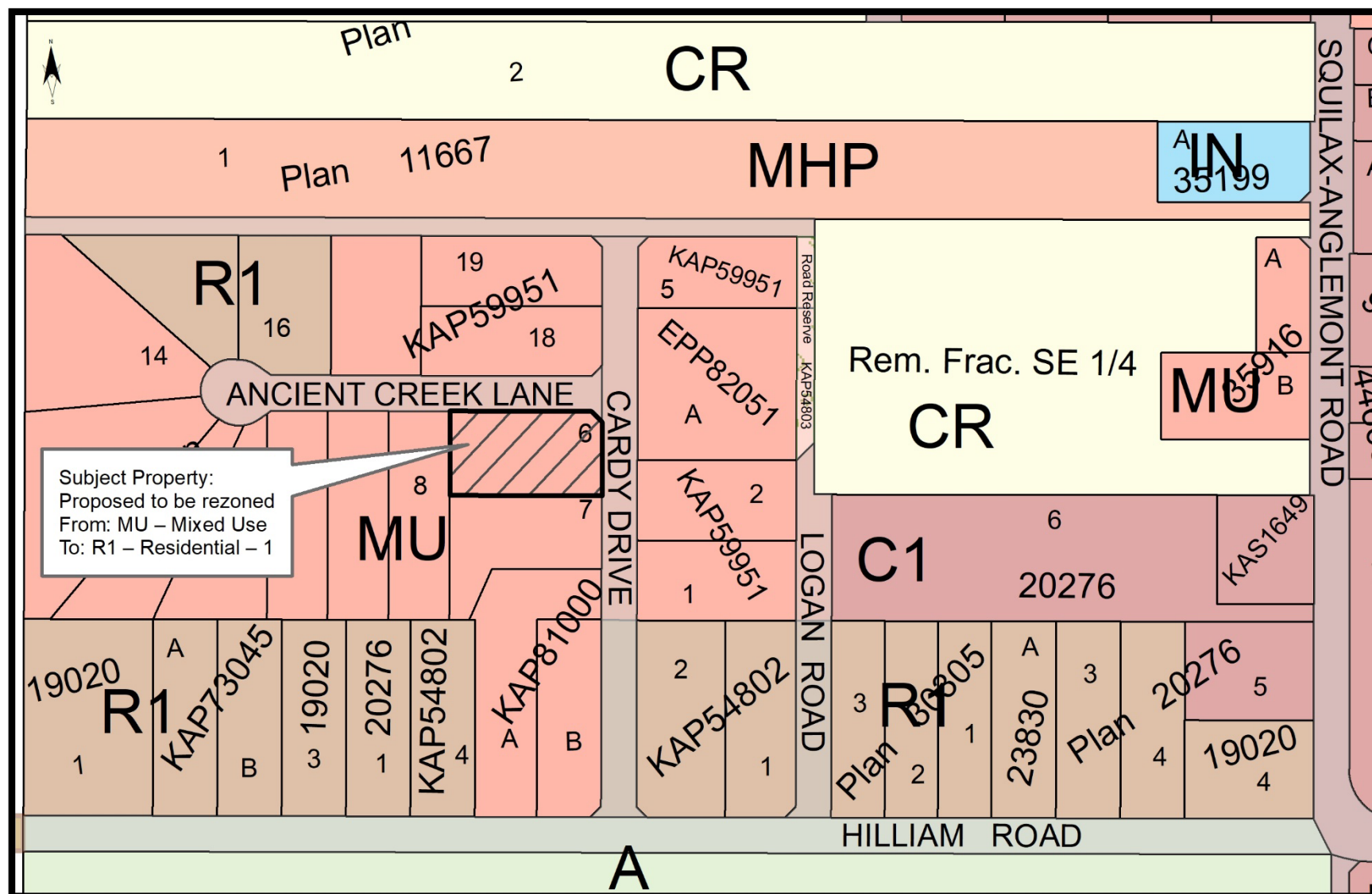


Electoral Area F Official Community Plan Bylaw No. 830



Scotch Creek/Lee Creek Zoning Bylaw No. 825





2018 Google Earth Imagery



May 2012 - Google Street View

